Village of Bronxville

Site Development Application

X Site Development Subdivision	Special Permit	
Project Name, If Applicable: BRONXVILLE BREAD Project Street Address: <u>19 PARKPLACE</u>		
Section:4 Block:3 Lot(s):	3.A	Zone: BUSINESS A
Plans Prepared By: <u>HAYNES ARCHITECTURE PC</u> - Address: 570 YONKERS AVENUE	THOMAS HAYNES	
City: <u>YONKERS</u> S	ate: NY Zip:	10704
Phone #:914-963-3838	Email: <u>TJ@haynesdesigngrou</u>	
Property Owner: LILY PROPERTIES INC.		
Address: 25 PARK PLACE		
City: <u>BRONXVILLE</u> S	ate: <u>NY</u> Zip: <u>10</u>	0708
Phone #:914-953-3535	Email: <u>LORI@BLEALAW</u>	/.COM
Zoning District:BUSINESS A		
Zoning Variances Required: <u>N/A</u>		
County; State or Federal Permits Required: <u>N/A</u>		
Proposed use(s) of site:		
Proposed bakery		
*Bread Bakery		
Anticipated construction time: <u>4-6 weeks from app</u>	oval	

				Office Use C	Dnly		
Date Received	Docket No.	Section	Block	Lot	Permit #	Fee Paid	Date Approved

Current land use of site: (Residential; Commercial; Undeveloped)_ RETAIL

Current condition of site: (Building; Brush; ect.)

Existing building- no proposed changes to structure

Estimated cost of proposed improvements: \$ 40,000

Anticipated increase number of Residents; Shopper; Employees; ect.

Proposed change of use to Bakery

Describe proposed use, including primary, secondary uses; ground floor area; height; number of stories for each building. Attach additional 8 1/2" x 11" sheets if required.

-For residential buildings include number of dwelling units by size.

-For non-residential building include total floor area; sales areas; number of automobile and truck parking spaces.

-Other proposed structures (including shed; garages; ect.)

PROPOSED BASEMENT:	STORAGE / HALL	WAY/ STAIRWAY (404 SQ.FT.)
PROPOSED GROUND FLOOR:	BAKERY AREA	(540.89 SQ.FT.)
	SALES AREA	(581.65 SQ.FT.)
	BATHROOM	(31.14 SQ.FT.)
Business Dwners Name: _BRONXVILLE BRI usiness Dwners Signature:	EAD COMPANY INC-	CHARLES GRIPPO

Information for Persons Proposing to Submit an Application for Development

Who must apply:

With the exception of projects relating to certain single-family residences, any subdivision of land, any clearance or alteration of land, any construction, demolition, movement, external alteration or enlargement of any building or other structure, any construction or enlargement of an open parking area, any diversion dredging or filing in of any land, building or other structure for which permission is required by the Village Zoning Ordinance must be approved in advance by the Planning Board. The owner of the land, a holder of an option or contract to purchase, or any other person having an enforceable proprietary interest may make the application.

How to apply:

Application forms are available on the Villages Website www.villageofbronxville.com. One complete copy of the application, which must include a site plan, and environmental information statement, and any other necessary documentation must be filed with the Building Inspector. Before making a formal application, you may request in writing an informal pre-application meeting with the Planning Board and Design Review Committee to obtain general information and guidance.

Fee:

The basic fee for an application for site plan approval is 250.00 + 5/1,000 of construction cost of Village's assessed value if no construction is planned. Pre application filing fee is 100.00. The appropriate fee must accompany the application. An additional fee may be charged by the Planning Board to cover the costs of any experts whose advice is necessary to evaluate the application.

Hearings:

The Planning Board will hold a public hearing on the application. The law requires the applicant to give proper notice of the hearing. Notice must be given by publication in the Village's official newspaper "The Journal News – Southern Addition" and by personal service or certified mail to owners of property located with 400 feet of the property to be developed at least 10 days before the hearing. Forms of the required notices are available at Village Hall. Once approved you will be notified by our office, at that time you can go to our website to pull your 400' radius list. There is a link with directions on how to do this is under the Planning Section of our website. If the application receives preliminary approval subject to compliance with modifications or conditions a further hearing of which the applicant must also give notice will be required prior to the issuance of final approval. Final approval will be granted or denied within 60 days after the first hearing on the preliminary application unless the time is extended by request of the applicant.

Decisions:

Unless the time is extended, the Planning Board will render a decision granting or denying preliminary approval of an application within 60 days of submission of the complete until all information required by the Planning Board has been filed. The preliminary approvals may require modifications or attach conditions to your site plan. To obtain final approval, include eleven copies of the application, including a final site plan which incorporates all modifications and conditions required by the Planning Board. Must be filed (without fee) with the Superintendent. After notice and hearing as described above. The Planning Board will grant or deny final approval.

Subdivisions:

If the application for development includes a subdivision, the proposed subdivision should be described in the application and in the notice of hearing. If no construction is involved the application fee will be one percent of the Village assessed value of the property being subdivided or \$100.00, whichever is greater. While all the foregoing requirements apply generally to subdivisions. The Planning Board may waive submissions which appear unnecessary in light of nature of the particular subdivision.

I hereby swear that the following notice was given by personal service, certified mail return or registered mail to the property owners listed below, at least ten (10) days prior to the hearing date:

Notice is hereby given that the Planning Board of the Village of Bronxville will hold a public hearing at the Bronxville Village Hall, 200 Pondfield Road, Bronxville, N.Y., on Wednesday evening, July 14, 2021, at 7:30 P.M. to give consideration to a site development application for a change of use from retail to proposed bread bakery at **19 Park Place, Bronxville, NY 10708, Section: 004; Block: 003; Lot: 003.A**. Notice is hereby given that the Design Review Committee of the Village of Bronxville will also hold a public hearing at the Bronxville Village Hall, 200 Pondfield Road, Bronxville, N.Y., on Wednesday evening, July 7, 2021, at 7:30 P.M. for the project mentioned above.

The public is invited to attend the public hearing and will be given a reasonable opportunity present oral comments or written presentations relevant to the application. The hearing maybe adjourned from time to time at the discretion of the Planning Board.

A copy of the application for development including proposed site plan and other maps and documents filed therewith, is on file and available for public inspection on our website at www.villageofbronxville.com/planning-board one week prior to the meeting.

(Applicant Signature FYNE HAYNES ARCHITHE (Applicant Print Name) Sworn before me this 2 day of 2021 JOAN A. HAYNES Notary Public Commissioner of Deeds anusau City of Yonkers, N.Y. Commission Expires 1-1

ESCROW AGREEMENT FOR PROFESSIONAL CONSULTATION FEES

The undersigned does hereby agree to the following:

- 1. I (we) am (are) the owner(s) of premises located at the street address and identified on the tax maps as noted below, for which an application is being submitted to the Village of Bronxville:
 - * Street Address 19 PARK PLACE
 - * Section:____4____,Block: ____3_____, Lot:___3.A_____
- 2. I understand and agree that there are certain fees for which I am responsible in conjunction with said application.
- 3. I understand that the Village Board, Planning Board, Zoning Board of Appeals and/or Design Review Board may seek the services of planning, engineering, environmental, legal, or other technical consultants or professionals as deemed necessary by the Board(s) to review my application. I will be responsible for any and all costs incurred by the Village for such consultations and professional opinions at the prevailing hourly rate agreed upon by the Village. Charges made by such consultants shall be in accord with charges usually made for such services in Westchester County. I understand that no employee of the Village or any member of the Village Board, Planning Board, Zoning Board of Appeals or Design Review Board can advise me, in advance, of what the total consulting fees might be.
- 4. Upon submission of my application, I shall provide a minimum retainer of \$5,000.00 up to a maximum initial amount as required by the Planning Board depending on the scope of proposed work, payable to the Village of Bronxville, to be held in escrow and applied toward the payment of consulting and professional fees incurred by the Village with regard to my application. When the balance of the escrow account is \$2,500.00 or less, I shall deposit additional retainer funds into the escrow account so that the minimum balance in said account is never less than \$5,000.00. Upon request, the Village shall provide me with a statement indicating expenses incurred and the amount of monies withdrawn from said account.
- 5. I understand that if I withdraw my application prior to any action being taken by the Village Board, Planning Board, Zoning Board of Appeals or Design Review Committee, I am still responsible for any expenses incurred by the Village with regard to my application prior to such withdrawal.
- 6. I understand that if at any time the minimum balance in said escrow account falls below \$1,000.00 and is not replenished prior to the next scheduled meeting on the application, the Village Board, Planning Board, Zoning Board of Appeals and/or Design Review Committee may suspend the review of my application and/or the Village Engineer may refuse to issue permits and/or certificates with regard to the premises, unless the Village has been advised by the consultant that no additional charges will accrue.

- 7. I understand that when it has been determined by the Village that all final charges against the escrow account established for my application have been paid, the remaining balance in the account, if any, shall be returned to the owner.
- 8. I understand that if there are still outstanding consulting fees relative to my application at the termination of the review process, the Village will pursue all legal options to retrieve such fees.
- 9. I understand that the imposition of escrow account fees are in addition to, and not in place of, other fee schedules currently in force.
- 10. All correspondence from the Village regarding the escrow account established for my application shall be addressed to:

Name:	BRONXVILLE BREAD COMPANY INC-CHARLES GRIPPO
Address:	19 PARK PLACE
City:	BRONXVILLE
State:	<u>NEW YORK</u> Zip: 10708
Phone:	914-760-1319
Fax:	
Email:	charliegrippo@gmail.com

BUSINESS

OWNER (signature)

BUSINESS OWNER (signature)

BUSINESS

OWNER (print name)

Dated:

BUSINESS OWNER ([print name)

Dated: ____

To whom it may concern,

Six main characteristics may define a village:

- Small and intimate. The area can comfortably be covered on foot....
- Unique. Spatial identity...
- Designed for social interaction...
- Locally driven and locally sourced...
- Internally (Self Contained) Functional...
- A mixed community...

We can write volumes on why this quaint suburban village is a perfect place to spend a day, long weekend, or live year-round. Instead I come today with a hope that the Village of Bronxville will share a vision with me. That vision is for the village to have its very own handcrafted artisan bread shop. Ages ago villages had a blacksmith, a butcher, a baker, and yes, the infamous candlestick maker. These where staple businesses of the village.

Our bread shop will consist of naturally leavened sourdough loaves, authentic wheat & rye breads as well as French baguettes, and savory viennoiserie items. We will also have a gorgeous retail cooking section dedicated to the home baker that needs that specialty bake item as well as a baker to share knowledge with. This will be a "grab and go" concept with no indoor seating. There is a viewing room so patrons, on occasion, can watch bread being folded and shaped before there eyes.

People that are into food (foodies as they are called) are smart, educated, well-traveled and not afraid to get "hands-on" and "vocal" with cooking and baking. Commercial bread is dead in the sense that there is no nutritional value in the actual finished product anymore. At the bakery we will be making true whole foods. Whole foods are foods that have very few ingredients. Ingredients that can be pronounced and sourced locally from our surrounding area, local farms and grain millers. I will bring these ultra-healthy ingredients to the village so that we can all experience these products and share in their health benefits. The breads we bake contain flour, water, salt, and natural yeaststhat's it. Others will have nuts, seeds, whole sprouted grains, etc., the list goes on. All natural and organic.

My goal is to appeal to everyone. Older families watching their health is paramount. Younger couples want to be educated and need clarification in order to pass the knowledge to their children and so on. Teens will have much more healthier choices available to them. I envision the Bronxville schools taking a day-trip to the bakery to learn how organic wheat is grown, milled, and used to make products that are 100% natural, safe and healthier for the body that any other bread they would put in their mouths. The entire bakery will be vegetarian / vegan, no processed foods at all with eco-friendly packaging (no plastics) reducing our footprint on the earth. Bread classes for adults will be available also.

With COVID now in our lives, families are staying more local now than ever which mean we get to bring wholesome healthy foods to them. This is what the village needs. My goal is to serve the Village of Bronxville and be your village baker.

(below is a sample of the signage and verbiage but has not been 100% finalized) Bronxville Bread Co.

artisan breads & viennoiserie





Bronxville Bread Co.

ARTISAN BREAD PASTA

PASTRY

A R T I S A N B R E A D S

Sourdough (plain & seasonal)	8
Whole-Wheat	8
Rye Bread	7
Multi Grain	7
Brioche (plain & chocolate)	8
Semolina Baguette	5
Challah	4
Focaccia	16
Dinner Rolls	3

PAIRS WELL WITH BREAD

Butter (plain & strawberry)	5
Salts (black, pink & truffle)	6
Dried Spice Mix	3
Olive Oil	10
Pickled Items	5
Cheese / Dips	8
Jam (blueberry vanilla)	4
Seasonal Soups	7
Bread Bag (personalized)	15

BEVERAGES

Coffee & Tea	
Espresso & Cappuccino	
Water (flat & sparkling)	

PASTRY

Croissant (plain & almond)	3
Pain Au Chocolat	3
Chocolate Babka	6
Monkey Bread	6
Kouign-Amann	4
Palmier (3)	5
Madeleines (10)	5
Cinnamon Roll	4
Quiche	5
Chocolate Chip Cookies	3

HANDHELDS

Chicken-less Salad Sandwhich	8
Egg & Cheese Sandwich	7
Tuna-Free Salad Sandwich	8
Roasted Veggie Sandwich	7

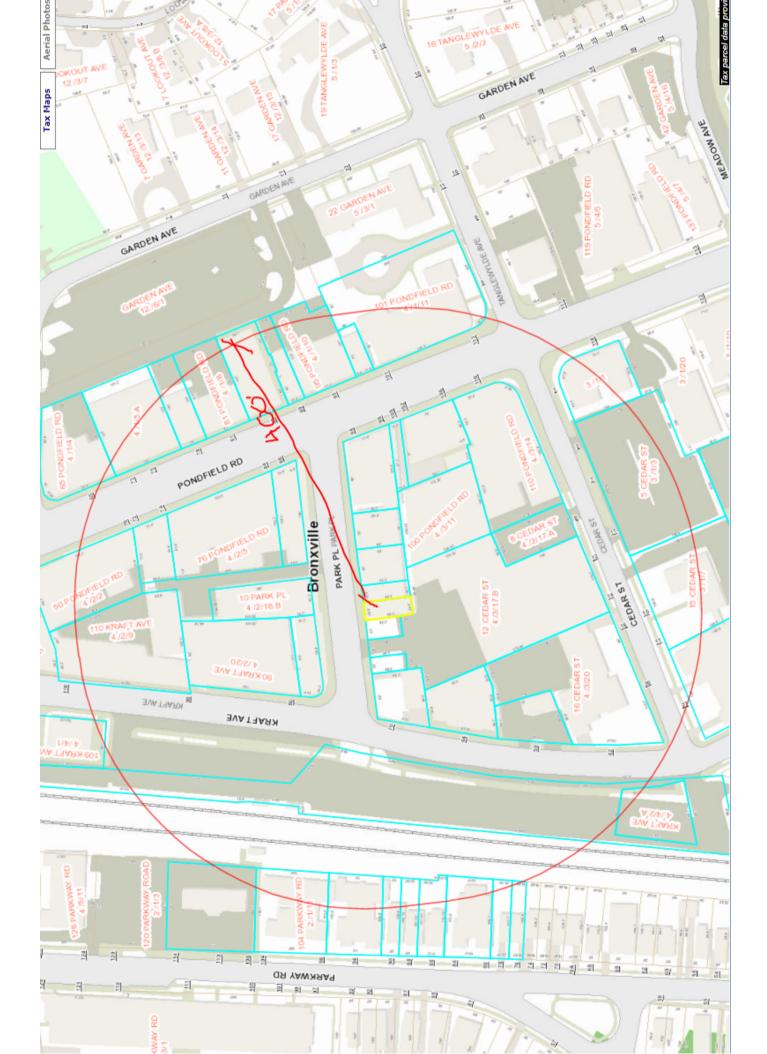
SUPERFOOD PASTAS

Tagliatelle	5
Pappardelle	6
Farfalle (bowtie)	6
Ravioli	12

(914) 760-1319

333

all products are vegan & vegetarian



LYNCH JOHN -90 PARKWAY RD BRONXVILLE, NY 10708

GA FAMILY-BRONXVILLE -23 PARK PL BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -94 PONDFIELD RD BRONXVILLE, NY 10708

PATHLAND HOLDINGS LLC -95 PONDFIELD RD BRONXVILLE, NY 10708

SEMP REAL LLC -9 PARK PL BRONXVILLE, NY 10708

ALBINA ENTERPRISES -94 PARKWAY RD BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -8 CEDAR ST BRONXVILLE, NY 10708

BRONXVILLE REALTY -110 KRAFT AVE BRONXVILLE, NY 10708

50 KRAFT AVENUE LLC -50 KRAFT AVE BRONXVILLE, NY 10708

O'KEEFE MICHAEL & FE -76 PARKWAY RD BRONXVILLE, NY 10708 CHURCH OF ST. JOSEPH -15 CEDAR ST BRONXVILLE, NY 10708

BRONXVILLE REALTY LLC -19 PARK PL BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -100 PONDFIELD RD BRONXVILLE, NY 10708

ST. JOSEPH'S CHURCH -1 CEDAR ST BRONXVILLE, NY 10708

BRONXVILLE REALTY -50 PONDFIELD RD BRONXVILLE, NY 10708

VILLAGE OF BRONXVILLE -114 PARKWAY ROAD BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -110 PONDFIELD RD BRONXVILLE, NY 10708

81 PONDFIELD RD. CORP -79 PONDFIELD RD BRONXVILLE, NY 10708

VILLAGE OF BRONXVILLE -5 CEDAR ST BRONXVILLE, NY 10708

STERN STANLEY -80 KRAFT AVE BRONXVILLE, NY 10708 GA FAMILY-BRONXVILLE -12 CEDAR ST BRONXVILLE, NY 10708

GIS GEOGRAPHIC INFORMATION SYSTEMS

PETRILLO FAMILY 3, LLC -72 PONDFIELD RD BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -102 PONDFIELD RD BRONXVILLE, NY 10708

LILY PROP INC -19 PARK PL BRONXVILLE, NY 10708

BRONXVILLE TOWERS APTS -101 PONDFIELD RD BRONXVILLE, NY 10708

VILLAGE OF BRONXVILLE -KRAFT AVE BRONXVILLE, NY 10708

GA FAMILY-BRONXVILLE -23 PARK PL BRONXVILLE, NY 10708

MULLIN IRREV TRUST -86 PARKWAY RD BRONXVILLE, NY 10708

METRO REALTY DIVIDEND -100 PONDFIELD RD BRONXVILLE, NY 10708

15 PARK PLACE, LLC -15 PARK PL BRONXVILLE, NY 10708

http://giswww.westchestergov.com

V.COM GIS GEOGRAPHIC INFORMATION SYSTEMS

HJM 444 LLC -90 KRAFT AVE BRONXVILLE, NY 10708

MICHAEL SALVATORE -84 PARKWAY RD BRONXVILLE, NY 10708

JB PARK PLACE REALTY LLC -10 PARK PL BRONXVILLE, NY 10708

20 CEDAR STREET, LLC -16 CEDAR ST BRONXVILLE, NY 10708

Current Occupant BRONXVILLE, NY 10708

MILLER PONDFIELD LLC -85 PONDFIELD ROAD BRONXVILLE, NY 10708

OGDEN TENANTS' CORP. -104 PARKWAY RD BRONXVILLE, NY 10708 TWO PARK PLACE CORP -86 PONDFIELD RD BRONXVILLE, NY 10708

VILLAGE OF BRONXVILLE -KRAFT AVE BRONXVILLE, NY 10708

WORTH-PONDFIELD LLC -65 PONDFIELD RD BRONXVILLE, NY 10708

29 PARK PLACE LLC -29 PARK PL BRONXVILLE, NY 10708

KOOLURIS GEORGE -99 PONDFIELD RD BRONXVILLE, NY 10708

MILLER PONDIELD LLC -89 PONDFIELD RD BRONXVILLE, NY 10708

URSTADT BIDDLE PROPERTIES -109 KRAFT AVE BRONXVILLE, NY 10708 Current Occupant BRONXVILLE, NY 10708

FOGARTY JOHN C -64 KRAFT AVE BRONXVILLE, NY 10708

CUMMINGS PAUL & MARYLOU -78 PARKWAY RD BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -76 PONDFIELD RD BRONXVILLE, NY 10708

81 PONDFIELD ROAD CORP. -81 PONDFIELD RD BRONXVILLE, NY 10708

SAVOY ERIC -88 PARKWAY RD BRONXVILLE, NY 10708

9410-00683PFC 4016W- & # 6850495 #20510 19115 DONALD R.CALABRESE ASSOCSANC SURVEY OF PART LAND SURVEYORS OF TAX LOT 3A, SCARSDALE, N.Y. 10533 18 BROOK ST. BLOCK 3, SEC.4. (914) 723-0070 VILLAGE OF BRONXVILLE TOWN OF EASTCHESTER WESTCHESTER CO. N.Y. IC.N.g. 4.6555 4.5 SCALE 1= 10. DATE - APRIL 24, 1987. SCALE "- 10". STAKEOUT OF PROP. BUILDING - JUNE 28, 1989 FOUNDATION LOCATION JULY 14, 1989, FINAL SURVEY JUNE 4, 1990 CERTIFIED TOI- FIRST AMERICAN TITLE INSUR. CO OF N.Y. PEC ABSTRACT CORP. .. 11 RICHARD RESTIANO IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR TITLE SURVEYS OF ASSN. TITLE N.Y.S. LAND THE "Unauthorized allotation or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State "Certific diversion of the there is going that does and y Education Law." w 5 prepared in accordance with the existing Code of Practice for Land Sar bys elouted by the New York N87:26.19"W St te As ociation of Professional Land Surveyors, Said certifications shall run only to the person for whom the .24.50 survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the a signees of the lending CONC. RET. WAL Institution. Certifications are not transferable to additional Institutions or sub equent owners." WIRES ALONG AND RLDG A WALL 15 33 52.0 'n N ல் (0) 0 U SET 5.99 Y 2 STORY 0) BRICK CONC. BL & COA. 4 A 33.41 Nº 25 .33. STORY DOOR IN 3 BAND COUSES PROJ. 0,08' NY SILLS PROJ. 0,20' LIGHTS PROJ. 0,5' 0. 073. A N S 2 じんつい 17/2 Š0. NOG NOGNIN **BRICK** 0.07 UT COLLET. conc. 24.50 Coneff com. S. 87°. 26. 19 E 223.42 PARK PLACE SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON (4.) VISUAL EXAMINATION OF THE PREMISES SHOWN HEREON MADE JUNE 17, 1994 SEE 7 ITEMS MARKED A MADE BY : ROLAND K, LINK, N.Y.S. LIC. LAND SURVEYOR I LIC. NO. 044228 J CERTIFIED TO : CHICAGO TITLE INSURANCE COMPANY ; LILY PROPERTIES , INC. ADDITION :

Proposed Change of Use at: **"Bronxville Bread & Co" 19 Park Place, Bronxville NY**

LILY PROPERTIES INC

BRONXVILLE, NY 10708

25 PARK PLACE

PROJECT INFORMATION:

OWNER:	
NAME:	
ADDRESS:	

LESSEE:	
NAME:	
ADDRESS:	

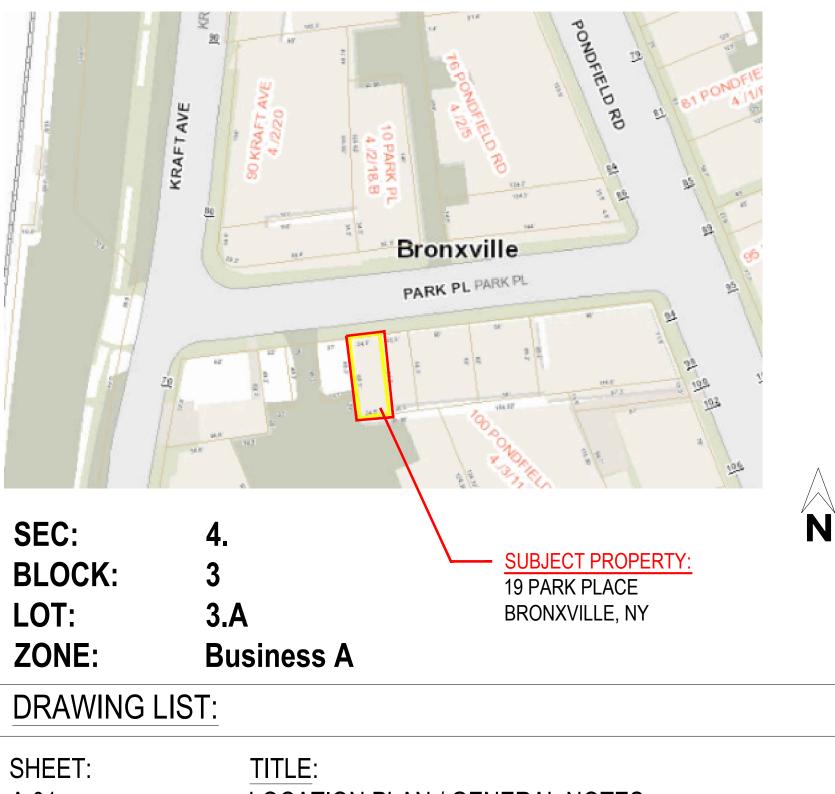
EMAIL:	LORI@BLEALAW.COM
LESSEE:	
NAME:	BRONXVILLE BREAD COMPANY- CHARLES GRIPPO
ADDRESS:	19 PARK PLACE
	BRONXVILLE, NY 10708
EMAIL:	CHARLIEGRIPPO@GMAIL.COM
ARCHITECT:	
,	HAYNES ARCHITECTURE PC- Thomas Havnes
NAME:	HAYNES ARCHITECTURE PC- Thomas Haynes
,	570 YONKERS AVENUE
NAME: ADDRESS:	570 YONKERS AVENUE YONKERS NEW YORK 10704
NAME:	570 YONKERS AVENUE

SCOPE OF WORK:

PROPOSED CHANGE OF USE-

-Existing retail space to be converted to: Proposed Bread Bakery -*Carry Out establishment**

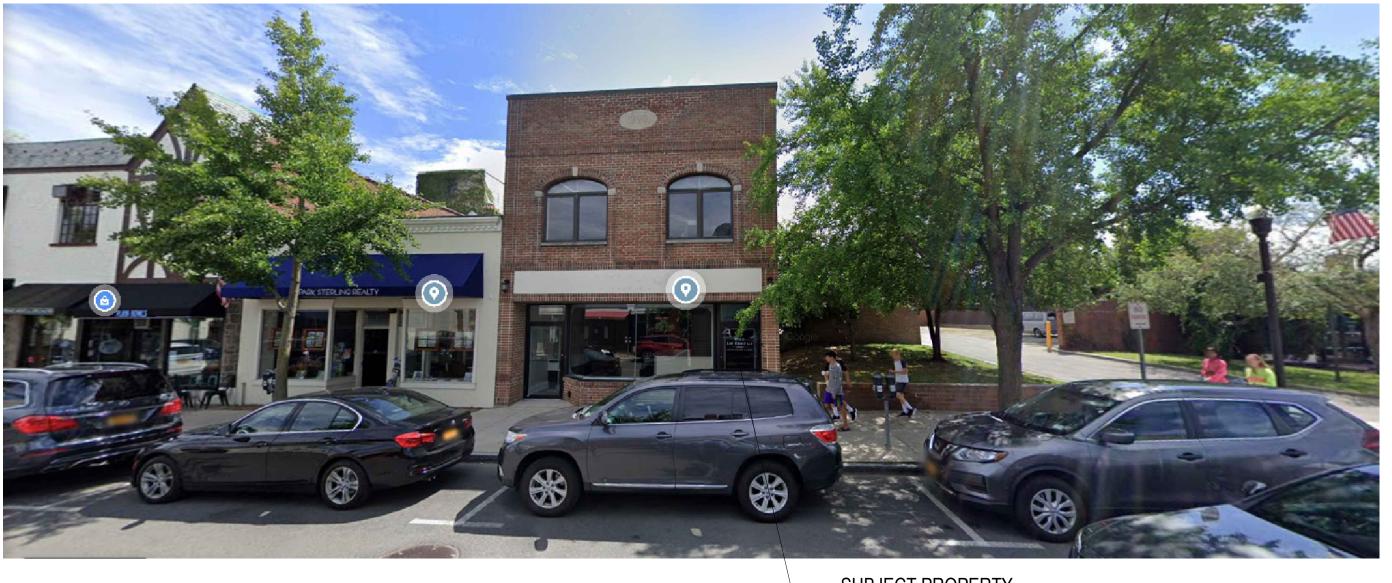
LOCATION MAP: NOT TO SCALE



A.01	LOCATION PLAN / GENERAL NOTES
A.02	GENERAL NOTES
A.03	SURVEY/ ZONING ANALYSIS / PROPOSED PLOT PLAN
A.04	150' RADIUS LOCATION MAP
A.05	EXISTING FLOOR PLANS
A.06	PROPOSED FLOOR PLANS
A.07	PROPOSED FRONT LOGOS

GENERAL NOTES:

- THE GENERAL CONTRACTOR (G.C.) AND ALL SUBCONTRACTORS ARE TO PROVIDE ALL LABOR MATERIALS, TOOLS, EQUIPMENT, SCAFFOLDING, SUPPLIES, LAYOUT AND SERVICES NECESSARY TO EXECUTE AND COMPLETE ALL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED. PREPARATION AND INSTALLATIONS TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS.
- THE G.C. AND ALL SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH ALL APPLICABLE CODES AND REGULATIONS IN REGARDS TO THEIR WORK FOR THEY WILL BE RESPONSIBLE FOR SAME. THE G.C. IS TO FILE WORKERS COMPENSATION WITH THE DEPARTMENT OF BUILDINGS. THE G.C. IS TO OBTAIN AND PAY FOR THE BUILDING PERMIT. THE SUBCONTRACTORS ARE TO PAY FOR AND OBTAIN PERMIT REQUIRED IN CONNECTION WITH THEIR WORK.
- REQUIRED INSPECTIONS.
- PLANS ARE SUBJECT TO CHANGES AS DIRECTED BY THE DEPARTMENT OF BUILDINGS. THE G.C. AND SUBCONTRACTORS ARE TO REVIEW THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS, NOTES AND ADDENDUMS THOROUGHLY TO DETERMINE THE EXTENT OF WORK UNDER THEIR TRADE AND THE WORK OF OTHER TRADES REQUIRING COORDINATION, FOR THEY WILL BE RESPONSIBLE FOR SAME. THE ARCHITECT WILL CLARIFY ANY DISCREPANCIES OR CONTRACTOR QUESTIONS IN WRITING PRIOR TO BID SUBMISSION DO NOT SCALE DRAWINGS. USE COMPUTED DIMENSIONS ONLY. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- 10. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS ARE TO BE CONSIDERED AS REASONABLY CORRECT, BUT IT IS UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITIONS. THE G.C. AND ALL SUBCONTRACTORS ARE TO INVESTIGATE THE JOB SITE AND ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND START OF CONSTRUCTION. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. DISCREPANCIES AND UNCOVERED CONDITIONS NOT ADDRESSED SHOULD BE BROUGHT TO THE
- ATTENTION OF THE OWNER AND THE ARCHITECT 12. ALL WORK IS TO BE PERFORMED IN A NEAT, PROFESSIONAL MANNER BY SKILLED MECHANICS. THE G.C. AND OTHER SUBCONTRACTORS ARE TO BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR 13 WORK, COORDINATION WITH OTHER TRADES. METHODS, SAFETY AND SECURITY ON THE SITE AT ALL TIMES. SPECIAL ATTENTION TO SAFETY IS TO BE PROVIDED DURING ALL REQUIRED DEMOLITION WORK. THE ARCHITECT AND THE ARCHITECT'S AGENTS ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND IS HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY CLAIMS, LOSSES, SUITS, OR LEGAL ACTIONS ARISING FROM THE CONTRACTORS PERFORMANCE OF THE WORK ON THIS PROJECT.
- THE G.C. IS TO RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR AND PAY THE FEE TO LOCATE AND STAKE 14 THE PROPOSED STRUCTURE(S). THE LAND SURVEYOR IS TO ESTABLISH THE GRADE DATUM(S) IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.- IF REQUIRED IN SCOPE OF WORK 15. THE G.C. IS TO NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE POURING OF CONCRETE
- FOOTINGS THE G.C. IS TO SECURE AND PAY FEES FOR THE CERTIFICATE OF OCCUPANCY AFTER COMPLETION OF THE WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS, ADDENDA'S AND OTHER APPROVED CHANGE ORDERS. SUBMIT COPIES OF THE CERTIFICATE OF OCCUPANCY TO THE OWNER PRIOR TO SUBMITTING FOR FINAL PAYMENT 17. NO EXTRA CHARGES WILL BE ACCEPTED DUE TO AN INCOMPLETE FIELD OBSERVATION BY THE G.C. AND ALL
- SUBCONTRACTORS, EXCEPT FOR HIDDEN CONDITIONS AS DETERMINED BY THE ARCHITECT 18. THE OWNER AND/OR THE ARCHITECT RESERVES THE RIGHT TO REQUEST SUBMITTALS AND/OR SHOP DRAWINGS
- FOR APPROVAL ON ANY AND ALL ITEMS SPECIFIED ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO STRUCTURAL STEEL, STEEL REINFORCEMENT, DOOR HARDWARE, PLUMBING AND ELECTRICAL FIXTURES AND HVAC EQUIPMENT. THE CONTRACTOR MUST SUBMIT (3) COPIES OF EQUIPMENT AND FIXTURE CUTS ON ITEMS THAT THE CONTRACTOR IS REQUESTING TO SUBSTITUTE FOR THE ITEMS SPECIFIED ON THE DRAWINGS. 19. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE WORK UNDER THEIR CONTRACT INCLUDING PARTS AND LABOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S FINAL
- ACCEPTANCE. 20. THE ARCHITECT HAS NOT BEEN RETAINED TO PERFORM WORK DURING CONSTRUCTION OF A PROJECT AND ASSUMES NO RESPONSIBILITY FOR INSPECTIONS, CHANGES IN DESIGN OR CONSTRUCTION MEANS AND METHODS.



EXISTING STREET FRONT

ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF AGENCIES HAVING JURISDICTION. ALL CONTRACTORS AND SUBCONTRACTORS ARE TO COMPLY WITH ALL O.S.H.A. REQUIREMENTS PERTAINING TO THEIR WORK

- THE G.C. AND SUBCONTRACTORS ARE TO ARRANGE FOR AND AND PAY ALL FEES IN CONNECTION WITH ALL

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE VILLAGE OF BRONXVILLE MUNICIPAL CODE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND	WIND DES	-			SEISMIC	SUBJECT TO DAMA	AGE FROM:		WIND	ICE BARRIER	FLOOD	AIR	MEAN
SNOW LOAD (PSF)	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION I	WIND-BORNE DEBRIS ZONE	DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DESIGN TEMP	UNDERLAYMENT REQUIRED	HAZARDS	FREEZING INDEX	ANNUAL TEMP.
30	120	NO	YES	NO	В	SEVERE	42"	MODERATE TO HEAVY	15deg.F	YES	SEE BELOW	1500	52deg.F

FLOOD HAZARDS A. FIRST CODE DATE OF ADOPTION JULY 9, 1980

B. DATE OF FLOOD INSURANCE STUDY JAN. 21 1998 C. MAP PANEL NUMBERS 36119C0307F THROUGH 36119C0338F EFFECTIVE SEPT.28, 2007

SMOKE DETECTOR NOTES:

ROVIDE DETECTORS AS PER SECTION FC 907.2.9 OF THE 2020 NYS BUILDING CODE / NYS FIRE CODE EVICES TO BE LOCATED AS FOLLOW

ONE FOR EACH SLEEPING ROOM ONE DIRECTLY OUTSIDE EACH SLEEPING ROOM

ONE FOR EACH STORY, INCLUDING BASEMENT

EVICES LOCATED IN AREAS WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE TRUCTURE CAN BE BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED, EXCEPT THAT ITERCONNECTION IS REQUIRED IF THE ROOMS CAN BE ACCESSED THROUGH THE ATTIC FLOOR

BOARD OF HEALTH NOTES:

- 1.) WITH CURRENT CODES, RULES AND REGULATIONS.
- 2.) OTHER APPLICABLE AREAS.
- 3.) ACCEPTABLE IN ANY PREP, STORAGE OR CLEANING AREA
- 4.) NON-ABSORBANT, NON-FISSURED, AND NON-PERFORATED.
- 5.) INSTALL PAPER TOWEL DISPENSER.
- 6.) CREATE A ANTEROOM WITH A SELF-CLOSING DOOR TO THE BATHROOM.
- ALL EQUIPMENT MUST BE N.S.F. APPROVED OR EQUAL. ADEQUATE SHELVING IS REQUIRED. 7.) ALL SHELVING MUST BE N.S.F. APPROVED OR EQUAL. ADEQUATE SHELVING IS REQUIRED.
- SEALED TO THE FLOOR, WALL, OR ADJACENT EQUIPMENT OR A MINIMUM OF (6) INCHES OFF THE FLOOR, WALL OR ADJACENT EQUIPMENT.
- DEPARTMENT, ANY EQUIPMENT DETERMINED TO BE SUBSTANDARD, MUST BE REMOVED FORTHWITH AND REPLACED WITH APPROVABLE EQUIPMENT.

SCALE: N.T.S

SUBJECT PROPERTY 19 PARK PLACE, BRONXVILLE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

CARBON MONOXIDE ALARM NOTES:

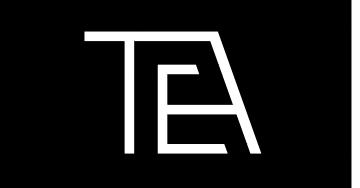
PROVIDE DETECTORS AS PER SECTION 915.1 OF THE 2020 NYS BUILDING CODE / NYS FIRE CODE DEVICES TO BE LOCATED AS FOLLOWS DEVICES TO BE LOCATED AS FOLLOWS

ONE FOR EACH STORY HAVING A SLEEPING AREA ONE FOR EACH STORY WHERE FUEL FIRED APPLIANCES AND EQUIPMENT OR ATTACHED GARAGES ARE LOCATED

DEVICES LOCATED IN AREAS WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE CAN BE BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED. ALARMS MUST BE LOCATED WITHIN 10 FEET OF ANY BEDROOM DOOR AND MUST HAVE A DIGITAL READ-OUT

PRE-EXISTING FOOD SERVICE ESTABLISHMENTS AND CONDITIONS IN PRE-EXISTING FOOD SERVICE ESTABLISHMENTS ARE REQUIRED TO BE BROUGHT UP TO AND INTO COMPLIANCE ALL WALL/FLOOR INTERSECTIONS ARE TO BE COVED IN FOOD PREPARATION, FOORD STORAGE, UTENSIL WASHING, DRESSING, LOCKER AND TOILET ROOMS, WALK-IN BOXES, AND FLOORS AND FLOOR COVERINGS OF THE NEW (AND EXISTING) COUNTER AREA ARE TO BE MADE SMOOTH, DURABLE, WASHABLE, AND NON-ABSORBANT. WOOD FLOORING IS NOT WALLS, WALL COVERINGS, AND CEILINGS OF NEW AND EXISTING FOOD PREPARATION, STORAGE, WASHING AREAS ARE TO BE EASILY CLEANABLE, LIGHT-COLORED, SMOOTH, ONE (1) COMPARTMENT OF THE EXISTING THREE (3) COMPARTMENT SINK MAY BE USED AS A HAND WASHING BASIN (REQUIRED). CONTRACTOR MUST INSTALL SOAP DISPENSER AND IF EXISTING TOILET ROOM OPENS DIRECTLY INTO A FOOD PREPARATION, STORAGE OR UTENSIL WASHING AREA, THIS IS PROHIBITED. CONTRACTOR TO INSTALL NEW PARTITIONS TO

FOOD SERVICE EQUIPMENT MUST BE INSTALLED ACCORDING TO N.S.F. STANDARDS AND WESTCHESTER COUNTY DEPARTMENT OF HEALTH PLAN GUIDELINES. EQUIPMENT MUST BE A STATEMENT IS REQUIRED DECLARING THAT ALL USED AND/OR EXISTING EQUIPMENT WILL MEET CURRENT N.S.F. STANDARDS AND ARE SUBJECT TO FIELD EVALUATION BY THE



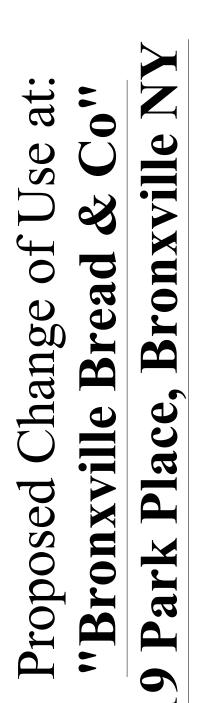
HAYNES ARCHITECTURE P.C.

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- p: 914.963.3838 f: 914.963.3861 e: info @ haynesdesigngroup.com

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revisions:

project title:



TITLE/ GENERAL NOTES



LEGEND AND SYMBOLS: GENERAL NOTES:

		CONCRETE : 1. CONCRETE IS TO BE CONTROLLED STONE CONCRETE COMPLYING WITH A.C.I. 318 BUILDING CODE REQUIREMENTS.	MASONRY: 1. STONE AND CONCRETE MASONRY WALLS SHALL CONFORM TO THE RECOMMENDED PRACTICE FOR ENGINEERED
	EXISTING WALL	1. CONCRETE IS TO BE CONTROLLED STONE CONCRETE COMPLYING WITH A.C.I. 318 BUILDING CODE REQUIREMENTS. CONCRETE IS TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE FOR	 STONE AND CONCRETE MASONRY WALLS SHALL CONFORM TO THE RECOMMENDED PRACTICE FOR ENGINEERED BRICK MASONRY. LATEST EDITION BY STRUCTURAL CLAY PRODUCTS INSTITUTE, AND "SPECIFICATIONS FOR THE
	EXISTING WALL	GARAGE SLABS, CARPORT SLABS, SON-O-TUBE FOOTINGS, STEPS, PORCH SLABS AND SIDEWALKS EXPOSED TO	DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" BY NATIONAL CONCRETE MASONRY
		WEATHER IS TO BE MINIMUM 3500 PSI CLASS 'B' "AIR-ENTAINED" CONCRETE. SEE FOUNDATION PLANS FOR	ASSOCIATION.
/////.	NEW WALL	LOCATIONS OF CONCRETE WITH A HIGHER COMPRESSIVE STRENGTH.	2. ALL UNITS SHALL BE PLACED IN RUNNING BOND, EXCEPT WHERE INDICATED.
		2. CONCRETE IS TO BE PLACED IN CONFORMANCE WITH A.C.I. 304. LATEST ADDITION. CONCRETE IS NOT TO BE	3. CONCRETE MASONRY UNITS (CMU) ARE TO BE GRADE 'N', TYPE 'I' CONFORMING TO THE A.S.T.M. C-90, "HOLLOW
		SUBJECT TO DROPS OF MORE THAN 5'-0".	LOAD BEARING UNITS". CMU WIDTHS FOR WALL THICKNESS' AS INDICATED ON THE DRAWINGS. PROVIDE CORNER
	WALL TO BE DEMOLISHED	3. ALL POURS ARE TO BE TERMINATED BY FORMS. PROVIDE KEY WAYS AS INDICATED ON THE DRAWINGS AND AS	SASH, HALF HEIGHT AND ALL OTHER TYPES OF CMU REQUIRED TO COMPLETE MASONRY WALLS AS INDICATED.
		DIRECTED BY THE ARCHITECT.	4. FACE BRICK IS TO BE OF TYPE, SIZE AND COLOR AS INDICATED ON THE DRAWINGS CONFORMING TO A.S.T.M. C-21
		4. ALL CONCRETE IS TO BE FORMED, UNLESS OTHERWISE APPROVED BY THE ARCHITECT.	"FACING BRICK (SOLID MASONRY UNITS MADE FROM CLAY OR SHALE).
		5. OBTAIN CONCRETE MANUFACTURER'S CERTIFICATES OF COMPLIANCE SHOWING CONCRETE CLASS, AGGREGATE	5. MANUFACTURER: OBTAIN ALL CMU FROM ONE MANUFACTURER BEING OF UNIFORM SIZE, COLOR AND TEXTURE
\frown	EXISTING DOOR	SIZES, ADDITIVES USED AND FIBER MESH REINFORCEMENT (IF APPLICABLE).	FOR EACH CMU TYPE REQUIRED FOR EACH CONTINUOUS AREA AND EACH VISUAL RELATED AREAS.
		6. THE FOUNDATION SUBCONTRACTOR IS TO OBTAIN CONCRETE TEST CYLINDERS FOR EACH CLASS OF CONCRETE	6. MORTAR IS TO BE TYPE 'S' MORTAR IN CONFORMANCE WITH A.S.T.M. C-270 "MORTAR FOR UNIT MASONRY".
		SPECIFIED. TAKE TWO (2) CYLINDERS EACH FOR EACH 150 CU.YDS. OR FRACTIONS THEREOF. TEST ONE (1)	AVERAGE COMPRESSIVE STRENGTH TO BE 1800 PSI AT 28 DAYS.
\land		CYLINDER AT SEVEN (7) DAYS AND ONE (1) CYLINDER AT 28 DAYS. CYLINDER TESTS TO BE PERFORMED BY A CERTIFIED TESTING LABORATORY. TEST REPORTS ARE TO INCLUDE CONCRETE CLASS. SLUMP. GAGE AND	 ALL MASONRY WALLS TO BE PROPERLY SHORED AGAINST WIND AND OTHER LATERAL LOADS UNTIL FLOOR AND ROOF CONSTRUCTION IS COMPLETELY INSTALLED. THE G.C. IS TO ASSUME FULL RESPONSIBILITY FOR MASONRY
D)	NEW DOOR	LOCATION OF CONCRETE. SUBMIT THREE (3) COPIES OF TEST REPORTS TO THE ARCHITECT FOR REVIEW AND	WALL STABILITY.
J) \\		APPROVAL.	 PROVIDE ALL ANCHOR BOLTS WITH NUTS AND WASHERS, IN SIZES AND QUANTITIES INDICATED ON THE DRAWING
		7. THE FOUNDATION SUBCONTRACTOR IS TO SUBMIT FOUR (4) COPIES OF THE STEEL REINFORCEMENT SHOP	THAT ARE TO BE EMBEDDED INTO MASONRY. ANCHOR BOLTS ARE TO CONFORM TO THE STANDARDS OF A.S.T.M.
	DOOR TO BE DEMOLISHED	DRAWINGS TO THE ARCHITECT FOR APPROVAL. THE SHOP DRAWINGS ARE TO INDICATE REINFORCEMENT TYPE.	A-307.
//	DOOR TO BE DEMIOLISHED	SIZES, QUANTITIES, PLACEMENT AND ALL BENDS AND LAPS FOR ALL FOUNDATION REINFORCEMENT AS INDICATED	9. COORDINATE INSTALLATION OF ALL EMBEDMENTS PROVIDED BY OTHER TRADES.
		ON THE DRAWINGS.	10. CONSTRUCT ALL OPENINGS, SLEEVES, CHASES, ETC. REQUIRED BY OTHER TRADES AS INDICATED ON THE
\mathbf{N}		8. ALL REINFORCEMENT IS TO BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL A-615 GRADE .60	DRAWINGS.
Х		BENDS IN REINFORCEMENT ARE TO BE SHOP FABRICATED. FIELD BENDS WILL NOT BE PERMITTED.	11. MORTAR JOINTS ARE TO BE STRAIGHT AND LEVEL., OF A UNIFORM THICKNESS AND DEPTH. THICKNESS TO BE
	WALL TAG	9. ALL REINFORCEMENT STEEL IS TO BE SECURELY WIRED TOGETHER IN THE FRAMEWORK. TWO WAY MATS OF	BETWEEN 3/8" AND 1/2". JOINTS AT INTERSECTING CORNERS MUST MEET.
		STEEL ARE TO BE TIED AT ALTERNATE INTERSECTIONS BOTH WAYS.	12. AS WORK PROGRESSES, INSTALL ALL BUILT IN ITEMS SPECIFIED ON THE DRAWINGS AND IN THE SPECIFICATIONS
		10. THE FOUNDATION SUBCONTRACTOR IS TO PROVIDE HIGH CHAIRS, SPACERS, SUPPORTS, ETC. AS NECESSARY FOR	13. GROUT FOR FILLING CMU CORES SOLIDLY IS TO BE TYPE 'M' OR TYPE 'S' MORTAR IN CONFORMANCE WITH A.S.T.M
		THE PROPER PLACEMENT OF THE REINFORCEMENT STEEL.	C-476 "GROUT FOR UNIT MASONRY".
\frown		11. PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS:	14. FILL CMU CORES SOLIDLY WITH GROUT A MINIMUM OF THREE (3) COURSES UNDER EACH LINTEL, BEARING PLATE
S)	SMOKE DETECTOR	· CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH3"	EMBEDMENTS OR OTHER SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED.
.	-HARDWIRE & BATT. BACK-UP	· EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER)1 1/2"	15. PROVIDE PRECAST REINFORCED CONCRETE LINTELS AS INDICATED ON THE DRAWINGS. AT THE OPTION OF THE
0		EXPOSED TO EARTH OR WEATHER (#6 BARS OR GREATER)2"	G.C. STEEL ANGLES OR STEEL BEAM LINTLES, PROPERLY SIZED FOR THE REQUIRED LOADS, MAY BE USED. ALL
		 NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH: 	LINTELS TO BEAR A MINIMUM OF 4" ONTO SUPPORTS.
	CARBON MONOXIDE DETECTOR	 SLABS, WALLS AND JOISTS	16. PROVIDE SPANDREL WATERPROOFING AT ALL SPANDREL GIRDERS, STEEL LINTELS, DOOR AND WINDOW HEADS,
C)	W/ DIGITAL READ-OUT	· BEAMS, GIRDERS, COLUMNS	AND WHERE EVER ELSE INDICATED ON THE DRAWINGS. USE FABRIC FLASHING AS MANUFACTURED BY
		(PRINCIPAL REINFORCEMENT, TIES, STIRRUPS OR SPIRALS)1 1/2"	"NERVASTRAL" TYPE SEAL PRUF HD OR AN APPROVED EQUAL. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS
		12. LENGTH OR REINFORCEMENT SPLICES ARE TO CONFORM TO A.C.I. BUILDING CODE REQUIREMENTS, BUT IN NO	17. PROVIDE VERTICAL AND HORIZONTAL CONTROL AND EXPANSION JOINTS IN ALL EXTERIOR MASONRY WALLS.
_		CASE ARE THE SPLICES TO BE LESS THAN 30 BAR DIAMETERS OR AS OTHERWISE APPROVED BY THE ARCHITECT.	MAXIMUM SPACING TO BE 20'-0" O.C. PROVIDE CONTROL AND EXPANSION JOINTS EVEN IF NOT SPECIFIED IN THE
	75 CFM MECH. EXHAUST FAN -CONNECT TO SEPARATE	 WELDED WIRE FABRIC IS TO CONFORM TO A.S.T.M. SPECIFICATION A-185. ALL SLABS ON GRADE ARE TO BE REINFORCED WITH WELDED WIRE FABRIC 3/4" DOWN FROM THE TOP OF SLAB. 	DRAWINGS. 18. CAULKING FOR CONTROL AND EXPANSION JOINTS TO BE G.E. SILICONE BASE SEALANT OR AN APPROVED EQUAL.
	SWITCH DUCT TO EXTERIOR	AND OVER ANY PIPES OR CONDUITS IN THE SLAB. SIZE AND TYPE TO BE AS INDICATED ON THE DRAWINGS, BUT IN	18. CAULKING FOR CONTROL AND EXPANSION JOINTS TO BE G.E. SILICONE BASE SEALANT OR AN APPROVED EQUAL. INSTALL WITH APPROPRIATE FOAM BACKER ROD IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
	Switch Boot to Extended	NO CASE IS THE W.W.F. TO BE LESS THAN 6X6 -WI.4/WI.4 W.W.F. FOR 4" SLABS AND 6X6 -W2.9-W2.9 W.W.F. FOR 6"	 ALL MASONRY WORK IS TO BE REINFORCED WITH GALVANIZED "DUR-O-WAL" JOINT REINFORCEMENT EVERY 2ND
		THICK SLABS.	BLOCK COURSE UNLESS OTHERWISE NOTED. "DUR-O-WAL" IS TO BE PLACED IN THE FIRST AND SECOND BED
		15. FIBER MESH REINFORCEMENT INTEGRAL WITH THE CONCRETE MIX MAY BE SUBSTITUTED WITH W.W.F. IN 4" SLABS	JOINTS ABOVE AND BELOW OPENINGS AND IN EVERY 2ND BED JOINT THROUGH OUT REMAINDER OF WALL.
	ELEVATION MARKER	ON GRADE.	REINFORCING IS TO OVERLAP 6" MINIMUM.
		16. W.W.F. IS TO LAP ONE FULL MESH SQUARE AT ALL SIDES AND END LAPS AND BE WIRED TOGETHER.	20. FOR BRICK OR CMU VENEERS WITH STUD WALL BACKUP, USE CORRUGATED GALVANIZED BRICK TIES SCREWED
		17. THICKNESS' AND REINFORCEMENT OF STRUCTURAL SLABS ON GRADE DUE TO SPECIAL LOADING REQUIREMENTS	TO STUDS AT MAXIMUM SPACING OF 24" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY. (1 TIE PER 3 S.F. OF
	ELEVATION	SHALL BE NOTED ON THE DRAWINGS.	VENEER FACE AREA MAXIMUM).
$ \land$		18. POUR SLABS ON GRADE IN ALTERNATING LANE (CHECKERBOARD) PATTERNS NOT TO EXCEED 800 S.F. IN AREA OR	21. PROVIDE "KOR-FIL" INSULATION IN ALL CMU WALLS EXPOSED TO THE EXTERIOR.
\mathbf{V}	- ELEVATION NUMBER	MORE THAN 40 FEET IN LENGTH BETWEEN CONSTRUCTION OR EXPANSION JOISTS. PROVIDE DIAMOND SHAPED	22. THE CONTRACTOR IS TO PROTECT ALL MASONRY WALLS FROM COLD WEATHER INSTALLATIONS TO PREVENT
		ISOLATION JOINTS AT ALL INTERIOR COLUMNS. EXPANSION JOINTS ARE TO BE MADE FROM PRE FORMED ASPHALT	MORTAR FROM FREEZING.
-X.XX-//	– DRAWING NUMBER	IMPREGNATED FIBERBOARD.	
		19. PLACE A MINIMUM OF 4" CRUSHED STONE UNDER ALL SLABS ON GRADE.	METALS:
		20. INSTALL 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE. LAP ENDS A MINIMUM OF 6" AND	1. STEEL CONSTRUCTION SHALL CONFORM TO AISC "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.
		TAPE.	2. MATERIALS FOR STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING A.S.T.M. SPECIFICATIONS:
	DETAIL	21. PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES, BETWEEN SIDEWALK SLABS AND	 WF COLUMNS, PIPE COLUMNS, BEAMS, GIRDERS, MISC. STEEL: ASTM A-36 DEADING DUATES, DASE DUATES, AND GAD DUATES, ASTM 26
Ŷ	– DETAIL NUMBER	CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED MAXIMUM OF 10'-0" O.C.	BEARING PLATES, BASE PLATES, AND CAP PLATES: ASTM-36 STRUCTURAL TURING COLUMNS - ASTM 4500, Fire 46 km
		22. PROVIDE 1/4" X 1" DEEP SAW CUTS (CUT INTO SLABS WITHIN 24 HOURS OF POUR) OR FORMED JOINT FILLED WITH	 STRUCTURAL TUBING COLUMNS : ASTM A500 Fy= 46 ksi ALL BOLTED CONNECTIONS SHALL BE MADE USING HIGH STRENTH A325-F BOLTS. 3/4" DIAMETER INSTALLED IN
-X.XX /	- DRAWING NUMBER	SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.	3. ALL BOLTED CONNECTIONS SHALL BE MADE USING HIGH STRENTH A325-F BOLTS, 3/4" DIAMETER INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS" USING A325 OR A490 BOLTS. UNLESS OTHERWIS
		23. THE FOUNDATION CONTRACTOR IS TO ASCERTAIN THE LOCATIONS OF ALL SLEEVES, INSERTS, ANCHOR BOLTS	DETAILED.
-		AND EMBEDMENTS REQUIRED BY ALL OTHER TRADES. SUCH EMBEDMENTS ARE TO BE CHECKED FOR	 4. STEEL CONCRETE REINFORCEMENT: BARS: NEW BILLET STEEL DEFORMED BARS, ASTM A 615, GRADE 60 SIZED AS
	DOOR NUMBER	COMPLETENESS AND PROPER LOCATION PRIOR TO CONCRETE BEING PLACED.	4. STEEL CONCRETE REINFORCEMENT. BARS. NEW BILLET STEEL DEFORMED BARS, ASTMA 015, GRADE 00 SIZED AS NOTED ON DRAWINGS. WELDED WIRE FABRIC (WWF) : ASTM A185, SIZES AS NOTED ON DRAWINGS.
D. -)		24. NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE PLACEMENT OF CONCRETE FOOTINGS	 PROVIDE 1/2" DIAMETER X 1'-6" LONG MINIMUM THREADED ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM, MINIMUM 2 PER
		FOR REQUIRED INSPECTIONS.	PLATE TO ANCHOR EXTERIOR SILLS. ANCHOR BOLTS SHALL BE ON A36 OR A307 STEEL EMBODIMENT TO BE 8" FOR
		25. CURING OF CONCRETE IS TO START AS SOON AS THE FINISHES WILL NOT BE MARRED THEREBY DELAYING THE	POURED CONCRETE AND 15" FOR CMU.
		CURING PROCESS WILL NOT BE PERMITTED.	 ALL STEEL SHALL BE SHOP PAINTED WITH GREY ZINC CHROMATE PRIMER 2.0 MILS. IN THICKNESS. EXCEPT WHER
WX	WINDOW TYPE	26. ALL COLD WEATHER CONCRETE TO BE PERFORMED IN ACCORDANCE WITH ALL RECOMMENDATIONS OF THE A.C.I. PROVIDE AND INSTALL TEMPORARY INSULATING BLANKETS AS REQUIRED TO PROTECT CONCRETE FROM	FIELD WELDING IS TO BE DONE. ALL WELDS AND BARE SPOTS SHALL RECEIVE TOUCH UP PAINTING.
**/ `		FREEZING, CORROSIVE ADMIXTURES SUCH AS THOSE CONTAINING CALCIUM CHLORIDE MAY NOT BE USED.	7. ALL COLUMNS UNLESS OTHERWISE NOTED, SHALL BE 4" DIAMETER STANDARD WEIGHT (MIN.) STEEL PIPE
/		27. PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES.	COLUMNS WITH BEARING PLATES AT TOP AND BOTTOM WELDED TO COLUMN. PRIME COAT OF PAINT TO BE
X	SCOPE OF WORK TAG	27. PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES. 28. APPLY TROWEL FINISH TO ALL MONOLITHIC SLAB SURFACES EXPOSED TO VIEW OR RECEIVING FLOORING.	APPLIED AFTER WELDING. (10"X10"X5/8" BOTTOM PLATE, UNLESS OTHERWISE NOTED).
Λ_/		VARIATIONS IN FLOOR SLABS ARE NOT TO EXCEED 1/8" IN 10'-0" UNLESS SLAB PITCHES TOWARD FLOOR DRAIN.	
		29. APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALKS, GARAGE FLOORS AND ELSEWHERE AS INDICATED ON	
		29. APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALKS, GARAGE FLOORS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.	FIRE/SMOKE DETECTION :
XX)	PLUMBING TAG	30. INSTALL CONCRETE SLAB SEALER TO ALL INTERIOR SLABS EXPOSED TO VIEW NOT RECEIVING FINISHES TO	1. SMOKE DETECTING ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA AND
		PREVENT DUSTING U.O.N.	EACH FLOOR PER SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE, N.F.P.A. #72 AND ALL OTHER
			APPLICABLE CODES AND REQUIREMENTS HAVING JURISDICTION.
	EQUIPMENT TAG		2. CARBON MONOXIDE DETECTORS AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL
EXX			CODES AND ORDINANCES ARE TO BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOMS ON THE LOWEST
			FLOOR OF THE DWELLING UNIT CONTAINING BEDROOMS. AT LEAST ONE (1) CARBON MONOXIDE DETECTOR SHALI
			BE PROVIDED IN EACH DWELLING UNIT. CO ALARMS ARE TO COMPLY WITH UL 2034-2002 (SINGLE AND MULTIPLE
			STATION CARBON MONOXIDE ALARMS, SECOND EDITION.

ABBREVIATIONS:

/C	AIR CONDITIONING	CLR.	CLEAR	EQUIP.	EQUIPMENT	GEN.	GENERAL	MTD.	MOUNTED	QUAN.	QUANTITY
COUS.	ACOUSTICAL	CLR. OPG.	CLEAR OPENING	EXH.	EXHAUST	GL.	GLASS OR GLAZED	MUL.	MULLION	R/A	RETURN AIR
COUS.T	ACOUSTICAL TILE	COL.	COLUMN	EXIST.	EXISTING	GYP.	GYPSUM	M.TH.	METAL THRESHOLD	RAD.	RADIUS
DJ.	ADJUSTABLE	CONC.	CONCRETE	EXPAN.	EXPANSION EXPOS	GWB.	GYPSUM WALL BOARD	MIC.	MICROWAVE	RECEP.	RECEPTACLE
LUM.	ALUMINUM	CONN.	CONNECT	EXT.	EXTERIOR	HGT.	HEIGHT	(N)	NORTH	REFF.	REFERENCE
T.	ALTERNATE	CONST.	CONSTRUCTION	ELECT.	ELECTRICAL	H.M.	HOLLOW METAL	N.	NEW	REF	REFRIGERATOR
IOD.	ANODIZED	CONT.	CONTINUOUS	F.ALM.	FIRE ALARM	HORIZ.	HORIZONTAL	NEG.	NEGATIVE	REFL.	REFLECTED
PVD.	APPROVED	COR.	CORNER	FABR.	FABRICATE	HVAC	HEATING, VENTILATION	N.I.C	NOT IN CONTRACT	REINF.	REINFORCED
PROX.	APPROXIMATE	CORR.	CORRIDOR	F.E.	FIRE EXTINGUISHER		& AIR CONDITIONING	NO.(OR #)	NUMBER	RESIL.	RESILIENT
RCH.	ARCHITECT or	C.T.	COUNTERTOP	F.E.C	FIRE EXTINGUISHER	H.W.	HOT WATER	N.T.S	NOT TO SCALE	REQ.	REQUIRED
	ARCHITECTURAL	CTR.	CENTER		CABINET	I.D	INSIDE DIAMETER	O.A	OVERALL	R.H.	RIGHT HAND
JTO.	AUTOMATIC	C.W.	COLD WATER	FIN. FL.	FINISH FLOOR	INCL.	INCLUDE(D)(ING)	0.C	ON CENTER	RM.	ROOM
′G.	AVERAGE	D.A.	DOUBLE ACTING	F.H.C	FIRE HOSE CABINET	INFO.	INFORMATION	O.D	OUTSIDE DIAMETER	RND.	ROUND
	AND	DEPT.	DEPARTMENT	FIN.	FINISH(ED)	INT.	INTERIOR	OFF.	OFFICE	R.O.	ROUGH OPENING
F.F.	ABOVE FINISH FLOOR	DET.	DETAIL	FLR.	FLOOR	JAN.	JANITOR	O.H	OPPOSITE HAND OPNG.	REV.	REVISION
V.	ABOVE	D.F.	DRINKING FOUNTAIN	FLUOR.	FLUORESCENT	JT.	JOINT	OPP.	OPPOSITE	(S)	SOUTH
	BOARD	DIA.	DIAMETER	F.O.C	FACE OF CONCRETE	LAM.	LAMINATE	ORIG.	ORIGINAL	SCHED.	SCHEDULE
DG.	BUILDING	DIM.	DIMENSION	F.O.F	FACE OF FINISH	LB (OR #)	POUND	PART.BD.	PARTICLE BOARD	SECT.	SECTION
KG.	BLOCKING	DIV.	DIVISION	F.O.G	FACE OF GYP.BD.	L.H.	LEFT HAND	P.LAM.	PLASTIC LAMINATE	SIM.	SIMILAR
KT.	BRACKET	DN.	DOWN	F.O.S	FACE OF STUD	LAV.	LAVATORY	PLAS.	PLASTER	SQ.	SQUARE
Z.	BRONZE	DR.	DOOR	F.O.W	FACE OF WALL	MAINT.	MAINTENANCE	PLYWD.	PLYWOOD	SQ.FT OR SF.	SQUARE FEET
MT.	BASEMENT	DWG.	DRAWING	FR.	FRAME	MAX.	MAXIMUM	PNL.	PANEL	STL.	STEEL
B.	CABINET	DRW.	DRAWER	F.S.	FULL SIZE	MECH.	MECHANICAL	PR.	PAIR	S.S.	STAINLESS STEEL
C.	CENTER TO CENTER	(E.)	EAST	FT.	FOOT OR FEET	M.C.	MAIL CHUTE	PREFAB.	PREFABRICATED	STD.	STANDARD
R.	CERAMIC	ELEC.	ELECTRIC	F.A.R	FLOOR AREA RATIO	MTL.	METAL	PROJ.	PROJECT	STRUCT.	STRUCTURAL
KG.	CALKING	ELEV.	ELEVATION	F-F	FACE TO FACE FURR./	MEZZ.	MEZZANINE	PTN.	PARTITION	SUSP.	SUSPENDED
	CENTER LINE	ELEVR.	ELEVATOR		FURRING	MGR.	MANAGER	PTD.	PAINTED	SYMM.	SYMMETRICAL
G.	CEILING	ENGR.	ENGINEER	FIXT.	FIXTURE	MIN.	MINIMUM	PWG.	PAINTED WOOD & GLASS	SYS.	SYSTEM
OS.	CLOSET	EQ.	EQUAL	GA.	GAUGE	MISC.	MISCELLANEOUS	QUAL.	QUALITY	SPL.	SPLASH

METALS:

- BEARING PLATES, BASE PLATES, AND CAP PLATES: ASTM-36 STRUCTURAL TUBING COLUMNS : ASTM A500 Fy= 46 ksi
- DETAILED.
- POURED CONCRETE AND 15" FOR CMU.
- COLUMNS WITH BEARING PLATES AT TOP AND BOTTOM WELDED TO COLUMN. PRIME COAT OF PAINT TO BE

WOOD/PLASTICS:

- MANUFACTURERS ASSOCIATION.
- INDICATED ON DRAWING.
- 6. ALL NEW LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER, WITH MIN. FB=1250 PSI AND E 1,500,000 PSI.
- 7. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING AND BE KILN DRY.
- 8. ALL BEAMS, JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP.
- INTERMEDIATE SUPPORT.
- 13. USE PLY CLIPS OR OTHER EDGE SUPPORT FOR ALL PLYWOOD SHEATHING.
- 16. JOIST HANGERS, FRAMING ANCHORS AND RAFTER ANCHORS SHALL BE HOT DIPPED GALVANIZED, "ZMAX"

- UNTIL AFTER ENTIRE STRUCTURE IS COMPLETE. 19. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- CORNERS WITH 5/8" CDX PLYWOOD 4'-0" IN EACH DIRECTION.
- TRIM
- PRESSURE TREATED WOOD.
- 24. PRESSURE PRESERVATIVES TREATMENT FOR WOOD SHALL BE APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION.
- 26. ALL LUMBER FOR EXTERIOR DECKS AND LUMBER IN CONTACT WITH CONCRETE SURFACES SHALL BE PRESSURE TREATED.

S

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1. STEEL CONSTRUCTION SHALL CONFORM TO AISC "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION. 2. MATERIALS FOR STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING A.S.T.M. SPECIFICATIONS: WF COLUMNS, PIPE COLUMNS, BEAMS, GIRDERS, MISC. STEEL: ASTM A-36

3. ALL BOLTED CONNECTIONS SHALL BE MADE USING HIGH STRENTH A325-F BOLTS, 3/4" DIAMETER INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS" USING A325 OR A490 BOLTS. UNLESS OTHERWISE

4. STEEL CONCRETE REINFORCEMENT: BARS: NEW BILLET STEEL DEFORMED BARS, ASTM A 615, GRADE 60 SIZED AS NOTED ON DRAWINGS. WELDED WIRE FABRIC (WWF) : ASTM A185, SIZES AS NOTED ON DRAWINGS. 5. PROVIDE 1/2" DIAMETER X 1'-6" LONG MINIMUM THREADED ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM, MINIMUM 2 PER PLATE TO ANCHOR EXTERIOR SILLS. ANCHOR BOLTS SHALL BE ON A36 OR A307 STEEL EMBODIMENT TO BE 8" FOR

6. ALL STEEL SHALL BE SHOP PAINTED WITH GREY ZINC CHROMATE PRIMER 2.0 MILS. IN THICKNESS. EXCEPT WHERE FIELD WELDING IS TO BE DONE. ALL WELDS AND BARE SPOTS SHALL RECEIVE TOUCH UP PAINTING. 7. ALL COLUMNS UNLESS OTHERWISE NOTED, SHALL BE 4" DIAMETER STANDARD WEIGHT (MIN.) STEEL PIPE

APPLIED AFTER WELDING. (10"X10"X5/8" BOTTOM PLATE, UNLESS OTHERWISE NOTED).

1. ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS" AS PUBLISHED BY THE NATIONAL LUMBER

2. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZED

3. ALL WORKMANSHIP INCLUDING NAILS, BLOCKING, BRIDGING, ETC. SHALL CONFORM TO THE NYSUFPBC. 4. PROVIDE LEDGER BOARDS, BLOCKING, NAILERS AND ROUGH FRAMING HARDWARE AS REQUIRED. 5. PROVIDE ALL REQUIRED 2 X FIRE BLOCKING AS SPECIFIED IN SECTION 602.8 OF RESIDENTIAL CODE OF NEW YORK STATE. WHERE PARTITIONS ARE TALLER THAN 8'-0", INSTALL 2X FIRE BLOCKING "CATS" AT MID POINT.

9. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED ON PLANS. 10. PROVIDE (2) 2X8 MINIMUM HEADER WHERE ROUGH OPENING DOES NOT EXCEED 3'-0". 11. PLYWOOD FOR SUBFLOOR SHEATHING SHALL BE 3/4" AND 5/8" EXTERIOR ON WALLS AND ROOF SURFACES APA C-C PLUGGED EXTERIOR OR APA UNDERLAYMENT EXTERIOR. INDEX STAMP SHALL BE VISIBLE ON ALL SHEETS. 12. PLYWOOD SHALL BE NAILED TO JOISTS WITH 8D COMMON NAILS AT 6" O.C. AT EXTERIOR EDGES AND 12" O.C. AT

14. PLACE FACE GRAIN IN DIRECTION OF SPAN (TRAVERSE TO JOIST SPAN).

15. LEAVE 1/16" SPACE AT ALL PLYWOOD PANEL AND JOINTS AND 1/8" SPACE AT ALL PANEL EDGE JOINTS.

GALVANIZED COATED OR STAINLESS STEEL FOR PRESSURE TREATED LUMBER AS MANUFACTURED BY "SIMPSON" OR APPROVED EQUAL, AND INSTALLED ACCORDING TO MANUFACTURER'S DIRECTIONS. 17. METAL CROSS BRIDGING SHALL BE GALVANIZED STEEL AS MANUFACTURED BY "TECO", "SIMPSON" OR APPROVED

EQUAL, AND INSTALLED ACCORDING TO MANUFACTURER'S DIRECTIONS. 18. PROVIDE 'X' BRIDGING OR SOLID BLOCKING EVERY 8'-0". BOTTOM ENDS OF BRIDGING WALL SHALL NOT BE NAILED

20. WHERE SHEATHING IS NOT PLYWOOD, DIAGONAL BRACING SHALL BE LET IN AT EXTERIOR CORNERS OR BRACE

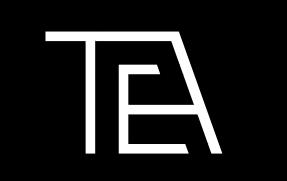
21. CORNER BOARDS, FASCIA BOARDS, DOOR AND WINDOW CASINGS, AND DECORATIVE WOOD ITEMS SHALL BE WOOD 5/4" OR 3/4" NO. 1 PINE OF SIZE, STYLE AND DESIGN AS INDICATED ON THE DRAWINGS. BACK PRIME PAINTED

22. EXTERIOR WOOD POSTS SHALL BE PRESSURE TREATED WOOD, SET ON APPROVED TYPE HEAVY DUTY GALVANIZED METAL BASE, ANCHORED IN CONCRETE. BOXED FINISH TO MATCH WOOD TRIM.

23. WOOD PLATES AND SILLS IN CONTACT WITH CONCRETE FOUNDATION WALLS AND CONCRETE SLABS SHALL BE

25. PROVIDE (3) 2"X6" SPIKED AT BEARING POINTS OF ALL TRIPLE FRAMING MEMBERS UNLESS OTHERWISE NOTED.

SMOKE DETECTOR STORAGE TECHNICAL TELEPHONE TEMPERED TEMPERED GLASS THICK(NESS) TYPICAL TO MATCH EXISTING UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD VOLUME WEST WITH WATER CLOSET WATER IN CLOSET WOOD WINDOW WATER HEATER WITHOUT WEATHERSTRIPPING WOOD VENEER YARD



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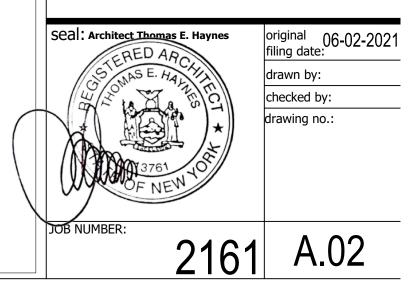
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GENERAL NOTES



9410-00683PFC 4016W- & == 6850495 #20,510 19#5 DONALD R.CALABRESE ASSOCSAUE SURVEY OF PART LAND SURVEYORS OF TAX LOT 3A, SCARSDALE, N.Y. 10533 TA BROOK ST. BLOCK 3, SEC.4. (914) 723-0070 VILLAGE OF BRONXVILLE TOWN OF EASTCHESTER WESTCHESTER CO. N.Y. IC.N.9:4.6555 N.Y.S. DATE :- APRIL 24, 1987. SCALE 1= 10. STAKEOUT OF PROP. BUILDING - JUNE 28, 1989 FOUNDATION LOCATION JULY 14, 1989, FINAL SURVEY JUNE 4, 1990 CERTIFIED TOI- FIRST AMERICAN TITLE INSUR. CO OF N.Y. " PEC ABSTRACT CORP. " RICHARD RESTIANO IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR TITLE SURVEYS OF THE N.Y.S. LAND TITLE ASSN. "Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seat is a violation of section 7209, sub-division 2, of the New York State "Certific flows indic feet herer is give that this an erey Education Law." w 5 prepared in accordance with the existing Code of Practice for Lind Sir by a obten by the New York N87°26'.19"W Str te As rocintion of Professional Land Surveyors, Said certifications thall run only to the person for whom the .24.50 survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the a signees of the lending CONC. RET. WALL Institution. Certifications are not transferable to add-DOIE ONLINEL Itional Institutions or sub equent owners." WALLS AND ACROSS BLDG 3.11 5 - E (A) SET 5.99 2 STORY BRICK & CONC. BL. A ية م 0 ŋ 0. DOOR WALL CJ XA C. 15ES PROJ. 1804. 0.20* 1804. 0.5* S ~ 17/2 (A)~ (A)0 0.0 ; Brercons. 24.50 Cover. 223.42 PARK PLACE (A) SUBSURFACE FEATURES , IF ANY , NOT LOCATED OR SHOWN HEREON <u>ADDITION</u>: VISUAL EXAMINATION OF THE PREMISES SHOWN HEREON MADE JUNE 17, 1994 SEE 7 ITEMS MARKED A MADE BY : ROLAND K. LINK, N.Y.S. LIC. LAND SURVEYOR (LIC. NO. 044228) CERTIFIED TO : CHICAGO TITLE INSURANCE COMPANY ; LILY PROPERTIES , INC.

EXISTING PROPERTY SURVEY

SCALE: N.T.S

"BRONXVILLE BREAD COMPANY" 19 PARK PLACE. BRONXVILLE

2020 NYS BUILDING CODE/ 2020 NYS EXISTING BUILDING CODE ANALYSIS

ALLOWED/ REQUIRED	EXISTING	PROPOSED
GROUP: M: RETAIL	GROUP M : RETAIL	GROUP B: FOOD/BEVERAGE ESTABLISHMENT
2-STORY 12,500 SQ.FT.	NO CHANGE	NO CHANGE
TYPE III-B	NO CHANGE	NO CHANGE
2-HR 0-HR	2-HR 0-HR	NO CHANGE
0-HR	0-HR	NO CHANGE
0-HR	0-HR	NO CHANGE
0-HR	0-HR	NO CHANGE
		-
0-HR	0-HR	NO CHANGE
• • • • •		
NOT REQ.	NOT-REO	NOT-REQ.
(NON-SPRINKLERED)		NOT-NEQ.
	1	1
	2-STORY 12,500 SQ.FT. TYPE III-B 2-HR 0-HR 0-HR 0-HR 0-HR	GROUP: M: RETAILGROUP M : RETAIL2-STORY 12,500 SQ.FT.NO CHANGETYPE III-BNO CHANGE2-HR 0-HR2-HR 0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR0-HR

VILLAGE OF BRONXVILLE ZONING CODE

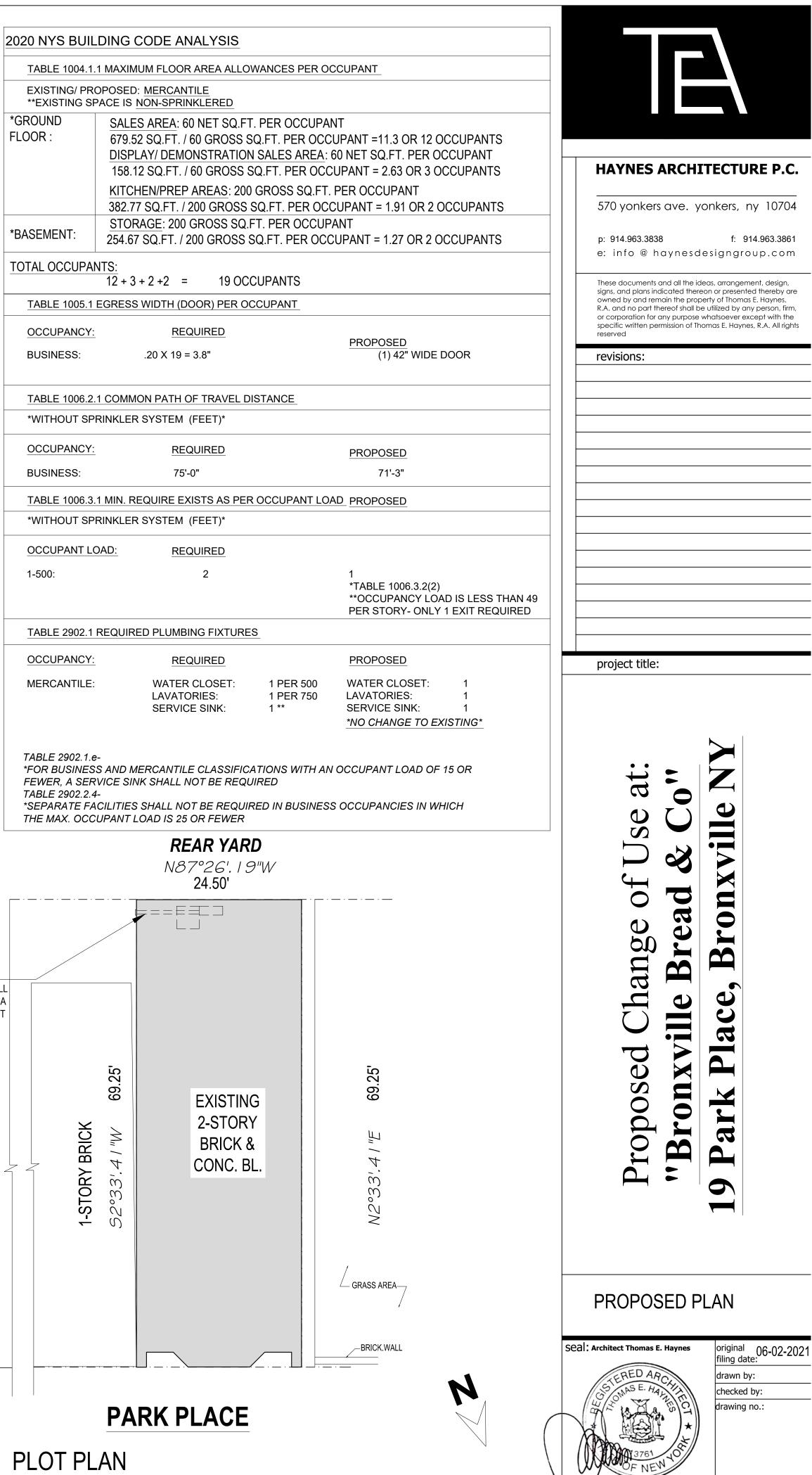
	EXISTING	PROPOSED
ZONE: <u>BUSINESS A</u>	RETAIL	CARRY-OUT FOOD SERVICE ESTABLISHMENT
		NO CARRY-OUT FOOD ESTABLISHMENT SHALL BE PERMITTED WITHIN 100 ENT ON THE SAME SIDE OF THE STREET. SUCH DISTANCE SHALL HE

MEASURED FROM THE CLOSEST POINT OF EACH ESTABLISHMENT TO THE OTHER. THE MEASUREMENT SHALL BE CONTINUED ON THE SAME SIDE OF THE STREET AROUND ANY STREET CORNER WITHIN THE ONE-HUNDRED-FOOT DISTANCE: PROVIDED. HOWEVER, THAT THE PLANNING BOARD MAY WAIVE THIS REQUIREMENT IF IT DETERMINES THAT SUCH A WAIVER IS APPROPRIATE GIVEN THE PARTICULAR CIRCUMSTANCES OF THE PROPOSED USE AND ITS LOCATION. -THE PROPOSED CARRY-OUT FOOD ESTABLISHMENT IS WITHIN 100'-0" OF (3) OTHER CARRY-OUT FOOD ESTABLISHMENTS

***VARIANCE REQUIRED BY THE ZONING BOARD OF APPEALS

PROPOSED HEAT EXHAUST DUCT TO BE VENTED THRU EXTERIOR SIDE WALL AND UP ALONG SIDE OF BUILDING TO A POINT 2'-0" ABOVE THE ROOF PARAPET -MECHANICAL PLANS TO BE FILED UNDER SEPARATE APPLICATION PONDFIELD ROAD

PROPOSED PLOT PLAN



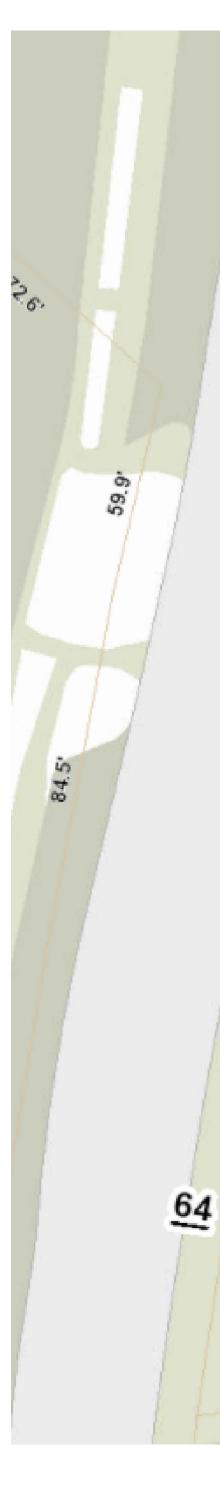
SCALE: 1' = 10'-0"

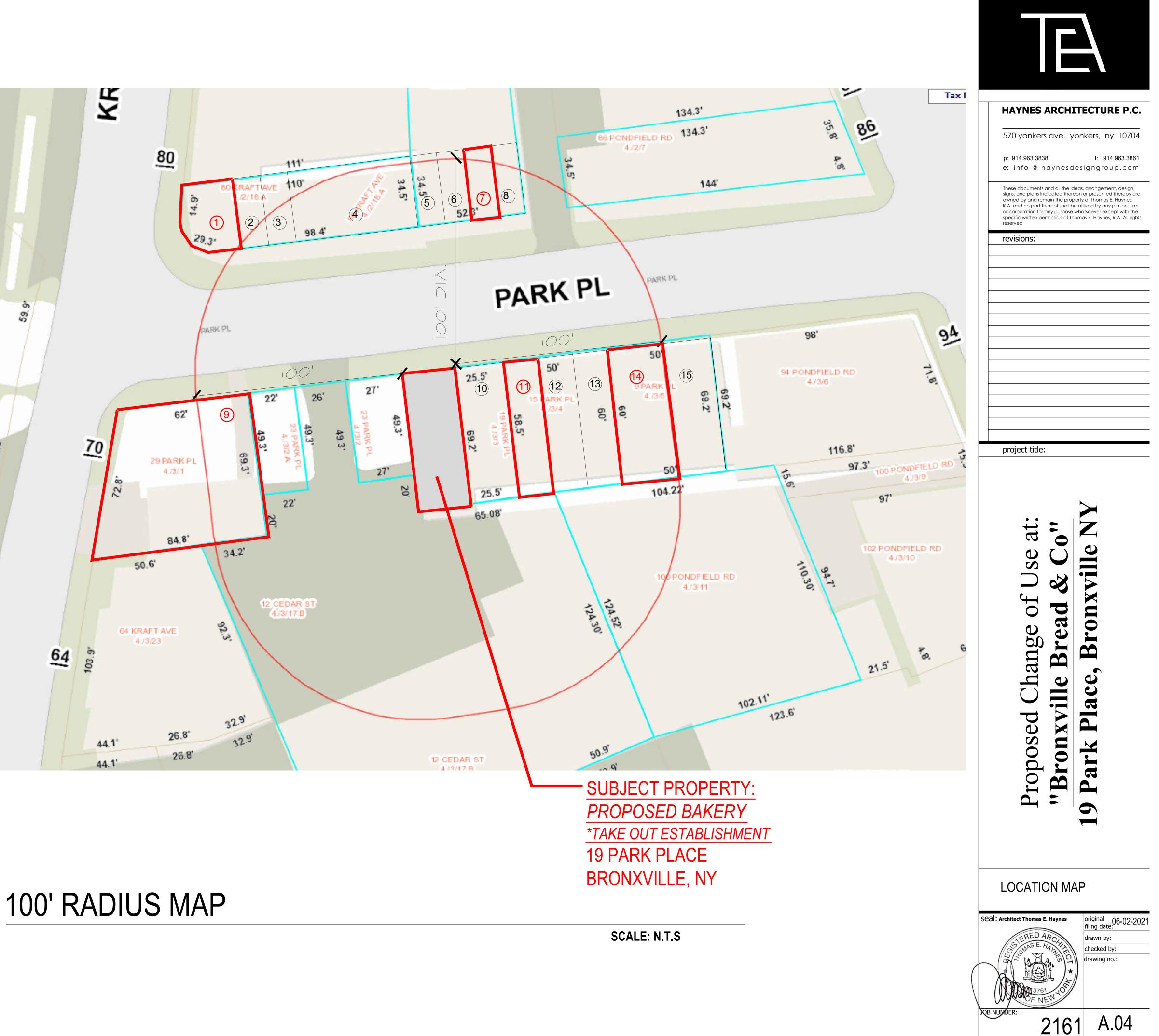
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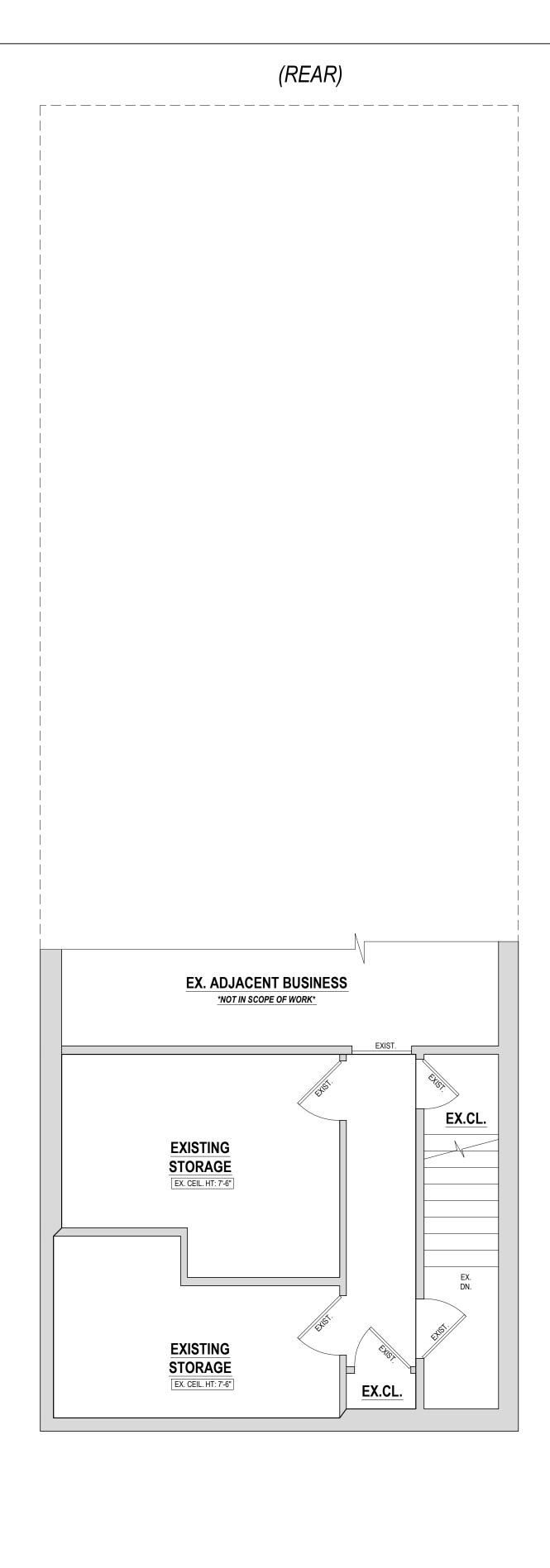
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(FRONT) PARK PLACE

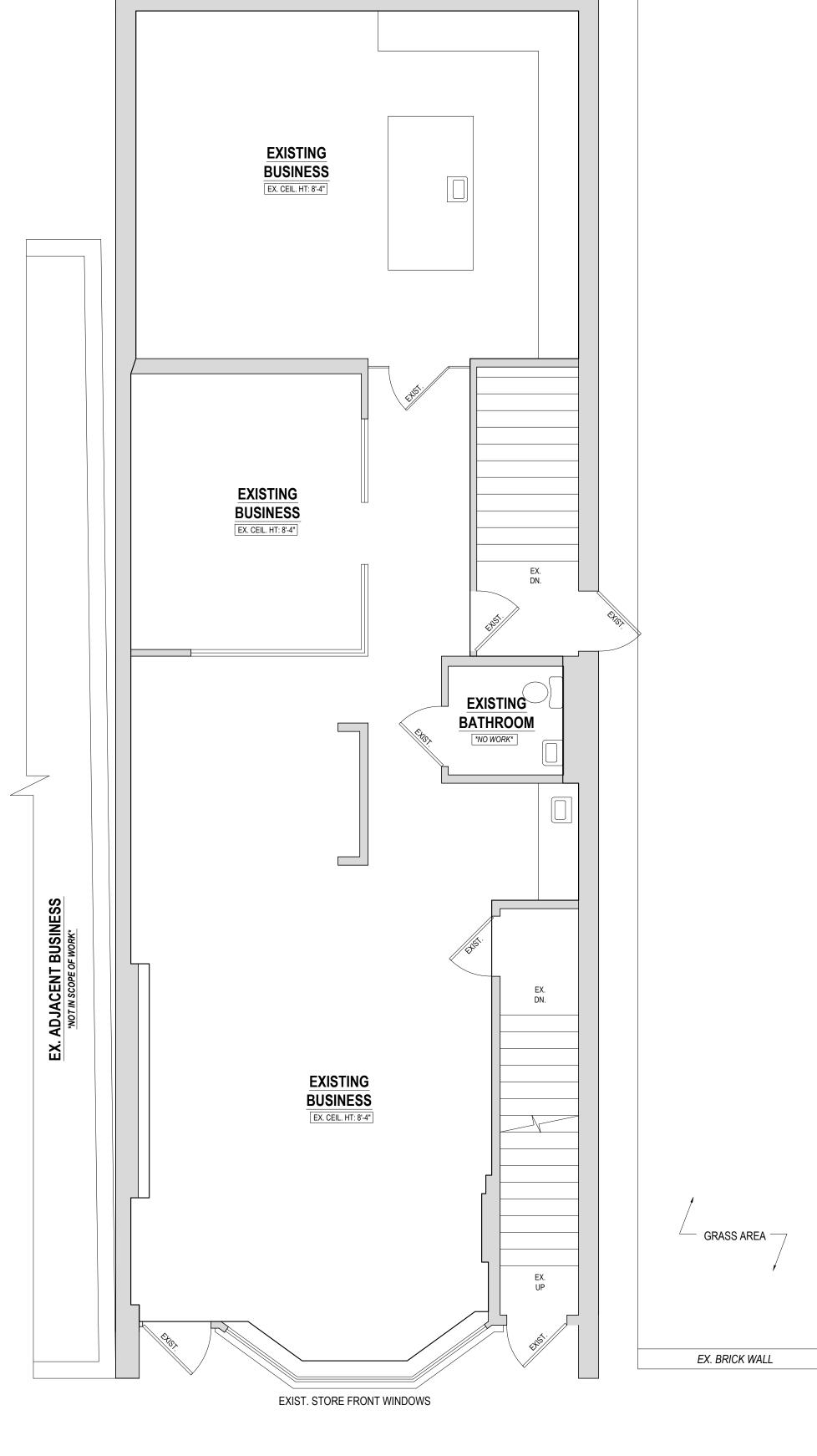
EXISTING: FIRST FLOOR PLAN

(FRONT) PARK PLACE

EXISTING SIDE WALK

EXISTING SIDE WALK

SCALE: 1/4" = 1'-0"



(REAR)



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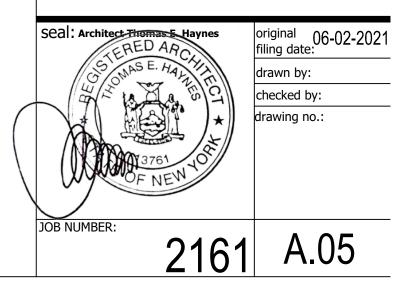
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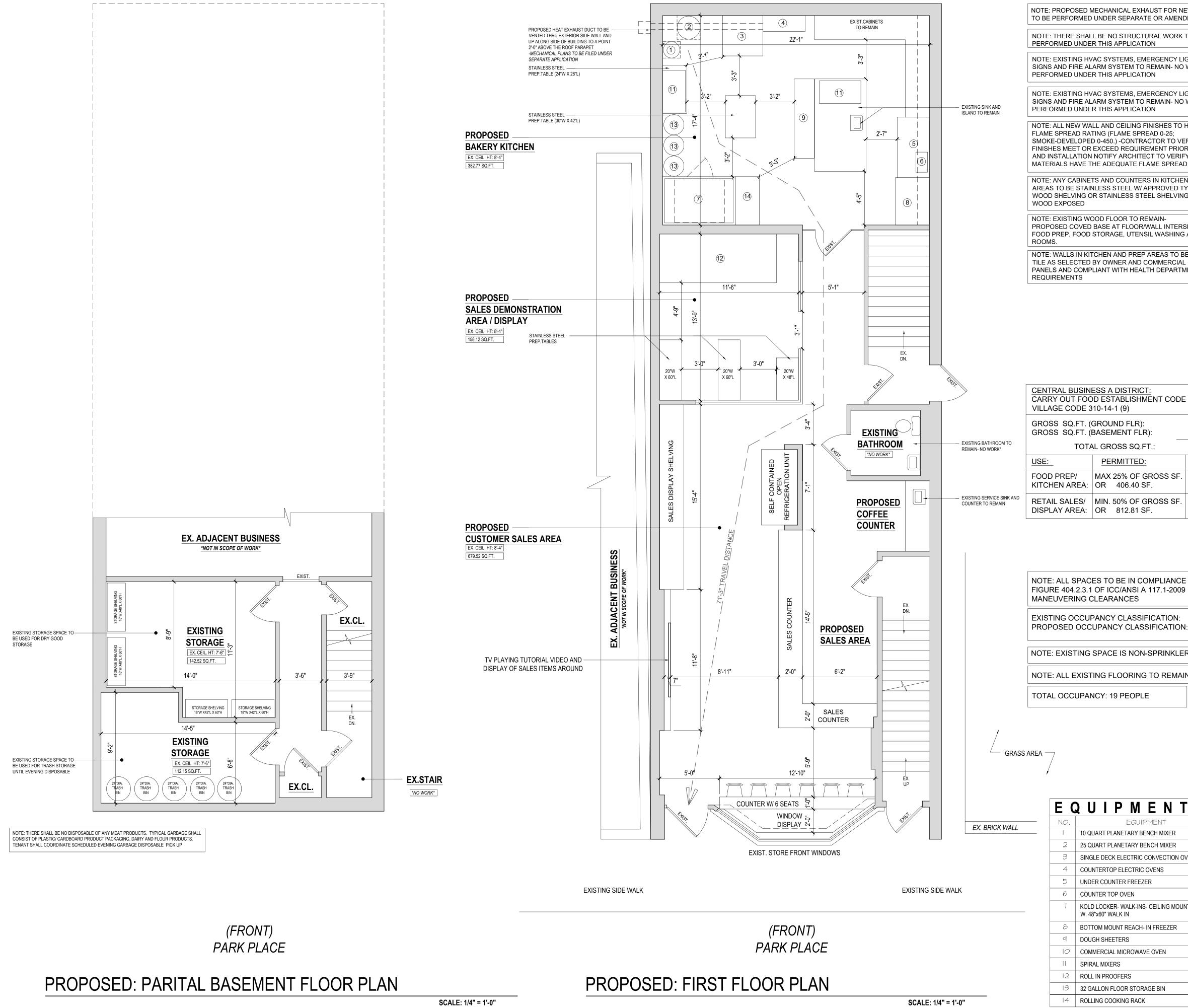
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EXISTING FLOOR PLANS



(FRONT)





	EW EQUIPMENT DED APPLICATION	
RAL WORK ⁻	TO BE	
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AD 0-25; TOR TO VE	R TO ORDERING Y IF ALL	
PROVED T	N AND PREP YPE LAMINATED G OVER -NO RAW	
	SECTIONS IN ALL	
	E CERAMIC WALL GRADE FRP //ENT	
NT CODE	E COMPLIANCE:	
	1,296.57 SC 329.06 SQ.I	
.:	<u>1,625.63 SC</u>	
	PROPOSED:	
ROSS SF.	23.5% OR 382.77 S	F
OSS SF.	51.5% OR 837.64 S	F
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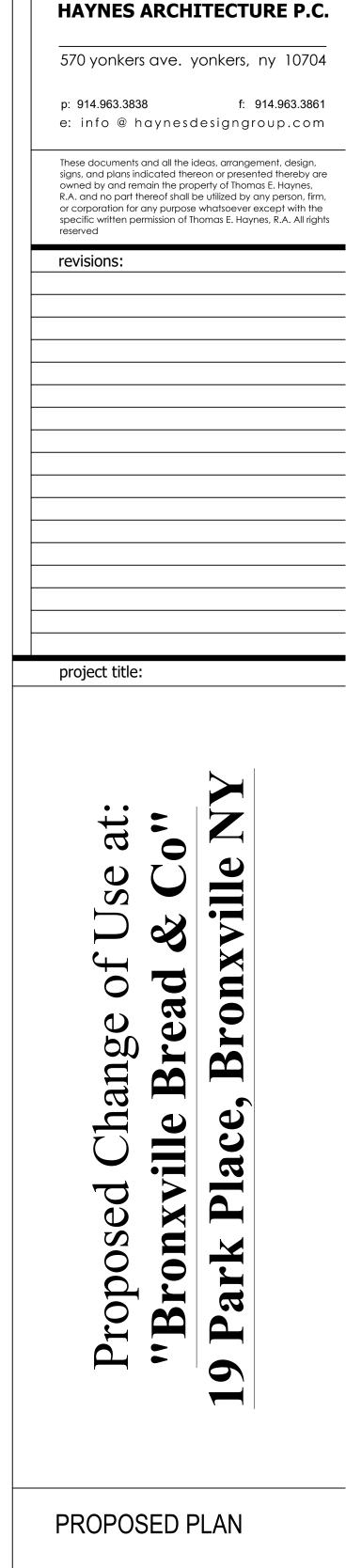
ΝΤ	SCHED	ULE
ΙT	MANUFACTURER	MODEL
MIXER	GLOBE	SP10
MIXER	GLOBE	SP25

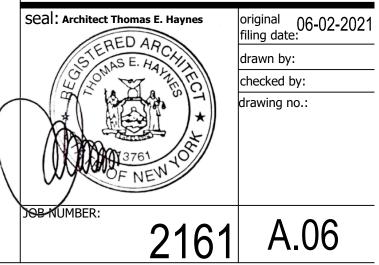
MIXER	GLOBE	SP25	24"W X 23"D X 36.25"H
ECTION OVEN	VULCAN	VC5ED	40.1"W X 40"D X 54"H
NS	BAKERS PRIDE	EP-2-2828	42"W X 15.75"D X 33.25"H
	BEVERAGE-AIR	UCF60AHC	60"W X 32"D X 345⁄8"H
	AVANTCO	177ID18DB	20"W X 117/16""D X 31/2"H
LING MOUNTED	NORLAKE	CPB100JC-S-4-EV	41½" X 50½" X 205%"
REEZER	BEVERAGE-AIR	FB44HC-1S	47"W X 33¾"D X 84¼"H
	ESTELLA	348DSF78	19¾"W X 78¾"L
'EN	PANASONIC	NE-12521	165/8"W X 20"D X 131/6"H
	DOYON & NU-VU	AEF035	22 ⁷ / ₁₆ "W X 41 ¹ / ₈ "D X 49 ³ / ₄ "H
	DOYON	E336TL0	116½"W X 48½"D X 84"H
BIN	TBD*	TBD*	20" DIA. X 32" H.
	TBD*	TBD*	24"W X 148"D X 69"H

REMARKS

16.3"W X 17.7"D X 31"H









PROPOSED TENTATIVE FRONT LOGOS/ SIGN

*PROPOSED SIGNAGE TO BE FILED UNDER SEPARATE APPLICATION SCALE: N.T.S

Bronx	ville	Bread Co.	
ARTISAN	BREAD	PASTA PASTRY	
A R T I S A N B R E A D S	_	PASTRY	
Sourdough (plain & seasonal)	8	Croissant (plain & almond)	3
Whole-Wheat	8	Pain Au Chocolat	3
Rye Bread	7	Chocolate Babka	6
Multi Grain	7	Monkey Bread	6
Brioche (plain & chocolate)	8	Kouign-Amann	4
Semolina Baguette	5	Palmier (3)	5
Challah	4	Madeleines (10)	5
Focaccia	16	Cinnamon Roll	4
Dinner Rolls	3	Quiche	5
		Chocolate Chip Cookies	3
PAIRS WELL WITH BREAD		HANDHELDS	
Butter (plain & strawberry)	5	Chicken-less Salad Sandwhich	8
Salts (black, pink & truffle)	6	Egg & Cheese Sandwich	7
Dried Spice Mix	3	Tuna-Free Salad Sandwich	8
Olive Oil	10	Roasted Veggie Sandwich	7
Pickled Items	5		
Cheese / Dips	8		
Jam (blueberry vanilla)	4		
Seasonal Soups	7	SUBERROOD	
Bread Bag (personalized)	15	S U P E R F O O D P A S T A S	
		Tagliatelle	5
BEVERAGES		Pappardelle	6
		Farfalle (bowtie)	6
Coffee & Tea	3	Ravioli	12
Espresso & Cappuccino	3		
Water (flat & sparkling)	3		
STHAME	(914) 76		

BAKERY MENU



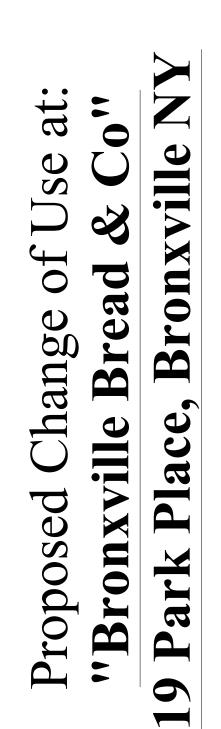
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PROPOSED LOGOS/ MENU

