

Current land use of site: (Residential; Commercial; Undeveloped) RETAIL

Current condition of site: (Building; Brush; ect.) Existing building- no proposed changes to structure

Estimated cost of proposed improvements: \$ 40,000

Anticipated increase number of Residents; Shopper; Employees; ect. _____

Proposed change of use to Bakery

Describe proposed use, including primary, secondary uses; ground floor area; height; number of stories for each building. Attach additional 8 1/2" x 11" sheets if required.

- For residential buildings include number of dwelling units by size.
- For non-residential building include total floor area; sales areas; number of automobile and truck parking spaces.
- Other proposed structures (including shed; garages; ect.)


PROPOSED BASEMENT: STORAGE / HALLWAY/ STAIRWAY (404 SQ.FT.)

PROPOSED GROUND FLOOR: BAKERY AREA (540.89 SQ.FT.)

SALES AREA (581.65 SQ.FT.)

BATHROOM (31.14 SQ.FT.)

Business Owners Name: BRONXVILLE BREAD COMPANY INC- CHARLES GRIPPO

Business Owners Signature:  Date: 6/25/21

Information for Persons Proposing to Submit an Application for Development

Who must apply:

With the exception of projects relating to certain single-family residences, any subdivision of land, any clearance or alteration of land, any construction, demolition, movement, external alteration or enlargement of any building or other structure, any construction or enlargement of an open parking area, any diversion dredging or filing in of any land, building or other structure for which permission is required by the Village Zoning Ordinance must be approved in advance by the Planning Board. The owner of the land, a holder of an option or contract to purchase, or any other person having an enforceable proprietary interest may make the application.

How to apply:

Application forms are available on the Villages Website www.villageofbronxville.com. One complete copy of the application, which must include a site plan, and environmental information statement, and any other necessary documentation must be filed with the Building Inspector. Before making a formal application, you may request in writing an informal pre-application meeting with the Planning Board and Design Review Committee to obtain general information and guidance.

Fee:

The basic fee for an application for site plan approval is \$250.00 + \$5/1,000 of construction cost of Village's assessed value if no construction is planned. Pre application filing fee is \$100.00. The appropriate fee must accompany the application. An additional fee may be charged by the Planning Board to cover the costs of any experts whose advice is necessary to evaluate the application.

Hearings:

The Planning Board will hold a public hearing on the application. The law requires the applicant to give proper notice of the hearing. Notice must be given by publication in the Village's official newspaper "The Journal News – Southern Addition" and by personal service or certified mail to owners of property located within 400 feet of the property to be developed at least 10 days before the hearing. Forms of the required notices are available at Village Hall. Once approved you will be notified by our office, at that time you can go to our website to pull your 400' radius list. There is a link with directions on how to do this is under the Planning Section of our website. If the application receives preliminary approval subject to compliance with modifications or conditions a further hearing of which the applicant must also give notice will be required prior to the issuance of final approval. Final approval will be granted or denied within 60 days after the first hearing on the preliminary application unless the time is extended by request of the applicant.

Decisions:

Unless the time is extended, the Planning Board will render a decision granting or denying preliminary approval of an application within 60 days of submission of the complete until all information required by the Planning Board has been filed. The preliminary approvals may require modifications or attach conditions to your site plan. To obtain final approval, include eleven copies of the application, including a final site plan which incorporates all modifications and conditions required by the Planning Board. Must be filed (without fee) with the Superintendent. After notice and hearing as described above. The Planning Board will grant or deny final approval.

Subdivisions:

If the application for development includes a subdivision, the proposed subdivision should be described in the application and in the notice of hearing. If no construction is involved the application fee will be one percent of the Village assessed value of the property being subdivided or \$100.00, whichever is greater. While all the foregoing requirements apply generally to subdivisions. The Planning Board may waive submissions which appear unnecessary in light of nature of the particular subdivision.


AFFIDAVIT OF MAILING
LEGAL NOTICE

I hereby swear that the following notice was given by personal service, certified mail return or registered mail to the property owners listed below, at least ten (10) days prior to the hearing date:

Notice is hereby given that the Planning Board of the Village of Bronxville will hold a public hearing at the Bronxville Village Hall, 200 Pondfield Road, Bronxville, N.Y., on Wednesday evening, July 14, 2021, at 7:30 P.M. to give consideration to a site development application for a change of use from retail to proposed bread bakery at **19 Park Place, Bronxville, NY 10708, Section: 004; Block: 003; Lot: 003.A**. Notice is hereby given that the Design Review Committee of the Village of Bronxville will also hold a public hearing at the Bronxville Village Hall, 200 Pondfield Road, Bronxville, N.Y., on Wednesday evening, July 7, 2021, at 7:30 P.M. for the project mentioned above.

The public is invited to attend the public hearing and will be given a reasonable opportunity present oral comments or written presentations relevant to the application. The hearing maybe adjourned from time to time at the discretion of the Planning Board.

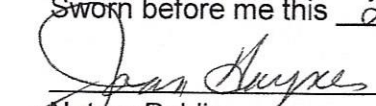
A copy of the application for development including proposed site plan and other maps and documents filed therewith, is on file and available for public inspection on our website at www.villageofbronxville.com/planning-board one week prior to the meeting.



(Applicant Signature)
THOMAS HAYNES - HAYNES ARCHITECTURE PC

(Applicant Print Name)

Sworn before me this 29 day of June 2021



Notary Public,
Commissioner of Deeds

JOAN A. HAYNES
Commissioner of Deeds
City of Yonkers, N.Y.
Commission Expires 1-31-22

ESCROW AGREEMENT FOR PROFESSIONAL CONSULTATION FEES

The undersigned does hereby agree to the following:

1. I (we) am (are) the owner(s) of premises located at the street address and identified on the tax maps as noted below, for which an application is being submitted to the Village of Bronxville:

* Street Address 19 PARK PLACE

* Section: 4, Block: 3, Lot: 3.A

2. I understand and agree that there are certain fees for which I am responsible in conjunction with said application.
3. I understand that the Village Board, Planning Board, Zoning Board of Appeals and/or Design Review Board may seek the services of planning, engineering, environmental, legal, or other technical consultants or professionals as deemed necessary by the Board(s) to review my application. I will be responsible for any and all costs incurred by the Village for such consultations and professional opinions at the prevailing hourly rate agreed upon by the Village. Charges made by such consultants shall be in accord with charges usually made for such services in Westchester County. I understand that no employee of the Village or any member of the Village Board, Planning Board, Zoning Board of Appeals or Design Review Board can advise me, in advance, of what the total consulting fees might be.
4. Upon submission of my application, I shall provide a minimum retainer of \$5,000.00 up to a maximum initial amount as required by the Planning Board depending on the scope of proposed work, payable to the Village of Bronxville, to be held in escrow and applied toward the payment of consulting and professional fees incurred by the Village with regard to my application. When the balance of the escrow account is \$2,500.00 or less, I shall deposit additional retainer funds into the escrow account so that the minimum balance in said account is never less than \$5,000.00. Upon request, the Village shall provide me with a statement indicating expenses incurred and the amount of monies withdrawn from said account.
5. I understand that if I withdraw my application prior to any action being taken by the Village Board, Planning Board, Zoning Board of Appeals or Design Review Committee, I am still responsible for any expenses incurred by the Village with regard to my application prior to such withdrawal.
6. I understand that if at any time the minimum balance in said escrow account falls below \$1,000.00 and is not replenished prior to the next scheduled meeting on the application, the Village Board, Planning Board, Zoning Board of Appeals and/or Design Review Committee may suspend the review of my application and/or the Village Engineer may refuse to issue permits and/or certificates with regard to the premises, unless the Village has been advised by the consultant that no additional charges will accrue.

7. I understand that when it has been determined by the Village that all final charges against the escrow account established for my application have been paid, the remaining balance in the account, if any, shall be returned to the owner.
8. I understand that if there are still outstanding consulting fees relative to my application at the termination of the review process, the Village will pursue all legal options to retrieve such fees.
9. I understand that the imposition of escrow account fees are in addition to, and not in place of, other fee schedules currently in force.
10. All correspondence from the Village regarding the escrow account established for my application shall be addressed to:

Name: BRONXVILLE BREAD COMPANY INC-CHARLES GRIPPO

Address: 19 PARK PLACE

City: BRONXVILLE

State: NEW YORK Zip: 10708

Phone: 914-760-1319

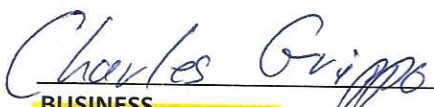
Fax: _____

Email: charliegripo@gmail.com



BUSINESS
OWNER (signature)

BUSINESS
OWNER (signature)



BUSINESS
OWNER (print name)

BUSINESS
OWNER (print name)

Dated: 6/25/21

Dated: _____

To whom it may concern,

Six main characteristics may define a village:

- Small and intimate. The area can comfortably be covered on foot...
- Unique. Spatial identity...
- Designed for social interaction...
- Locally driven and locally sourced...
- Internally (Self Contained) Functional...
- A mixed community...

We can write volumes on why this quaint suburban village is a perfect place to spend a day, long weekend, or live year-round. Instead I come today with a hope that the Village of Bronxville will share a vision with me. That vision is for the village to have its very own handcrafted artisan bread shop. Ages ago villages had a blacksmith, a butcher, a baker, and yes, the infamous candlestick maker. These were staple businesses of the village.

Our bread shop will consist of naturally leavened sourdough loaves, authentic wheat & rye breads as well as French baguettes, and savory viennoiserie items. We will also have a gorgeous retail cooking section dedicated to the home baker that needs that specialty bake item as well as a baker to share knowledge with. This will be a “grab and go” concept with no indoor seating. There is a viewing room so patrons, on occasion, can watch bread being folded and shaped before their eyes.

People that are into food (foodies as they are called) are smart, educated, well-traveled and not afraid to get “hands-on” and “vocal” with cooking and baking. Commercial bread is dead in the sense that there is no nutritional value in the actual finished product anymore. At the bakery we will be making true whole foods. Whole foods are foods that have very few ingredients. Ingredients that can be pronounced and sourced locally from our surrounding area, local farms and grain millers. I will bring these ultra-healthy ingredients to the village so that we can all experience these products and share in their health benefits. The breads we bake contain flour, water, salt, and natural yeaststhat’s it. Others will have nuts, seeds, whole sprouted grains, etc., the list goes on. All natural and organic.

My goal is to appeal to everyone. Older families watching their health is paramount. Younger couples want to be educated and need clarification in order to pass the knowledge to their children and so on. Teens will have much more healthier choices available to them. I envision the Bronxville schools taking a day-trip to the bakery to learn how organic wheat is grown, milled, and used to make products that are 100% natural, safe and healthier for the body than any other bread they would put in their mouths. The entire bakery will be vegetarian / vegan, no processed foods at all with eco-friendly packaging (no plastics) reducing our footprint on the earth. Bread classes for adults will be available also.

With COVID now in our lives, families are staying more local now than ever which means we get to bring wholesome healthy foods to them. This is what the village needs. My goal is to serve the Village of Bronxville and be your village baker.

(below is a sample of the signage and verbiage but has not been 100% finalized)

Bronxville Bread Co.

artisan breads & viennoiserie



Bronxville Bread Co.

ARTISAN BREAD PASTA PASTRY

ARTISAN BREADS

| | |
|------------------------------|----|
| Sourdough (plain & seasonal) | 8 |
| Whole-Wheat | 8 |
| Rye Bread | 7 |
| Multi Grain | 7 |
| Brioche (plain & chocolate) | 8 |
| Semolina Baguette | 5 |
| Challah | 4 |
| Focaccia | 16 |
| Dinner Rolls | 3 |

PAIRS WELL WITH BREAD

| | |
|-------------------------------|----|
| Butter (plain & strawberry) | 5 |
| Salts (black, pink & truffle) | 6 |
| Dried Spice Mix | 3 |
| Olive Oil | 10 |
| Pickled Items | 5 |
| Cheese / Dips | 8 |
| Jam (blueberry vanilla) | 4 |
| Seasonal Soups | 7 |
| Bread Bag (personalized) | 15 |

BEVERAGES

| | |
|--------------------------|---|
| Coffee & Tea | 3 |
| Espresso & Cappuccino | 3 |
| Water (flat & sparkling) | 3 |

PASTRY

| | |
|----------------------------|---|
| Croissant (plain & almond) | 3 |
| Pain Au Chocolat | 3 |
| Chocolate Babka | 6 |
| Monkey Bread | 6 |
| Kouign-Amann | 4 |
| Palmier (3) | 5 |
| Madeleines (10) | 5 |
| Cinnamon Roll | 4 |
| Quiche | 5 |
| Chocolate Chip Cookies | 3 |

HANDHELDS

| | |
|-----------------------------|---|
| Chicken-less Salad Sandwich | 8 |
| Egg & Cheese Sandwich | 7 |
| Tuna-Free Salad Sandwich | 8 |
| Roasted Veggie Sandwich | 7 |

SUPERFOOD PASTAS

| | |
|-------------------|----|
| Tagliatelle | 5 |
| Pappardelle | 6 |
| Farfalle (bowtie) | 6 |
| Ravioli | 12 |

(914) 760-1319

all products are vegan & vegetarian

MUST HAVE
menus

LYNCH JOHN -
90 PARKWAY RD
BRONXVILLE, NY 10708

CHURCH OF ST. JOSEPH -
15 CEDAR ST
BRONXVILLE, NY 10708

GA FAMILY-BRONXVILLE -
12 CEDAR ST
BRONXVILLE, NY 10708

GA FAMILY-BRONXVILLE -
23 PARK PL
BRONXVILLE, NY 10708

BRONXVILLE REALTY LLC -
19 PARK PL
BRONXVILLE, NY 10708

PETRILLO FAMILY 3, LLC -
72 PONDFIELD RD
BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -
94 PONDFIELD RD
BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -
100 PONDFIELD RD
BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -
102 PONDFIELD RD
BRONXVILLE, NY 10708

PATHLAND HOLDINGS LLC -
95 PONDFIELD RD
BRONXVILLE, NY 10708

ST. JOSEPH'S CHURCH -
1 CEDAR ST
BRONXVILLE, NY 10708

LILY PROP INC -
19 PARK PL
BRONXVILLE, NY 10708

SEMP REAL LLC -
9 PARK PL
BRONXVILLE, NY 10708

BRONXVILLE REALTY -
50 PONDFIELD RD
BRONXVILLE, NY 10708

BRONXVILLE TOWERS APTS -
101 PONDFIELD RD
BRONXVILLE, NY 10708

ALBINA ENTERPRISES -
94 PARKWAY RD
BRONXVILLE, NY 10708

VILLAGE OF BRONXVILLE -
114 PARKWAY ROAD
BRONXVILLE, NY 10708

VILLAGE OF BRONXVILLE -
KRAFT AVE
BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -
8 CEDAR ST
BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -
110 PONDFIELD RD
BRONXVILLE, NY 10708

GA FAMILY-BRONXVILLE -
23 PARK PL
BRONXVILLE, NY 10708

BRONXVILLE REALTY -
110 KRAFT AVE
BRONXVILLE, NY 10708

81 PONDFIELD RD. CORP -
79 PONDFIELD RD
BRONXVILLE, NY 10708

MULLIN IRREV TRUST -
86 PARKWAY RD
BRONXVILLE, NY 10708

50 KRAFT AVENUE LLC -
50 KRAFT AVE
BRONXVILLE, NY 10708

VILLAGE OF BRONXVILLE -
5 CEDAR ST
BRONXVILLE, NY 10708

METRO REALTY DIVIDEND -
100 PONDFIELD RD
BRONXVILLE, NY 10708

**O'KEEFE MICHAEL &
FE -**
76 PARKWAY RD
BRONXVILLE, NY 10708

STERN STANLEY -
80 KRAFT AVE
BRONXVILLE, NY 10708

15 PARK PLACE, LLC -
15 PARK PL
BRONXVILLE, NY 10708

HJM 444 LLC -
90 KRAFT AVE
BRONXVILLE, NY 10708

TWO PARK PLACE CORP -
86 PONDFIELD RD
BRONXVILLE, NY 10708

Current Occupant
BRONXVILLE, NY 10708

MICHAEL SALVATORE -
84 PARKWAY RD
BRONXVILLE, NY 10708

VILLAGE OF BRONXVILLE -
KRAFT AVE
BRONXVILLE, NY 10708

FOGARTY JOHN C -
64 KRAFT AVE
BRONXVILLE, NY 10708

JB PARK PLACE REALTY LLC -
10 PARK PL
BRONXVILLE, NY 10708

WORTH-PONDFIELD LLC -
65 PONDFIELD RD
BRONXVILLE, NY 10708

**CUMMINGS PAUL &
MARYLOU -**
78 PARKWAY RD
BRONXVILLE, NY 10708

20 CEDAR STREET, LLC -
16 CEDAR ST
BRONXVILLE, NY 10708

29 PARK PLACE LLC -
29 PARK PL
BRONXVILLE, NY 10708

EMIL MOSBACHER REAL -
76 PONDFIELD RD
BRONXVILLE, NY 10708

Current Occupant
BRONXVILLE, NY 10708

KOOLURIS GEORGE -
99 PONDFIELD RD
BRONXVILLE, NY 10708

81 PONDFIELD ROAD CORP. -
81 PONDFIELD RD
BRONXVILLE, NY 10708

MILLER PONDFIELD LLC -
85 PONDFIELD ROAD
BRONXVILLE, NY 10708

MILLER PONDIELD LLC -
89 PONDFIELD RD
BRONXVILLE, NY 10708

SAVOY ERIC -
88 PARKWAY RD
BRONXVILLE, NY 10708

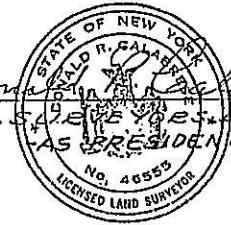
OGDEN TENANTS' CORP. -
104 PARKWAY RD
BRONXVILLE, NY 10708

URSTADT BIDDLE PROPERTIES -
109 KRAFT AVE
BRONXVILLE, NY 10708

SURVEY OF PART OF TAX LOT 3A, BLOCK 3, SEC. 4. VILLAGE OF BRONXVILLE TOWN OF EASTCHESTER WESTCHESTER CO. N.Y.

DONALD E. CALABRESE ASSOCIATES LAND SURVEYORS

78 BROOK ST. SCARSDALE, N.Y. 10583 (914) 723-0070

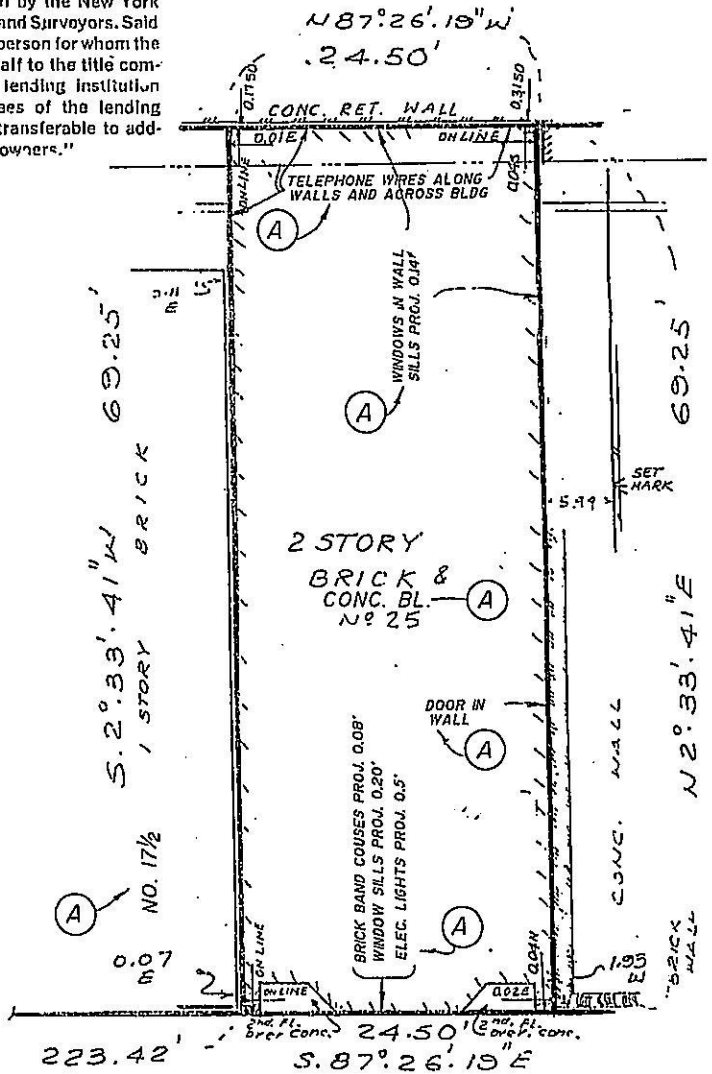
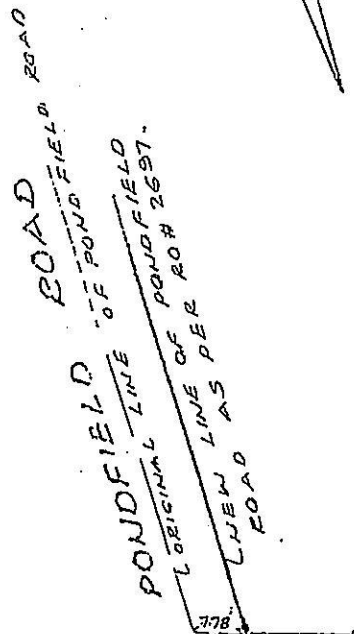


DATE: APRIL 24, 1987. SCALE 1"=10'. STAKEOUT OF PROP. BUILDING - JUNE 28, 1989 FOUNDATION LOCATION JULY 14, 1989, FINAL SURVEY JUNE 4, 1990 CERTIFIED TO: FIRST AMERICAN TITLE INSUR. CO. OF N.Y. PFC ABSTRACT CORP. RICHARD RESTIANO

IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR TITLE SURVEYS OF THE N.Y.S. LAND TITLE ASSN.

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law."

"Certifications made hereon by me that this survey was prepared in accordance with the existing Code of Practice for Land Surveys issued by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the signees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners."

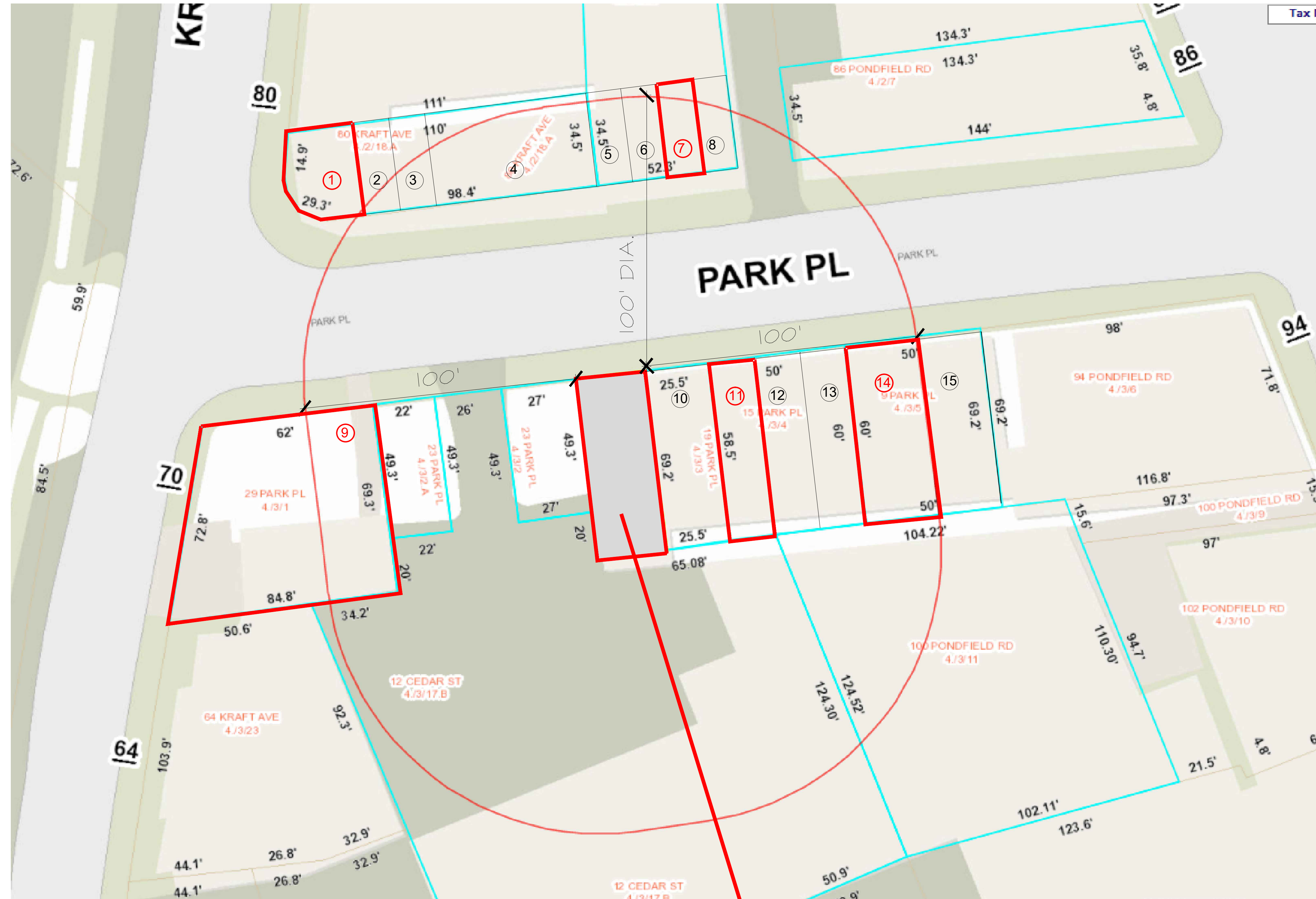


PARK PLACE

(A) SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON

ADDITION: VISUAL EXAMINATION OF THE PREMISES SHOWN HEREON MADE JUNE 17, 1994 SEE 7 ITEMS MARKED A MADE BY: ROLAND K. LINK, N.Y.S. LIC. LAND SURVEYOR (LIC. NO. 044228) CERTIFIED TO: CHICAGO TITLE INSURANCE COMPANY; LILY PROPERTIES, INC.

- | | | | |
|----------|--|-----------|--|
| 1 | HAAGEN-DAZ <i>*TAKE OUT ESTABLISHMENT</i> 29 PARK PLACE BRONXVILLE, NY | 9 | STARBUCKS <i>*TAKE OUT ESTABLISHMENT</i> 60 KRAFT AVE BRONXVILLE, NY |
| 2 | ECO GREEN CLEANERS <i>*CLEANERS/ TAILOR</i> 24 PARK PLACE BRONXVILLE, NY | 10 | PARK STERLING REALTY <i>*BUSINESS</i> 17 1/2 PARK PL BRONXVILLE, NY |
| 3 | CITRINE INC <i>*CLOSED*</i> 22 PARK PLACE BRONXVILLE, NY | 11 | PLAYA BOWLS <i>*TAKE OUT ESTABLISHMENT</i> 15 PARK PL BRONXVILLE, NY |
| 4 | PETES PARK PL. TAVERN <i>*RESTAURANT</i> 18-20 PARK PLACE BRONXVILLE, NY | 12 | MINIS PRIME MEATS <i>*RETAIL</i> 15 PARK PL BRONXVILLE, NY |
| 5 | TOWN NAILS <i>*BUSINESS</i> 10 PARK PLACE BRONXVILLE, NY | 13 | WEEZIE BOUTIQUE <i>*RETAIL</i> 15 PARK PL BRONXVILLE, NY |
| 6 | WILD GINGER <i>*RESTAURANT</i> 10 PARK PLACE BRONXVILLE, NY | 14 | PARK PLACE BAGEL <i>*TAKE OUT ESTABLISHMENT</i> 9 PARK PL BRONXVILLE, NY |
| 7 | COOKIES N CREAM <i>*TAKE OUT</i> 10 PARK PLACE BRONXVILLE, NY | 15 | TRUSTCO BANK <i>*BUSINESS</i> 5-7 PARK PL BRONXVILLE, NY |
| 8 | VISION CARE INC <i>*BUSINESS</i> 10 PARK PLACE BRONXVILLE, NY | | |



SUBJECT PROPERTY:
PROPOSED BAKERY
**TAKE OUT ESTABLISHMENT*
19 PARK PLACE
BRONXVILLE, NY

100' RADIUS MAP

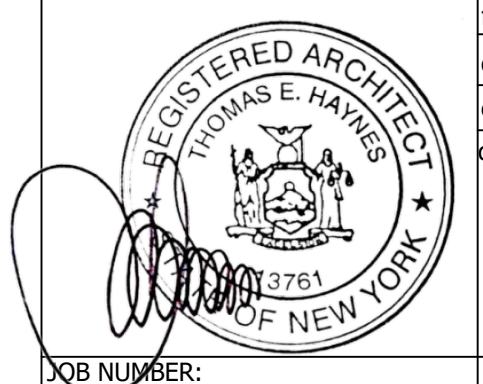
SCALE: N.T.S

Proposed Change of Use at:
"Bronxville Bread & Co"
19 Park Place, Bronxville NY

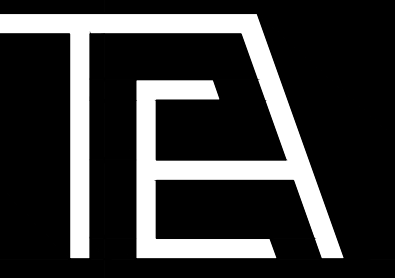
LOCATION MAP

Seal: Architect Thomas E. Haynes original filing date: 06-02-2021

drawn by: _____
checked by: _____
drawing no.: _____



JOB NUMBER: 2161 A.04



HAYNES ARCHITECTURE P.C.

570 yonkers ave. yonkers, ny 10704

p: 914.963.3838 f: 914.963.3861
e: info@haynesdesigngroup.com

These documents and all the ideas, arrangement, design, signs, and plans indicated thereon or presented thereby are owned by and remain the property of Thomas E. Haynes, R.A. and no part thereof shall be utilized by any person, firm, or corporation for any purpose whatsoever except with the specific written permission of Thomas E. Haynes, R.A. All rights reserved.

revisions: [table with 2 columns: revision number, description]

project title:

Proposed Change of Use at:
"Bronxville Bread & Co"
19 Park Place, Bronxville NY

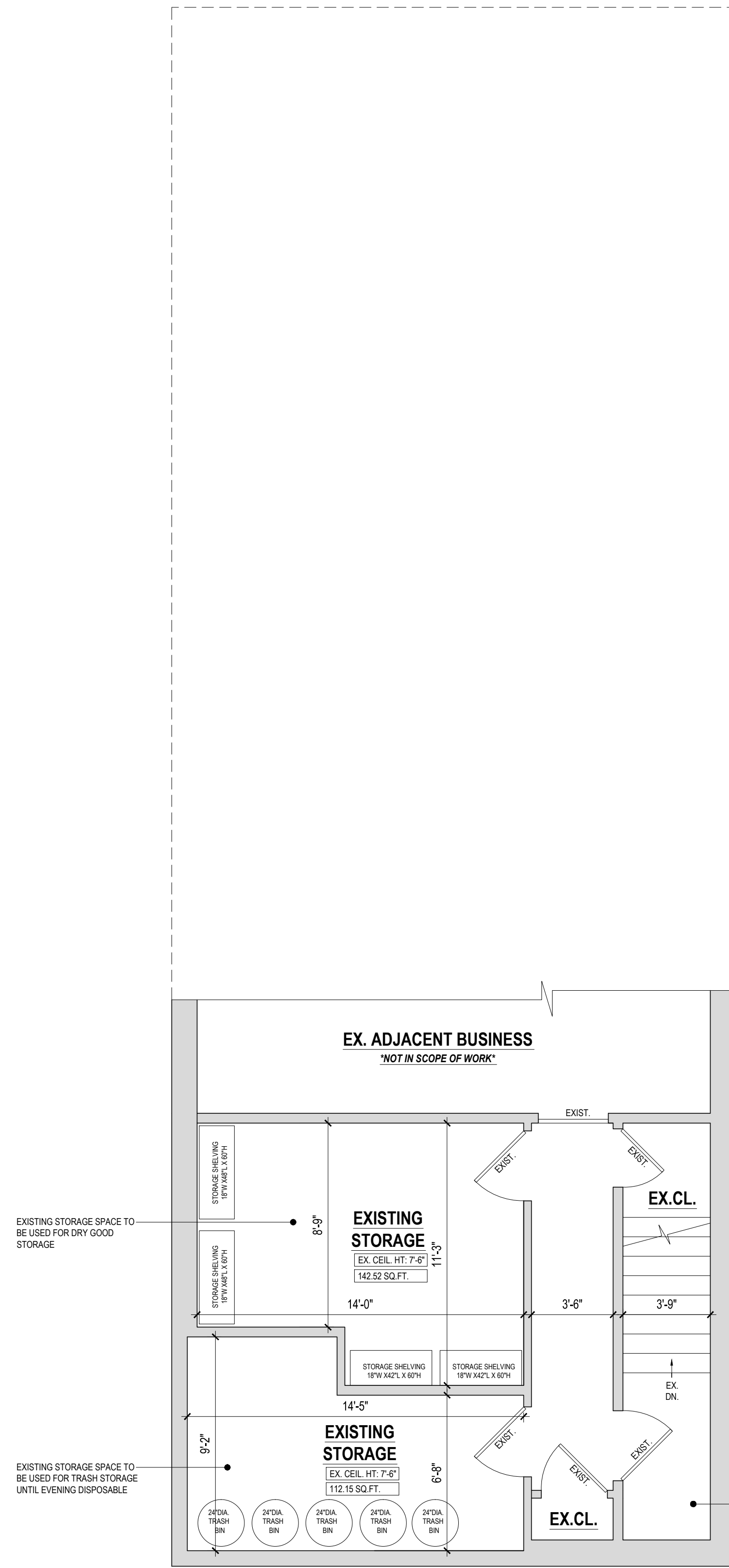
PROPOSED PLAN

Seal: Architect Thomas E. Haynes
original filing date: 06-02-2021
drawing by: [signature]
checked by: [signature]
drawing no.: [signature]

JOB NUMBER: 2161 A.06

(REAR)

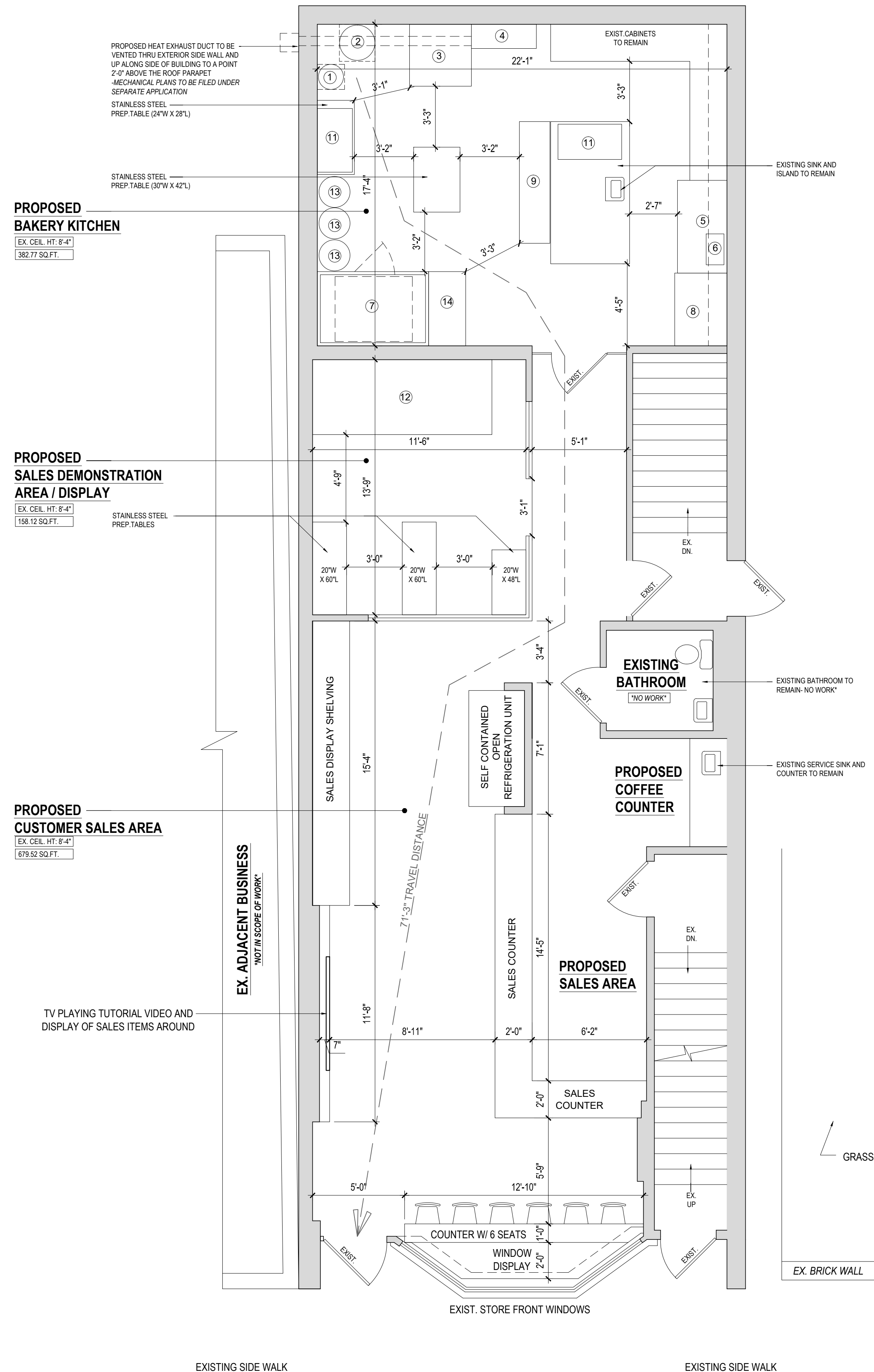
(REAR)



(FRONT)
PARK PLACE

PROPOSED: PARITAL BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



(FRONT)
PARK PLACE

PROPOSED: FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

- NOTE: PROPOSED MECHANICAL EXHAUST FOR NEW EQUIPMENT TO BE PERFORMED UNDER SEPARATE OR AMENDED APPLICATION
- NOTE: THERE SHALL BE NO STRUCTURAL WORK TO BE PERFORMED UNDER THIS APPLICATION
- NOTE: EXISTING HVAC SYSTEMS, EMERGENCY LIGHTS, EXIT SIGNS AND FIRE ALARM SYSTEM TO REMAIN- NO WORK TO BE PERFORMED UNDER THIS APPLICATION
- NOTE: EXISTING HVAC SYSTEMS, EMERGENCY LIGHTS, EXIT SIGNS AND FIRE ALARM SYSTEM TO REMAIN- NO WORK TO BE PERFORMED UNDER THIS APPLICATION
- NOTE: ALL NEW WALL AND CEILING FINISHES TO HAVE A CLASS 'A' FLAME SPREAD RATING (FLAME SPREAD 0-25; SMOKE-DEVELOPED 0-450.) -CONTRACTOR TO VERIFY ALL FINISHES MEET OR EXCEED REQUIREMENT PRIOR TO ORDERING AND INSTALLATION NOTIFY ARCHITECT TO VERIFY IF ALL MATERIALS HAVE THE ADEQUATE FLAME SPREAD RATING
- NOTE: ANY CABINETS AND COUNTERS IN KITCHEN AND PREP AREAS TO BE STAINLESS STEEL W/ APPROVED TYPE LAMINATED WOOD SHELVING OR STAINLESS STEEL SHELVING OVER- NO RAW WOOD EXPOSED
- NOTE: EXISTING WOOD FLOOR TO REMAIN- PROPOSED COVED BASE AT FLOOR/WALL INTERSECTIONS IN ALL FOOD PREP, FOOD STORAGE, UTENSIL WASHING AND TOILET ROOMS.
- NOTE: WALLS IN KITCHEN AND PREP AREAS TO BE CERAMIC WALL TILE AS SELECTED BY OWNER AND COMMERCIAL GRADE FRP PANELS AND COMPLIANT WITH HEALTH DEPARTMENT REQUIREMENTS

CENTRAL BUSINESS A DISTRICT: CARRY OUT FOOD ESTABLISHMENT CODE COMPLIANCE: VILLAGE CODE 310-14-1 (9)

| | |
|------------------------------|-----------------|
| GROSS SQ.FT. (GROUND FLR): | 1,296.57 SQ.FT. |
| GROSS SQ.FT. (BASEMENT FLR): | 329.06 SQ.FT. |
| TOTAL GROSS SQ.FT.: | 1,625.63 SQ.FT. |

| USE: | PERMITTED: | PROPOSED: |
|-----------------------------|-------------------------------------|-----------------------|
| FOOD PREP/ KITCHEN AREA: | MAX 25% OF GROSS SF. OR 406.40 SF. | 23.5% OR 382.77 SF. ✓ |
| RETAIL SALES/ DISPLAY AREA: | MIN. 50% OF GROSS SF. OR 812.81 SF. | 51.5% OR 837.64 SF. ✓ |

- NOTE: ALL SPACES TO BE IN COMPLIANCE WITH FIGURE 404.2.3.1 OF ICC/ANSI A 117.1-2009 FOR MANEUVERING CLEARANCES
- EXISTING OCCUPANCY CLASSIFICATION: M
PROPOSED OCCUPANCY CLASSIFICATION: B
- NOTE: EXISTING SPACE IS NON-SPRINKLERED
- NOTE: ALL EXISTING FLOORING TO REMAIN
- TOTAL OCCUPANCY: 19 PEOPLE

EQUIPMENT SCHEDULE

| NO. | EQUIPMENT | MANUFACTURER | MODEL | REMARKS |
|-----|---|---------------|-----------------|--------------------------------|
| 1 | 10 QUART PLANETARY BENCH MIXER | GLOBE | SP10 | 16.3"W X 17.7"D X 31"H |
| 2 | 25 QUART PLANETARY BENCH MIXER | GLOBE | SP25 | 24"W X 23"D X 36.25"H |
| 3 | SINGLE DECK ELECTRIC CONVECTION OVEN | VULCAN | VC5ED | 40.1"W X 40"D X 54"H |
| 4 | COUNTERTOP ELECTRIC OVENS | BAKERS PRIDE | EP-2-2828 | 42"W X 15.75"D X 33.25"H |
| 5 | UNDER COUNTER FREEZER | BEVERAGE-AIR | UCF60AHC | 60"W X 32"D X 34 3/4"H |
| 6 | COUNTER TOP OVEN | AVANTCO | 177ID18DB | 20"W X 11 1/4"D X 3 1/2"H |
| 7 | KOLD LOCKER- WALK-INS- CEILING MOUNTED W. 48"x60" WALK IN | NORLAKE | CPB100JC-S-4-EV | 41 1/2" X 50 1/2" X 20 3/4" |
| 8 | BOTTOM MOUNT REACH-IN FREEZER | BEVERAGE-AIR | FB44HC-1S | 47"W X 33 1/2"D X 84 1/2"H |
| 9 | DOUGH SHEETERS | ESTELLA | 348DSF78 | 19 1/2"W X 78 1/2"L |
| 10 | COMMERCIAL MICROWAVE OVEN | PANASONIC | NE-12521 | 16 1/8"W X 20"D X 13 1/4"H |
| 11 | SPIRAL MIXERS | DOYON & NU-VU | AEF035 | 22 1/4"W X 41 1/2"D X 49 1/2"H |
| 12 | ROLL IN PROOFERS | DOYON | E336TL0 | 116 1/2"W X 48 1/2"D X 84"H |
| 13 | 32 GALLON FLOOR STORAGE BIN | TBD* | TBD* | 20" DIA. X 32" H. |
| 14 | ROLLING COOKING RACK | TBD* | TBD* | 24"W X 148"D X 69"H |

