

Current land use of site: (Residential; Commercial; Undeveloped) Residential

Current condition of site: (Building; Brush; ect.) Building

Estimated cost of proposed improvements: \$ \$200,000

Anticipated increase number of Residents; Shopper; Employees; ect. N/A

Describe proposed use, including primary, secondary uses; ground floor area; height; number of stories for each building. Attach additional 8 1/2" x 11" sheets if required.

-For residential buildings include number of dwelling units by size.

-For non-residential building include total floor area; sales areas; number of automobile and truck parking spaces.

-Other proposed structures (including shed; garages; ect.)

Proposed use: single family detached residence (one dwelling unit)

Existing ground floor area: 2038 SF

Existing building height: 2 stories/25.2 ft

Proposed building height: 2.5 stories/27.6 ft

Owners Name: Michelle Aldebot

Owners Signature: Michelle Aldebot Date: 5/25/2022

VILLAGE OF BRONXVILLE PLANNING BOARD MEETING ANOUNCEMENT
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Planning Board of the Village of Bronxville at 200 Pondfield Road, Bronxville, N.Y. on July 13, 2022 at 7:30 pm or as soon thereafter as the matter may be heard, to consider an application for the development filed by:

(Date)

Michelle Aldebot

(Name of Developer)

Requiring approval of a site plan of property located at the property located at:

17 Greenfield Ave, Bronxville, NY 10708

(Property Address)

Section 17., Block 4, Lot 4

A copy of the application for development, including the proposed site plan and all other maps and documents filed therewith, is on file and available for public inspection on any business day prior to the hearing between the hours of 9:00 am and 2:00 pm at the office of Superintendent of Buildings, 2nd floor Village Hall, Bronxville, N.Y.

The Public is invited to attend the public hearing and will be given reasonable opportunity to present oral comments or written presentation relevant to the application. The hearing may be presentation relevant to the application. The hearing may be adjourned from time to time at the discretion of the Planning Board.

Michelle Aldebot

(Name of Developer)

17 Greenfield Ave, Bronxville, NY 10708

(Address of Developer)

VILLAGE OF BRONXVILLE DESIGN REVIEW COMMITTEE MEETING ANOUCEMENT
NOTICE OF PUBLIC HEARING FOR ADJOINING PROPERTIES

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Design Review Committee of the Village of Bronxville at 200 Pondfield Road, Bronxville, N.Y. on

July 6, 2022 at 7:30 pm or as soon thereafter as the matter may be heard,
(Date)

to consider an application for the development filed by:

Michelle Aldebot

(Name of Developer)

Requiring approval of a site plan of property located at the property located at:

17 Greenfield Ave, Bronxville, NY 10708

(Property Address)

Section 17, Block 4, Lot 4

A copy of the application for development, including the proposed site plan and all other maps and documents filed therewith, is on file and available for public inspection one week prior to the hearing on the Village of Bronxville's website: www.villageofbronxville.com/design-review-committee under upcoming meeting, or by appointment in person.

The Public is invited to attend the public hearing and will be given reasonable opportunity to present oral comments or written presentation relevant to the application. The hearing may be presentation relevant to the application. The hearing may be adjourned from time to time at the discretion of the DRC and/or Planning Board.

Michelle Aldebot

(Name of Developer)

17 Greenfield Ave, Bronxville, NY 10708

(Address of Developer)

This document must be sent to Journal News by Applicant. Do NOT submit this application to our office.

AFFIDAVIT OF MAILING FOR ZONING AND PLANNING BOARD

Name and Location of Project:

The Aldebot Residence

17 Greenfield Ave, Bronxville, NY 10708

Section 17, Block 4, Lot(s) 4

I, Michelle Aldebot, being duly sworn, depose and say as follows:

1. I am the agent, owner or legal representative of the referenced property.
2. I have prepared a list of property owners located within 100 feet for Zoning and 400' for Planning of the boundaries for of the referenced property, by street address and section, block and lot.
3. I have sent, by certificate of mailing, a copy of the legal notice to each and every property owner within 100 feet of the boundaries of the referenced property.
4. I have published the legal notice in a newspaper of general circulation in the Town of Eastchester on JUNE 22, 20 22, no less than 10 days prior to a Planning Board or Zoning Board of Appeals meeting.
5. I have attached the affidavit of publication from the publisher of the newspaper.
6. I understand that I must bring this signed and notarized Affidavit of Publication, along with the certificate of mailing receipts, to the Planning and Zoning Office one week prior to the meeting.

Michelle Aldebot

(print name)

Michelle Aldebot

(signature)

Sworn to me this 25 day of May, 20 22 BRUCE ROY GREENWALD
NOTARY PUBLIC, State of New York

Bruce Roy Greenwald

No. 03-6659215
Qualified in Bronx County
Commission Expires Oct. 31, 20 22

This document must be submitted to our office along with "green receipts" one week prior to meeting date.

ESCROW AGREEMENT FOR PROFESSIONAL CONSULTATION FEES

The undersigned does hereby agree to the following:

1. I (we) am (are) the owner(s) of premises located at the street address and identified on the tax maps as noted below, for which an application is being submitted to the Village of Bronxville:

* Street Address 17 Greenfield Ave, Bronxville, NY 10708

* Section: 17, Block: 4, Lot: 4

2. I understand and agree that there are certain fees for which I am responsible in conjunction with said application.
3. I understand that the Village Board, Planning Board, Zoning Board of Appeals and/or Design Review Board may seek the services of planning, engineering, environmental, legal, or other technical consultants or professionals as deemed necessary by the Board(s) to review my application. I will be responsible for any and all costs incurred by the Village for such consultations and professional opinions at the prevailing hourly rate agreed upon by the Village. Charges made by such consultants shall be in accord with charges usually made for such services in Westchester County. I understand that no employee of the Village or any member of the Village Board, Planning Board, Zoning Board of Appeals or Design Review Board can advise me, in advance, of what the total consulting fees might be.
4. Upon submission of my application, I shall provide a minimum retainer of \$5,000.00 up to a maximum initial amount as required by the Planning Board depending on the scope of proposed work, payable to the Village of Bronxville, to be held in escrow and applied toward the payment of consulting and professional fees incurred by the Village with regard to my application. When the balance of the escrow account is \$2,500.00 or less, I shall deposit additional retainer funds into the escrow account so that the minimum balance in said account is never less than \$5,000.00. Upon request, the Village shall provide me with a statement indicating expenses incurred and the amount of monies withdrawn from said account.
5. I understand that if I withdraw my application prior to any action being taken by the Village Board, Planning Board, Zoning Board of Appeals or Design Review Committee, I am still responsible for any expenses incurred by the Village with regard to my application prior to such withdrawal.
6. I understand that if at any time the minimum balance in said escrow account falls below \$1,000.00 and is not replenished prior to the next scheduled meeting on the application, the Village Board, Planning Board, Zoning Board of Appeals and/or Design Review Committee may suspend the review of my application and/or the Village Engineer may refuse to issue permits and/or certificates with regard to the premises, unless the Village has been advised by the consultant that no additional charges will accrue.
7. I understand that when it has been determined by the Village that all final charges against the escrow account established for my application have been paid, the remaining balance in the account, if any, shall be returned to the owner.

- 8. I understand that if there are still outstanding consulting fees relative to my application at the termination of the review process, the Village will pursue all legal options to retrieve such fees.
- 9. I understand that the imposition of escrow account fees are in addition to, and not in place of, other fee schedules currently in force.
- 10. All correspondence from the Village regarding the escrow account established for my application shall be addressed to:

Name: Michelle Aldebot

Address: 17 Greenfield Ave

City: Bronxville

State: NY Zip: 10708

Phone: 917.520.4552

Fax: _____

Email: wilfredoaldebot@gmail.com

Michelle Aldebot _____

OWNER (signature)

OWNER (signature)

Michelle Aldebot _____

OWNER (print name)

OWNER (print name)

Dated: _____

Dated: _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information				
Name of Action or Project: The Aldebot Residence				
Project Location (describe, and attach a location map): 17 Greenfield Ave, Bronxville, NY 10708				
Brief Description of Proposed Action: Proposed interior and exterior alterations & new roof design for existing detached single family residence.				
Name of Applicant or Sponsor: Nicholas L. Faustini Architect PC		Telephone: 914.329.1518		
		E-Mail: nfaustini@nlfarchitect.com		
Address: 6 Burns Street				
City/PO: Hartsdale		State: NY	Zip Code: 10530	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Building Dept			NO	YES
			<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 0.38 acres		
b. Total acreage to be physically disturbed?		_____ 0.00 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 0.38 acres		
4. Check all land uses that occur on, adjoining and near the proposed action.				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____				
<input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: _____ Date: <u>05.25.22</u></p> <p>Signature: <u>Nicholas L Faustini RA</u></p>		

VILLAGE OF BRONXVILLE
Department of Buildings
200 Pondfield Road
(914) 337-7338
(914) 337-0158 (Fax)

PLAN REVIEW COMMENTS

APPLICATION NUMB: ALT 071-22
DATE RECEIVED: April 8, 2022
LOCATION: 17 Greenfield Avenue

SBL: 17./4/4
APPLICANT NAME: Davies, Margarete

APPLICANT ADDRESS: 17 Greenfield Avenue
Bronxville, NY 10708

DESCRIPTION OF WORK : Proposed interior & exterior alteration.

DISAPPROVED **May 13, 2022**, FOR THE FOLLOWING:

Your revised application for a permit on the above location has been reviewed and a permit may not be issued at this time for the reasons indicated below.

ZONING CODE REVIEW (Section Numbers refer to Village Code of 1981)

Zoning Review ALT 071-22 17 Greenfield Avenue Exterior Alterations

- 1) Village of Bronxville Municipal Code 310-26 D (1) (b) [c] is required to be complied with. - Referral to planning board is required
- 2) Proposed work complies with area bulk requirements. Building coverage is pre-existing non-conforming, with no change proposed. FAR is compliant

This document constitutes a final administrative determination by the Building Inspector denying your application for the reasons set forth above. Section 7-712(a) of the New York State Village Law provides that any appeal of this decision must be filed within 60 days of the date hereof with the Zoning Board of Appeals of the Village of Bronxville.

APPLICATION REVIEW

Summary Project Statement required immediately. Once your plans do get approved we will need contractor's information, license and insurances, plumbing, electrical and mechanical, and 2 additional set of plans.

PLAN REVIEW

Plan review to be performed upon approval of planning board application



Paul Taft
Building Inspector

VILLAGE OF BRONXVILLE
Department of Buildings
200 Pondfield Road
(914) 337-7338
(914) 337-0158 (Fax)

Resubmission/Correction Sheet
Fee: \$100

APPLICATION NUMB: ALT 071-22
DATE RECEIVED: May 13, 2022
LOCATION: 17 Greenfield Avenue
SBL: 17./4/4

Comment #	Description	Sheet #
1	Scope of work provided describing full extent of work. Previously scheduled interior work has been filed under a separate permit on 05.25.22	T1
2	DRC/PB Application to be submitted separately for Improvements to Front Exterior Façade	--
3	Building Coverage Worksheet Calculations provided .	T2
4	Existing elevations updated to include dimensions	A2
5	Existing Second floor south east corner of wall is non-conforming at 14.9. No change is proposed to this wall. We proposed a gable end wall for the roof above and have updated the drawings to indicate that such wall shall be setback by 1" to comply with the 15ft setback reqmnt	
6	FAR Worksheet Enclosed & calcs included on sheet T1	T1

Attach additional sheets as required

GENERAL EXTERIOR WORK:

1. Removal of existing second floor ceiling joists & roof rafters and replace with new ceiling joists and traditional style gable roof installation
2. New roof to include (2) new dog-house dormers and overbuilt gable roof
3. Exst first floor and second floor front walls to remain. Construct new second floor walls (new walls: 29.1ft of total front width 70.2ft = 41.4%). Exst front master suite walls shall remain (behind exst roof to be removed)
4. Existing siding to be replaced with new stucco finish - all sides
5. No addition to building footprint proposed
6. No site work proposed

FIRST FLOOR WORK

1. Replace windows at front , side & rear as indicated on plans

SECOND FLOOR INTERIOR WORK

1. New home office and family room to be located at former dbl ht gallery space (filed under sep app)
2. Remodel bedroom #2 on suite bath shower
3. Bedroom #2, #3 and foyer to be expanded as a result of connecting from dormers
4. Replace windows at front , side & rear as indicated on plans
5. Infill double height gallery space

BUILDING PERMIT APPLICATION

Office Use

Date Received: _____ Application Number: _____

Appl. Fee: _____ Check #: _____ Permit Fee: _____ Check #: _____

New Building: Addition: Alteration: Elevator: Demo: Windows: Retaining Wall:

Swimming Pool: Other (specify): X - Roof Change **Section:** 17. **Block:** 4 **Lot(s):** 4

1) Project Street Address: 17 Greenfield Ave , Bronxville, NY 10708

Property Owner: Michelle Aldebot

Owner Street Address: 17 Greenfield Ave

City: Bronxville State: NY Zip: 10708

Phone #: (917) 520-4552 Email: michelle.aldebot@gmail.com

2) Lessee (if any): N/A

Street Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ Email: _____

3) Architect (if any): Nicholas L. Faustini Architect PC

Street Address: 6 Burns St

City: Hartsdale State: NY Zip: 10530

Phone #: (914) 329-1518 Email: nfaustini@nlfarchitect.com

4) Professional Engineer (if any): N/A

Street Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ Email: _____

5) Builder or Contractor: TBD

Address: _____

Street Address: _____

City: _____ State: _____ Zip: _____

Office Phone #: _____ Cell Phone: _____

Estimated value of proposed work: (Please round up to the nearest thousand) \$ 200,000

Description of Proposed Project: Proposed Interior & Exterior Alterations & New Roof Design

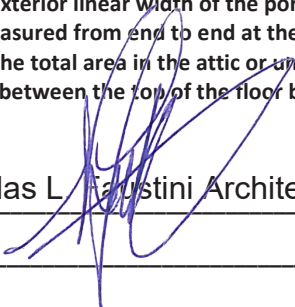
“Remove and replace roof structure with traditional style gable roof, siding replaced with stucco, replacement of windows. VOB Municipal Code 310-26 D (1) (b) [c] is required due to more than 50% of a one family dwellings front yard facing exterior wall proposed to be altered (material alteration).”

Zoning F.A.R. Calculation

	EXISTING	PROPOSED	SUB TOTAL
BASEMENT ^(b)	1677.0	1677.0	0.0
1 ST FLOOR	2038.0	2038.0	2038.0
2 ND FLOOR	2420.0	2501.0	2501.0
3 RD FLOOR ^(d)	N/A	N/A	N/A
ATTIC ^(d)	N/A	N/A	N/A
GARAGE ^(c)	553.0	553.0	153.0
ACTUAL TOTAL BUILDING FLOOR AREA =			4692.0
		ACTUAL LOT AREA =	16346.0
		PERMITTED F.A.R. (From Table, interpolate if necessary) =	0.3065
		MAXIMUM PERMITTED BUILDING FLOOR AREA (ACTUAL LOT AREA X PERMITTED F.A.R.) =	5010.04

Floor Area Ratio (for a lot whose principal use is a one or two family dwelling): The ratio of the gross floor area of all buildings on a lot to the area of the lot on which the buildings are located. For the purpose of determining the floor area ratio (FAR), all floor areas of each floor of all principal and all accessory structures on the lot shall be included. Any interior space with a floor-to-ceiling height in excess of 14 feet shall be counted twice. Notwithstanding the preceding the following shall be excluded from the calculation of floor area:

- a) The aggregate area of all unroofed structures such as decks and patios and all spaces in unenclosed porches and porticos, except that existing unenclosed porches may be enclosed and the enclosed area excluded from the FAR calculation provided that the exterior walls of the unenclosed porch and the walls of the dwelling to which the porch is attached are not relocated closer to the lot lines of the subject property than the existing unenclosed porch.
- b) The aggregate area of any cellar regardless of its use or of any basement unless it is defined as a story. See Basement definition.
- c) The aggregate area of grade level garage parking (whether attached or detached) or basement level parking, in either case, up to a maximum of 400 square feet. In those instances where an additional story is provided above a garage (whether attached or detached) such floor area shall be subject to the attic and sloping roof limitations in (d) below.
- d) The aggregate area of all unfinished or finished space in an attic or under a sloping roof provided that the total exterior width of all dormers does not exceed 30% of the exterior linear width of the portion of the roof upon which they are situated. The exterior linear width of the roof shall be measured from end to end at the widest point of the roof. Where the linear width of the dormers exceeds the limitation above, the total area in the attic or under the sloping roof shall be included in the calculation of FAR, except where floor area between the top of the floor beams and the structural ceiling level is five (5) feet or less.

Calculations Prepared By: Name (Print): Nicholas L. Faustini Architect PC
 Signature: 



Classified Ad Receipt
(For Info Only - NOT A BILL)

Customer: NICHOLAS FAUSTINI
Address: 6 BURNS STREET
HARTSDALE NY 10530
USA

Ad No.: 0005291222
Pymt Method Credit Card
Net Amt: \$118.00

Run Times: 1

Zone: TJN-Westchester
No. of Affidavits: 1

Run Dates: 06/22/22

Text of Ad:

**VILLAGE OF BRONXVILLE DESIGN REVIEW
COMMITTEE MEETING & PLANNING
BOARD MEETING ANNOUNCEMENT -
NOTICE OF PUBLIC HEARINGS**

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Design Review Committee of the Village of Bronxville at 200 Pondfield Road, Bronxville, N.Y. on July 6, 2022 at 7:30 pm or as soon thereafter as the matter may be heard, to consider an application for the development filed by: Michelle Aldebot

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Planning Board of the Village of Bronxville at 200 Pondfield Road, Bronxville, N.Y. on July 13, 2022 at 7:30 pm or as soon thereafter as the matter may be heard, to consider an application for the development filed by: Michelle Aldebot

Requiring approval of a site plan of property located at the property located at: 17 Greenfield Ave Bronxville NY 10708; Section: 17. , Block: 4, Lot: 4

A copy of the application for development, including the proposed site plan and all other maps and documents filed therewith, is on file and available for public inspection on any business day prior to the hearing between the hours of 9:00 am and 2:00 pm at the office of Superintendent of Buildings, 2nd floor Village Hall, Bronxville, N.Y.

The Public is invited to attend the public hearings and will be given reasonable opportunity to present oral comments or written presentation relevant to the application. The hearing may be presentation relevant to the application. The hearing may be adjourned from time to time at the discretion of the DRC and /or Planning Board.

0005291222

Possession NOT indicated

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for New York State Association of Land Surveyors. This Survey is a representation of the property as surveyed on September 25, 2013, the date that the field work was performed. Subsequent revision dates do not constitute an updated survey.

Eliot Senor, L.S. New York State Lic. No. 049822

Copies of the survey map not bearing the land surveyor's original blue signature and embossed seal shall not be considered to be a true and valid copy. Copyright Gabriel E. Senor, P.C., 2013. ALL RIGHTS RESERVED.

A Title report lists easements and restrictions if the report was not provided these easements and or restrictions may not be shown. A copy of the title report was not provided. A copy of the deed was provided. Survey may be subject to easements not shown.

Surface elevations and underground appurtenances, if any, whether or not shown are not guaranteed. Fences or possession lines generally do not follow a straight line. The survey shows straight lines between located points. Any dimensions shown are to the surveyed point only. Labeled dimensions cannot be used for any other point along the line.

Unauthorized alteration or additions to the survey map is a violation of Section 7209 sub-section 2 of the New York State Education Law

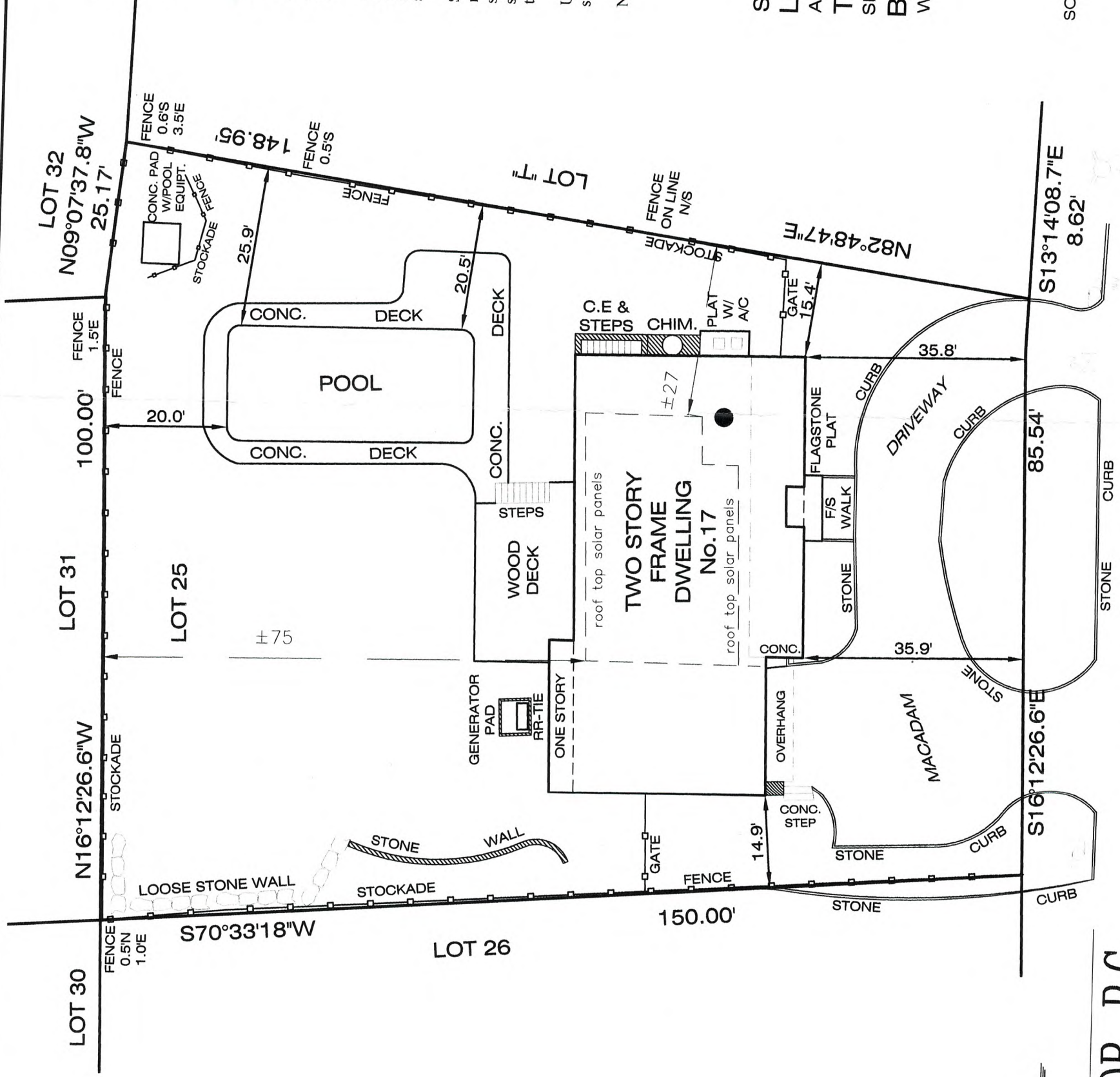
NOT FOR TITLE TRANSFER

**SURVEY OF
LOT Nos. 25
AS SHOWN ON MAP OF
TANGLEWYLDE PROPERTY
SITUATED AT
BRONXVILLE
WESTCHESTER COUNTY, NEW YORK.**

SCALE: 1" = 20'

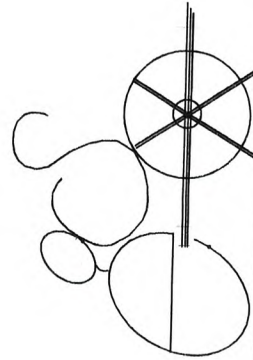
DATE: SEPTEMBER 25, 2013
SEPTEMBER 15, 2014 (UPDATE)
OCTOBER 9, 2017 (UPDATE)

Said "Map" is filed in the Westchester County Clerks office, Division of Land Records, on July 16, 1914 as R.O. Map number 2069.



GREENFIELD AVENUE

GABRIEL E. SENOR, P.C.



GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF TOWN OF BRONXVILLE NY BUILDING CODE AND ZONING ORDINANCES... 2. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR OR ANY SUBCONTRACTOR(S) DOING ANY WORK UNDER THIS CONTRACT...

GENERAL SPECIFICATIONS

SITE WORK

1. THE WORK UNDER THIS SECTION SHALL INCLUDE FURNISHING ALL LABOR, MATERIALS, TOOLS, APPLIANCES AND EQUIPMENT AND PERFORMING ALL OPERATIONS NECESSARY FOR COMPLETE EXECUTION OF THE FOLLOWING: A. REMOVE ALL BRUSH WITHIN CONTRACT AREA...

CONCRETE & MASONRY

1. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR EQUIPMENT AND APPLIANCES REQUIRED FOR THE COMPLETION EXECUTION OF ALL CONCRETE FOUNDATION WORK, CONCRETE SLABS AND PLATFORMS, CONCRETE FOOTINGS AND MASONRY WALLS AS INDICATED IN WORKING DRAWINGS...

METALS

1. STRUCTURAL STEEL - ALL STRUCTURAL STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM A-36 LATEST EDITION... 2. ALL CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS...

WOOD & PLASTICS

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 1 AND 2 COMMON HAVING A MIN. ALLOWABLE BENDING STRENGTH OF 4000 PSI... 2. LUMBER SIZE AND SPACING AS INDICATED ON WORKING DRAWINGS...

THERMAL & MOISTURE PROTECTION

1. INSULATION - ALL EXTERIOR WALLS, CEILING AND ROOFS, AS INDICATED ON WORKING DRAWINGS AND PER NY STATE ENERGY CONSERVATION CONSTRUCTION CODE...

DOORS & WINDOWS

1. ALL DOORS AND WINDOWS SHALL BE SIZE, TYPE AND FIRE RATINGS INDICATED ON PLANS AND SCHEDULES. ALL GLAZING SHALL BE REGULAR DOUBLE PANE INSULATED GLASS BY ANDERSEN WINDOWS & DOORS MFG. OR APPROVED EQUIVALENT...

FINISHES

1. CONCRETE SLAB - CONCRETE FLOOR SLABS SHALL BE CLEANED AND TREATED WITH SEALER TO HELP SLAB RESIST ABRASION, WEAR, IMPACT AND CRACKING AND CONCRETE DUST. SEALER TO PREVENT PENETRATION OF WATER, OILS, GREASES AND SOLVENTS...

ELECTRICAL

1. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM WITH ALL PROVISIONS OF THE NYS BUILDING CODE, NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES.

PLUMBING

1. ALL PLUMBING WORK SHALL BE APPROVED BY THE LOCAL BOARD OF HEALTH OR BLDG. DEPARTMENT, AND SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR...

HEATING

1. HEATING CONTRACTOR SHALL GUARANTEE THAT THE HEATING SYSTEM SHALL BE PROPERLY DESIGNED, INSTALLED AND ADJUSTED TO MAINTAIN A CONSTANT 70° F INDOOR TEMPERATURE WHEN OUTDOOR TEMPERATURE IS 0° F WITH A 15 MPH WIND...

STEEL & CONCRETE DESIGN DATA

STEEL DESIGN DATA

STRUCTURAL STEEL: I SHAPES: ASTM A992 GR 50; TUBE COLUMNS: ASTM - A500, GRADE B; HIGH STRENGTH BOLTS: ASTM - A325; SHAPES & PLATES: ASTM - A36; WELDING ELECTRODES - SERIES: E70; ANCHOR BOLTS: F1554 (FY=56KSI)

CONCRETE DESIGN DATA

1. CONCRETE WORK (BOTH MATERIALS & CONSTRUCTION PROCEDURES) SHALL BE IN ACCORDANCE WITH AC308-2005. 2. CONCRETE SHALL BE CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS...

SCOPE OF WORK

GENERAL EXTERIOR WORK:

- REMOVAL OF EXISTING SECOND FLOOR CEILING JOISTS & ROOF RAFTERS AND REPLACE WITH NEW CEILING JOISTS AND TRADITIONAL STYLE GABLE ROOF INSTALLATION; NEW ROOF TO INCLUDE (2) NEW DOG-HOUSE DORMERS AND OVERBUILT GABLE ROOF...

FIRST FLOOR WORK:

- REPLACE WINDOWS AT FRONT, SIDE & REAR AS INDICATED ON PLANS

SECOND FLOOR WORK:

- REMODEL SHOWER AT BEDROOM #2 ON-SUITE BATH; BEDROOM #2, #3 AND POYER TO BE EXPANDED AS A RESULT OF CONNECTING FROM DORMERS; REPLACE WINDOWS AT FRONT, SIDE & REAR AS INDICATED ON PLANS...

SURVEY NOTE

SURVEY INFORMATION TAKEN FROM SURVEY DATED SEPTEMBER 25, 2015, PREPARED BY GABRIEL E SENOR P.C. TOPOGRAPHICAL LINES OBTAINED FROM THE WESTCHESTER COUNTY GIS MAP...

NYS ENERGY CODE COMPLIANCE STATEMENT

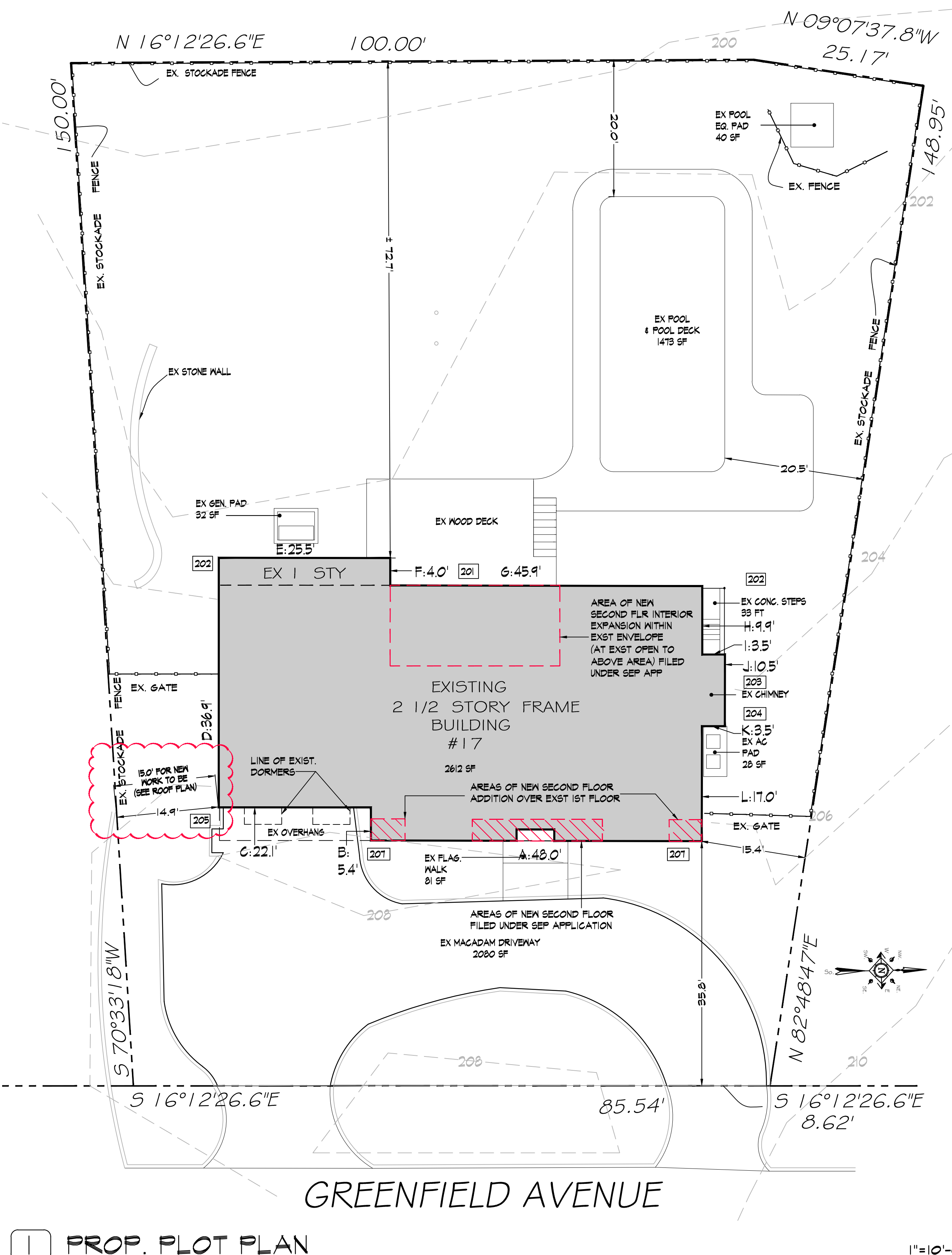
THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PROPOSED WORK WHICH IS SHOWN IN THE PLANS OR SPECIFICATIONS IS IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

DESIGN LOADS

Table with columns for ROOF, ATTIC, LIVE LOAD SNOW, DEAD LOAD, LIVE LOAD (45' HEADRM), DEAD LOAD.

THE ALDEBOT RESIDENCE

17 GREENFIELD AVE, BRONXVILLE NY



1 PROP. PLOT PLAN

ZONING INFORMATION SCHEDULE

Table with columns for GENERAL CODE, EX ZONE, RESIDENCE A DISTRICT, ITEM, REQ/ALLOW, EXISTING, PROPOSED.

F.A.R. CALCULATIONS

Table with columns for EXISTING, PROPOSED, SUB-TOTAL, and rows for EXISTING BASEMENT, EXISTING FIRST FLOOR, EXISTING SECOND FLOOR, EXISTING GARAGE, etc.

NOTES: (1) BASEMENT AREA NOT COUNTED TOWARDS F.A.R. - NOT CONSIDERED A STORY (2) UP TO 400 SF OF GRADE LEVEL PARKING EXEMPT FROM F.A.R. CALCULATIONS

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LOCATION MAP



AREA OF WORK

NOTE: Drawings may be printed at reduced scale

ZONE: RESIDENCE A SECTION/BLOCK/LOT: 17/4/4

LIST OF DRAWINGS

Table with columns for drawing title and sheet number, listing items like TITLE SHEET & NOTES, EXIST CALCULATIONS, EXIST PLANS, etc.

Table with columns for drawing number, date, and description, listing revision history.

CLIENT

MICHELLE ALDEBOT 17 GREENFIELD AVE, BRONXVILLE NEW YORK 10708

PROJECT

PROPOSED INTERIOR & EXTERIOR ALTERATIONS & NEW ROOF DESIGN FOR

THE ALDEBOT RESIDENCE 17 GREENFIELD AVE, BRONXVILLE NEW YORK 10708

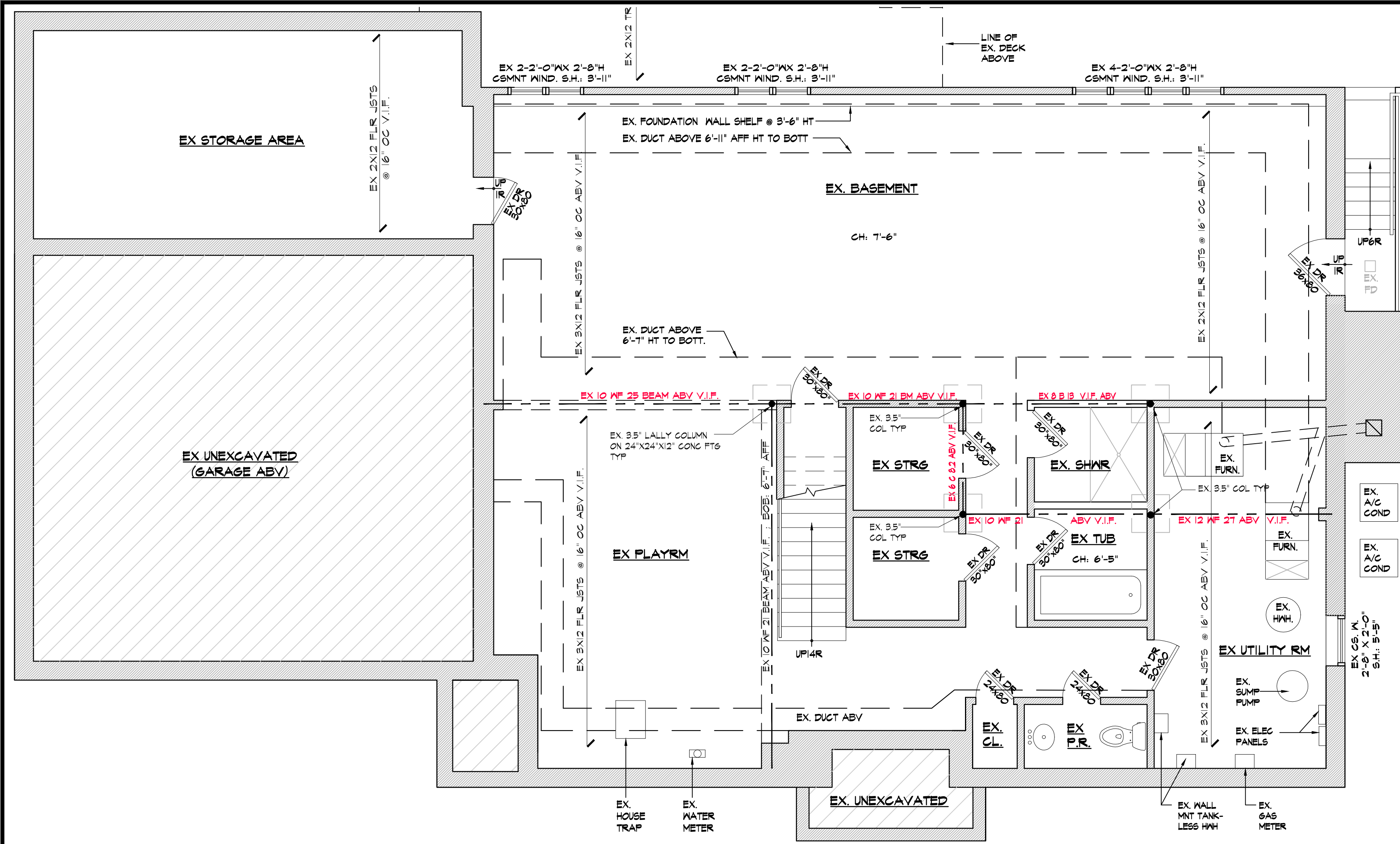
DRAWINGS TITLE

TITLE SHEET, SITE PLAN, & NOTES

Table with columns for DRAWN BY, CHECKED BY, PROJECT NO., and values S1, NF, 21.1201.

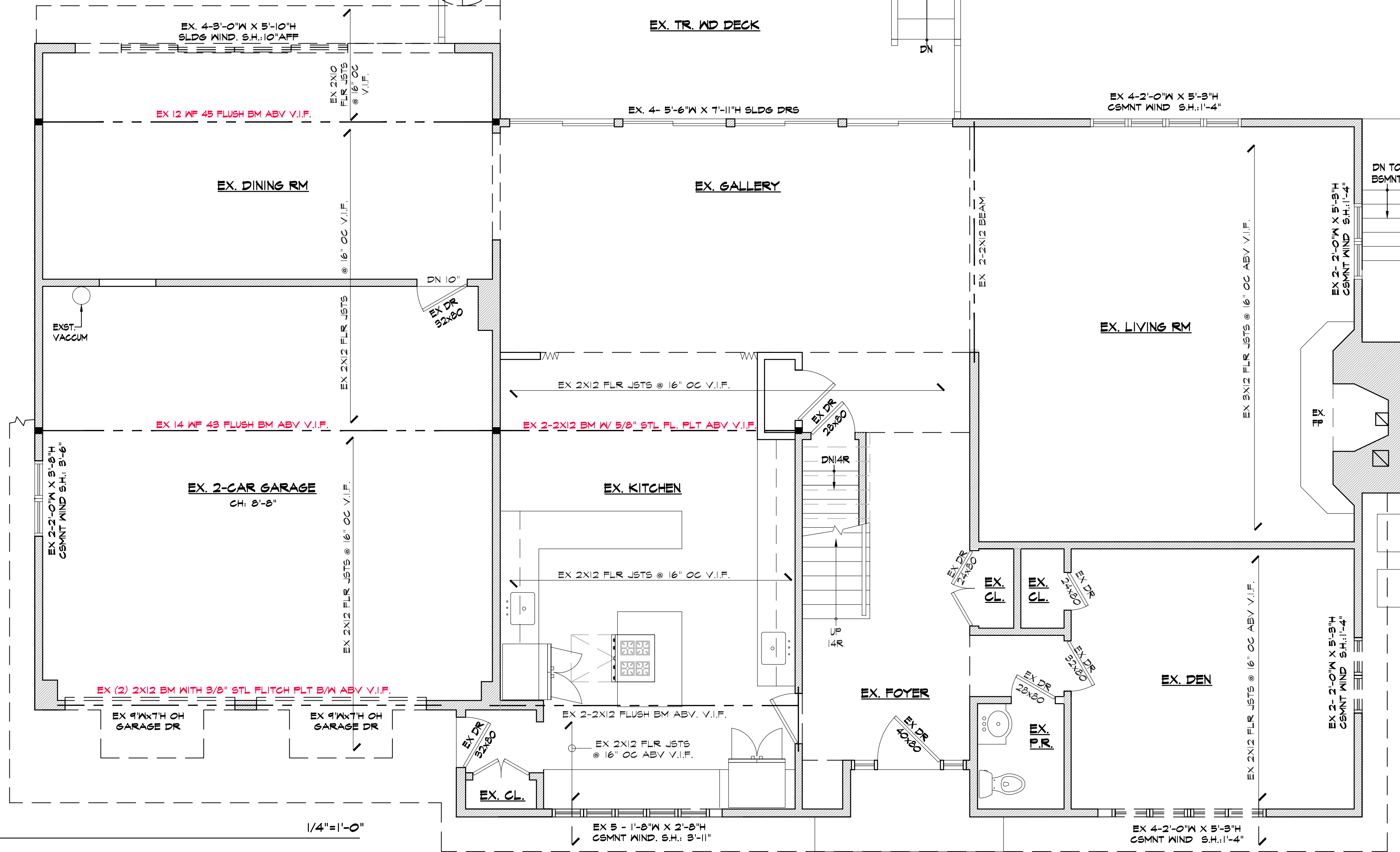
Table with columns for DATE and DRAWING NO., with values 04.05.22 and 17.





EX BASEMENT PLAN / DEMO
EX. CLG. HT 7'-6" AFF UON

1/4"=1'-0"



EX FIRST FLOOR PLAN / DEMO
EX. CLG. HT 8'-0" AFF UON

1/4"=1'-0"

DEMOLITION GENERAL NOTES:

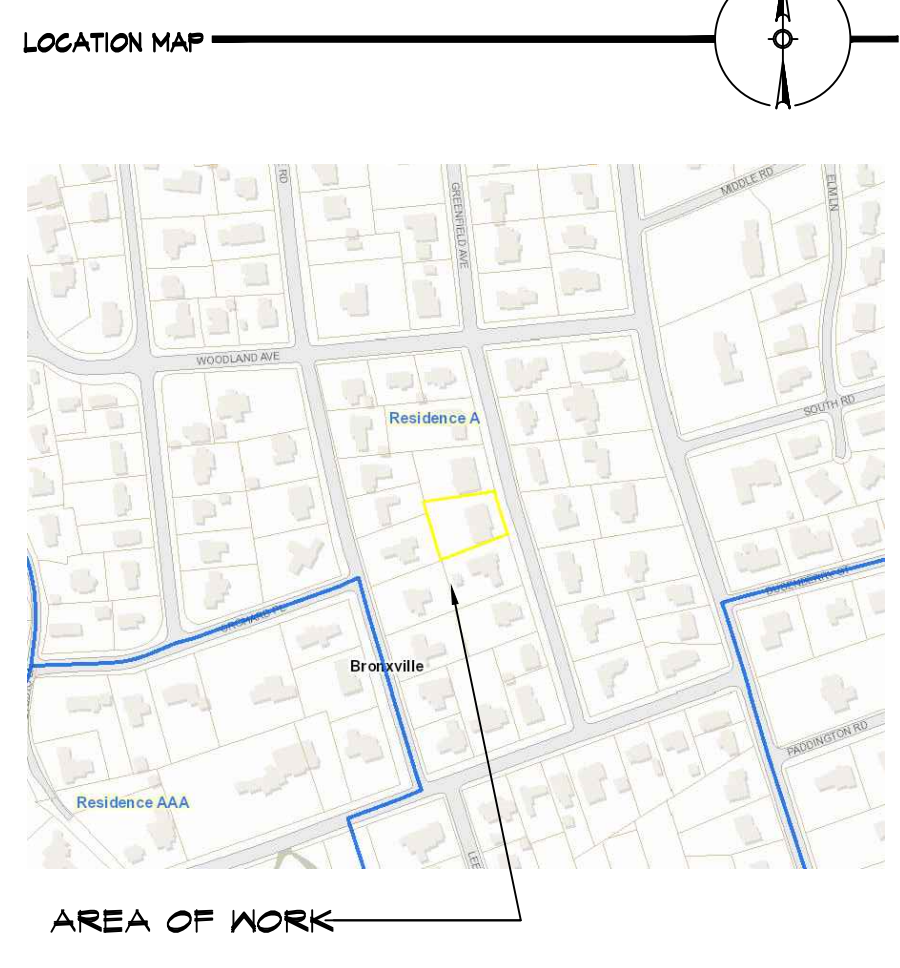
- DEMOLITION CONTRACTOR TO COORDINATE ALL PHASES OF DEMOLITION FOR THE PROJECT AND NOTIFY ARCHITECT AND/OR THE CLIENT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF CONSTRUCTION.
- DEMOLITION SHALL BE DONE IN NEAT WORKMANLIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS AND DISCARDED MATERIALS & FOR EQUIPMENT AS INDICATED WITHIN THE SPACE.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF MATERIALS FROM RESIDENCE PREMISES ON A DAILY BASIS. DO NOT MIX CONSTRUCTION DEBRIS WITH THAT OF THE RESIDENTS.
 - IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM HALLWAYS & ROOMS AFTER DEMOLITION OPERATION AND BEFORE COMMENCEMENT OF THE NORMAL WORK DAY.
- ALL UNUSED PLUMBING, SHEET METAL DUCTS, AND EQUIPMENT LINES MUST BE REMOVED & CAPPED AT THE MAIN RISER OR BRANCH CONNECTION. PATCH ALL EXISTING CONSTRUCTION TO REMAIN AS REQUIRED (V.I.F.) TO ACCOMMODATE DEMOLITION & SCOPE OF ALL NEW WORK.
- TO COORDINATE DEMOLITION WITH ALL TRADES, IT IS THE GC'S RESPONSIBILITY TO DETERMINE WHICH ITEMS ARE TO BE REMOVED, WHICH ARE TO REMAIN AND WHICH NEED TO BE PROTECTED, AS REQUIRED, DURING DEMOLITION (INCLUDING, BUT NOT LIMITED TO, PARTITIONS, FINISHES, DOORS, FRAMES, HARDWARE AND ELECTRICAL CIRCUITRY).
- GC IS RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS TO REMAIN THROUGH THE ENTIRE COURSE OF DEMOLITION AND CONSTRUCTION (INCLUDING, BUT NOT LIMITED TO, PARTITIONS, FINISHES, DOORS, FRAMES, HARDWARE AND ELECTRICAL CIRCUITRY). CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGE WHICH MIGHT OCCUR.
- PATCH AND REPAIR AS REQUIRED ALL EXISTING PARTITIONS TO REMAIN WHERE AN EXISTING PARTITION THAT INTERSECTED THE PARTITION IS REMOVED. PREPARE ALL SURFACES TO RECEIVE NEW FINISHES AS SPECIFIED.

WALL LEGEND

ITEM	DESCRIPTION
	EXISTING WALL TO REMAIN
	EXISTING WALL OR ELEMENT TO BE REMOVED

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NOTE:
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ZONE: RESIDENCE A **SECTION/BLOCK/LOT:** 17/4/4

LIST OF DRAWINGS

T1	TITLE SHEET & NOTES
T2	GRADE CALCULATIONS
A1	EXST PLANS
A2	EXST PLANS AND EXTERIOR ELEVATIONS
A3	PROPOSED BASEMENT PLAN
A4	PROPOSED FIRST FLOOR PLAN
A5	PROPOSED 2ND FL AND ROOF PLANS
A6	PROPOSED EXTERIOR ELEVATIONS, FRONT & RIGHT
A7	PROPOSED EXTERIOR ELEVATIONS, REAR & LEFT
A8	BUILDING SECTIONS & TYPICAL SECTION DETAIL

02	05.26.22	DRC/PB FILING
01	05.06.22	REV PER DOB COMMENTS
--	04.05.22	ISSUED FOR DOB FILING
No.	DATE	ISSUE/REV.

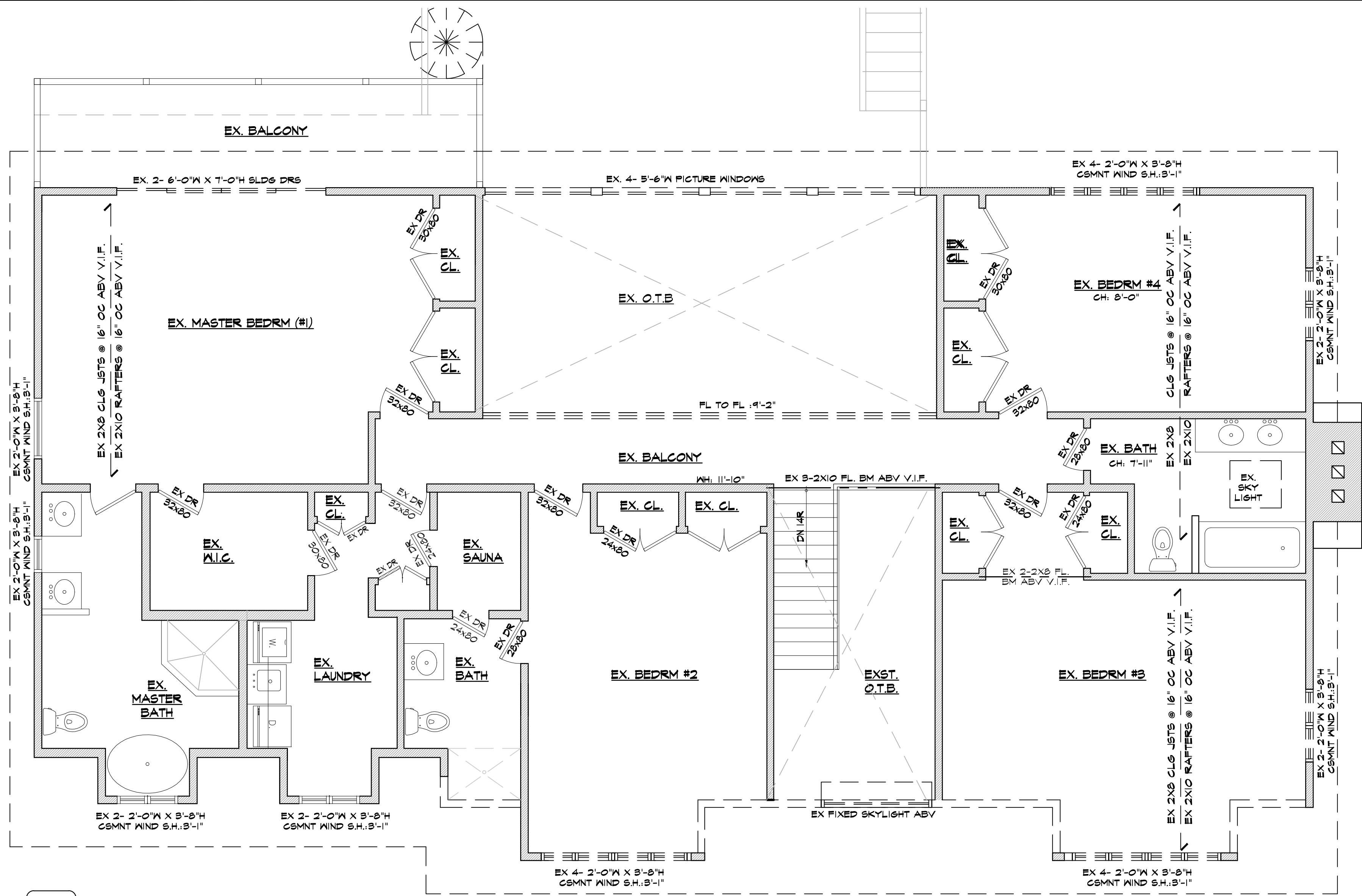
CLIENT
 MICHELLE ALDEBOT
 17 GREENFIELD AVE,
 BRONXVILLE NEW YORK 10708

PROJECT
 PROPOSED INTERIOR & EXTERIOR ALTERATIONS & NEW ROOF DESIGN FOR:
 THE ALDEBOT RESIDENCE
 17 GREENFIELD AVE, BRONXVILLE NEW YORK 10708

DRAWINGS TITLE
 EXIST BASEMENT & FIRST FLOOR PLAN / DEMO

DRAWN BY	CHECKED BY	PROJECT NO.
SI	NF	211201
DATE		DRAWING NO.
04.05.22		





NOTE:
GC TO WEATHER PROTECT THE HOUSE WHEN THE ROOF OF THE FIRST FLOOR AND THE PARTIAL SECOND FLOOR EXTERIOR WALLS ARE REMOVED

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LOCATION MAP



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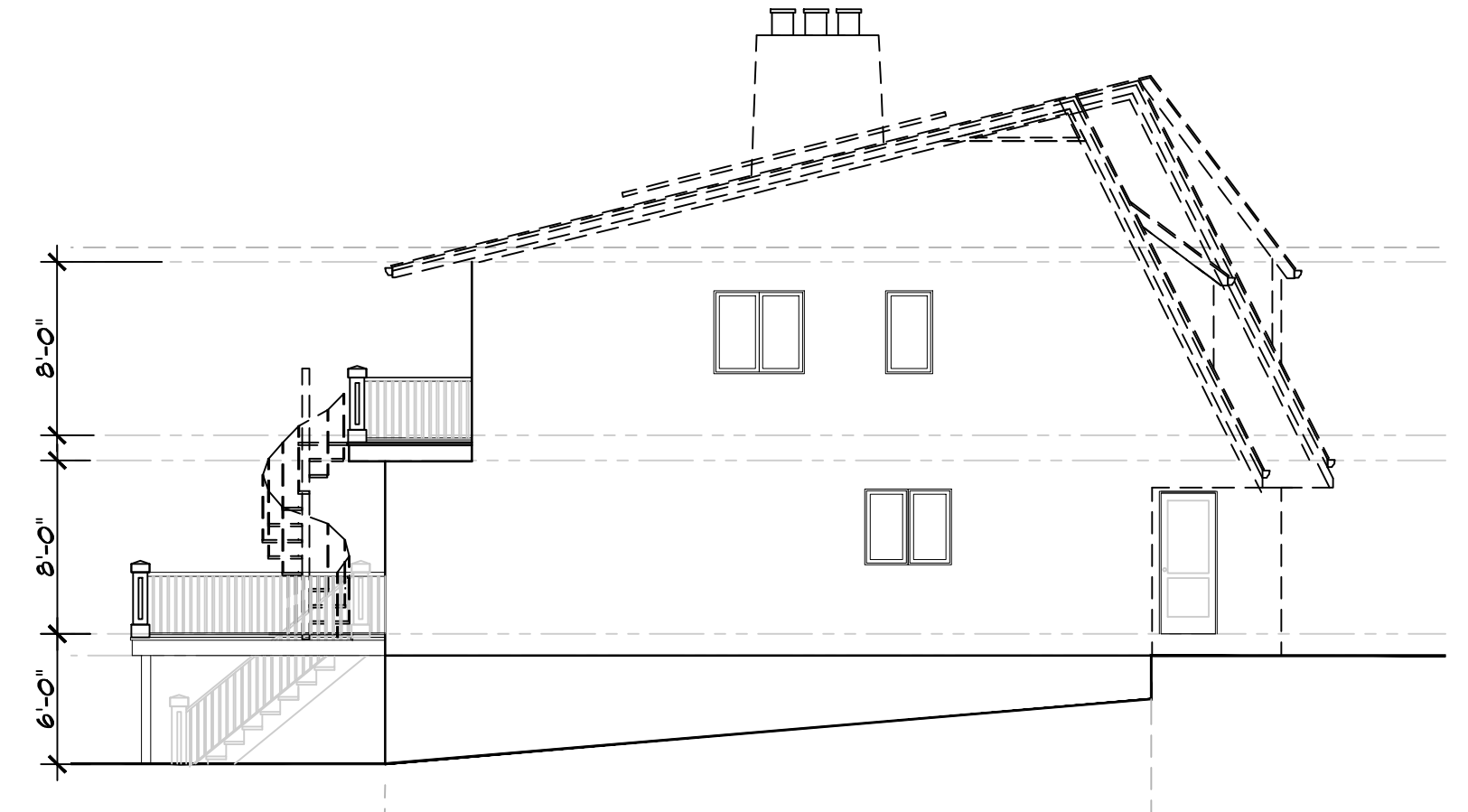
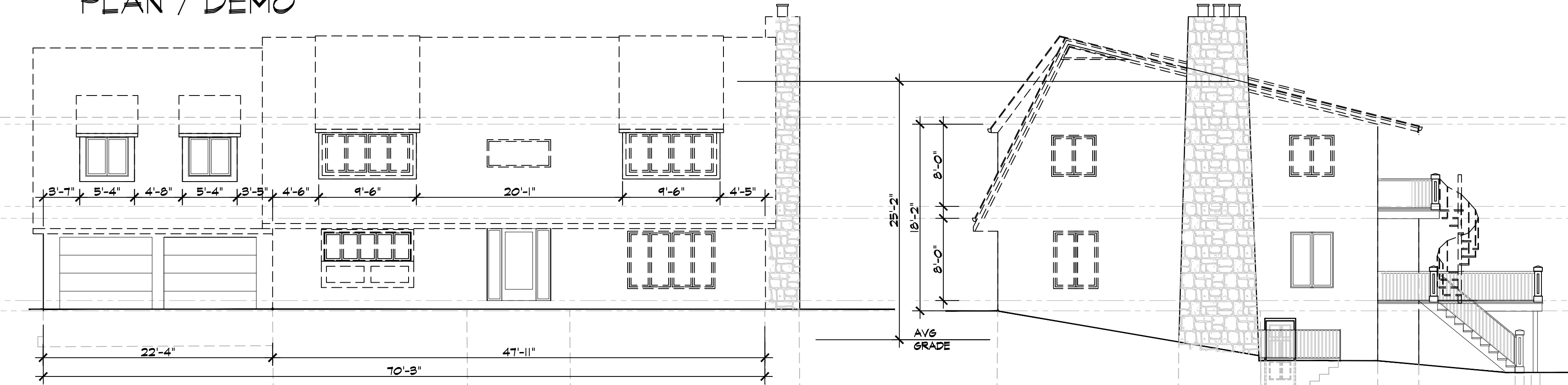
ZONE: RESIDENCE A SECTION/BLOCK/LOT: 17/4/4

LIST OF DRAWINGS

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A8	BUILDING SECTIONS & TYPICAL SECTION DETAIL

1 EX SECOND FLR PLAN / DEMO
1/4"=1'-0"
EX. CLG. HT 8'-0" AFF UON

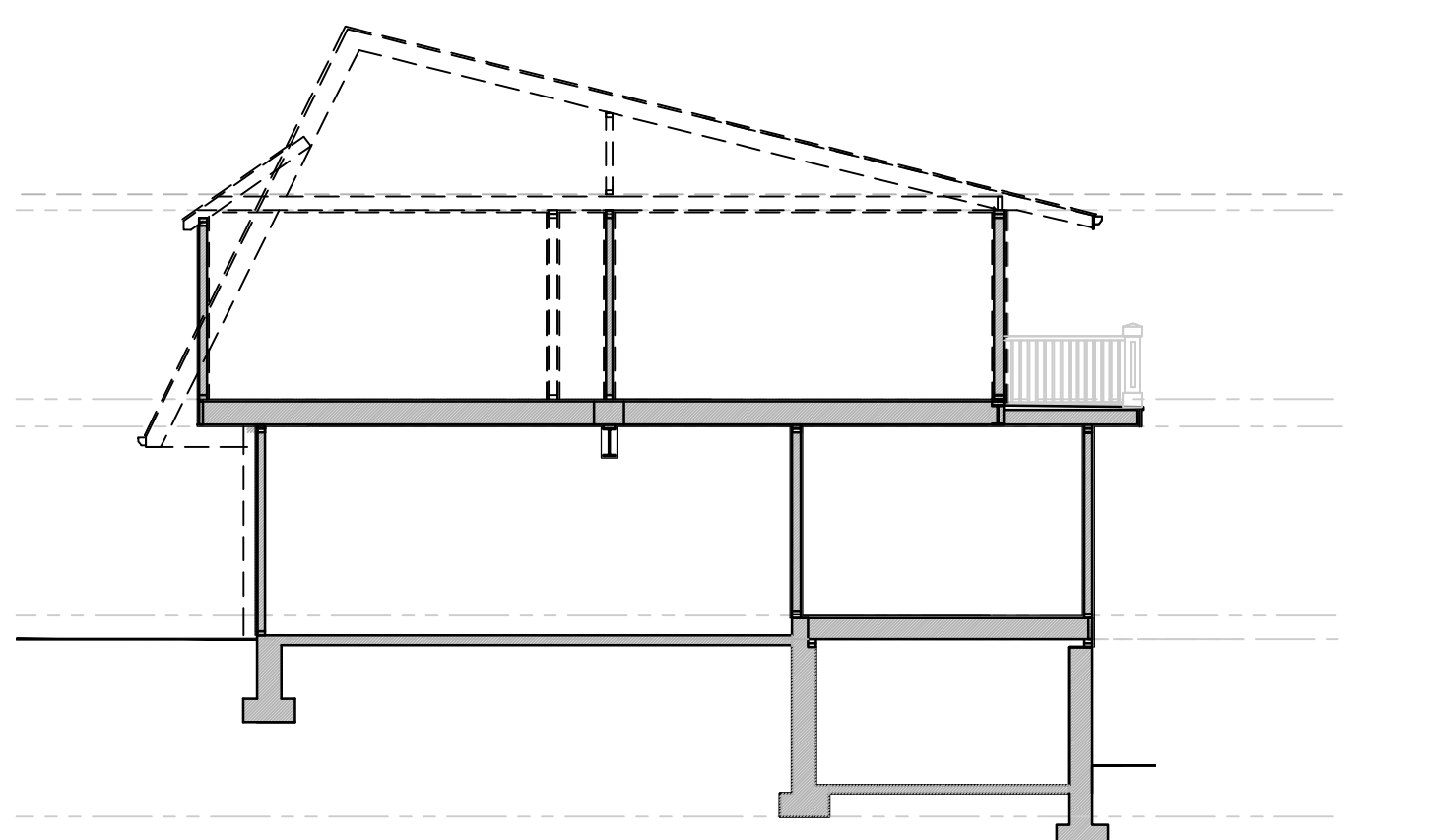
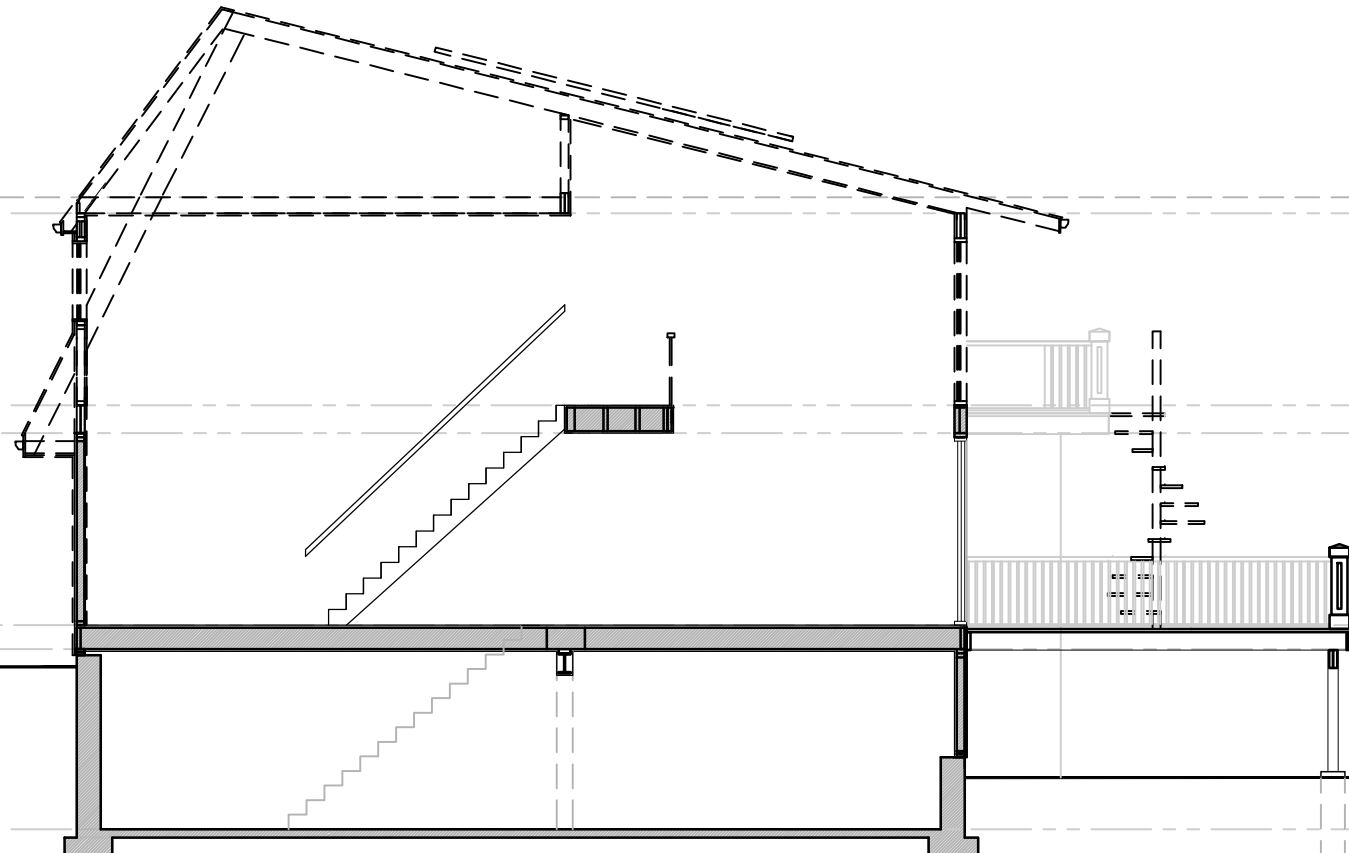
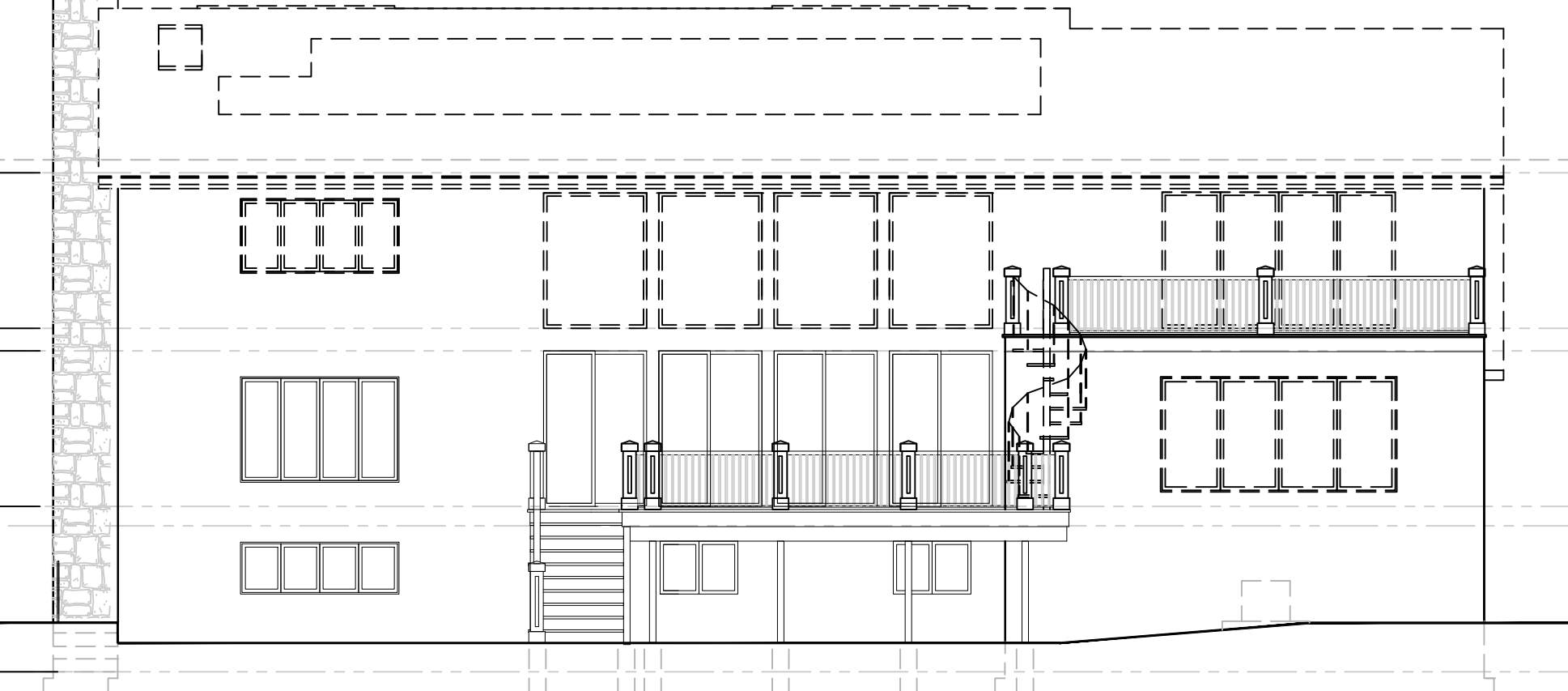
2 EX ROOF PLAN / DEMO
1/8"=1'-0"



E1 EX. FRONT ELEV. 1/8"=1'-0"

E2 EX RIGHT SIDE ELEV. 1/8"=1'-0"

E3 EX LEFT SIDE ELEV. 1/8"=1'-0"



E4 EX. REAR ELEV. 1/8"=1'-0"

A EX SECTION 1/8"=1'-0"

B EX SECTION 1/8"=1'-0"

CLIENT
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17 GREENFIELD AVE,
BRONXVILLE NEW YORK 10708

PROJECT
PROPOSED INTERIOR & EXTERIOR ALTERATIONS & NEW ROOF DESIGN FOR:
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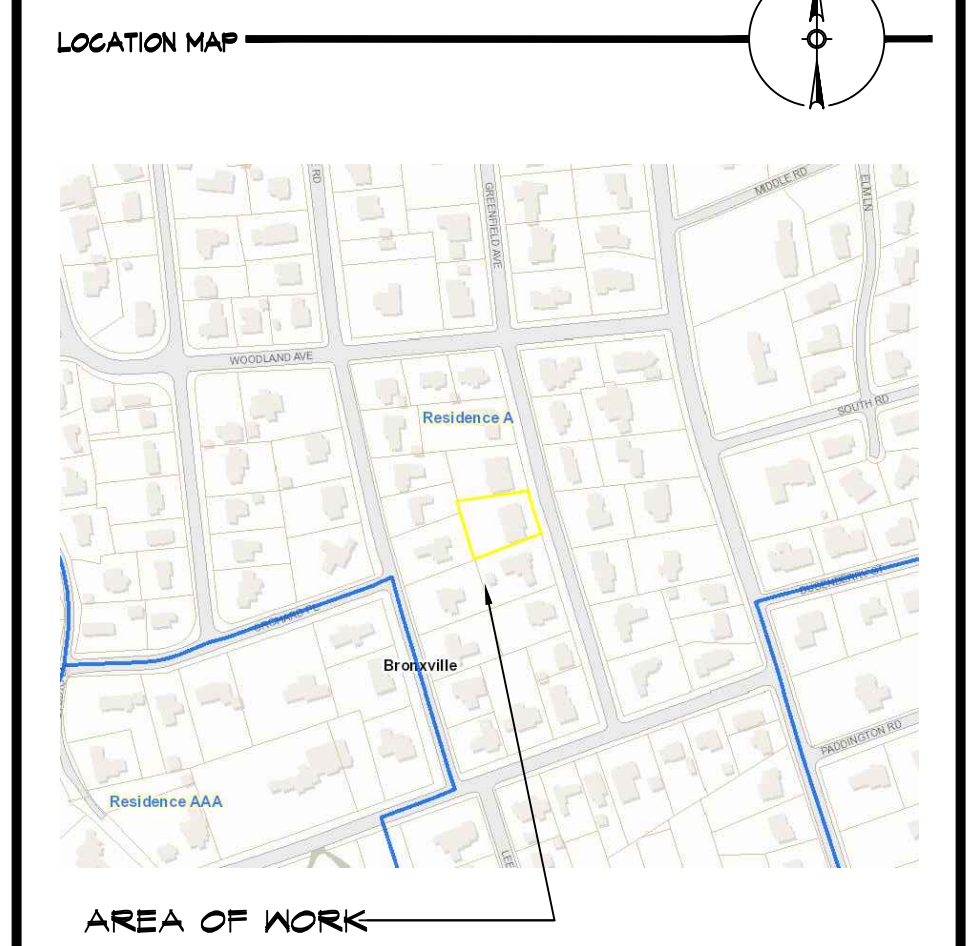
DRAWINGS TITLE
EXIST SECOND FLR PLAN & EXTERIOR ELEVATIONS

DRAWN BY	CHECKED BY	PROJECT NO.
SI	NP	211201
DATE	ISSUE/REV.	
04.05.22		



A2

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ZONE: RESIDENCE A **SECTION/BLOCK/LOT:** 17/4/4

LIST OF DRAWINGS

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02	05.26.22	DRG/PB FILING
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 BRONXVILLE NEW YORK 10708

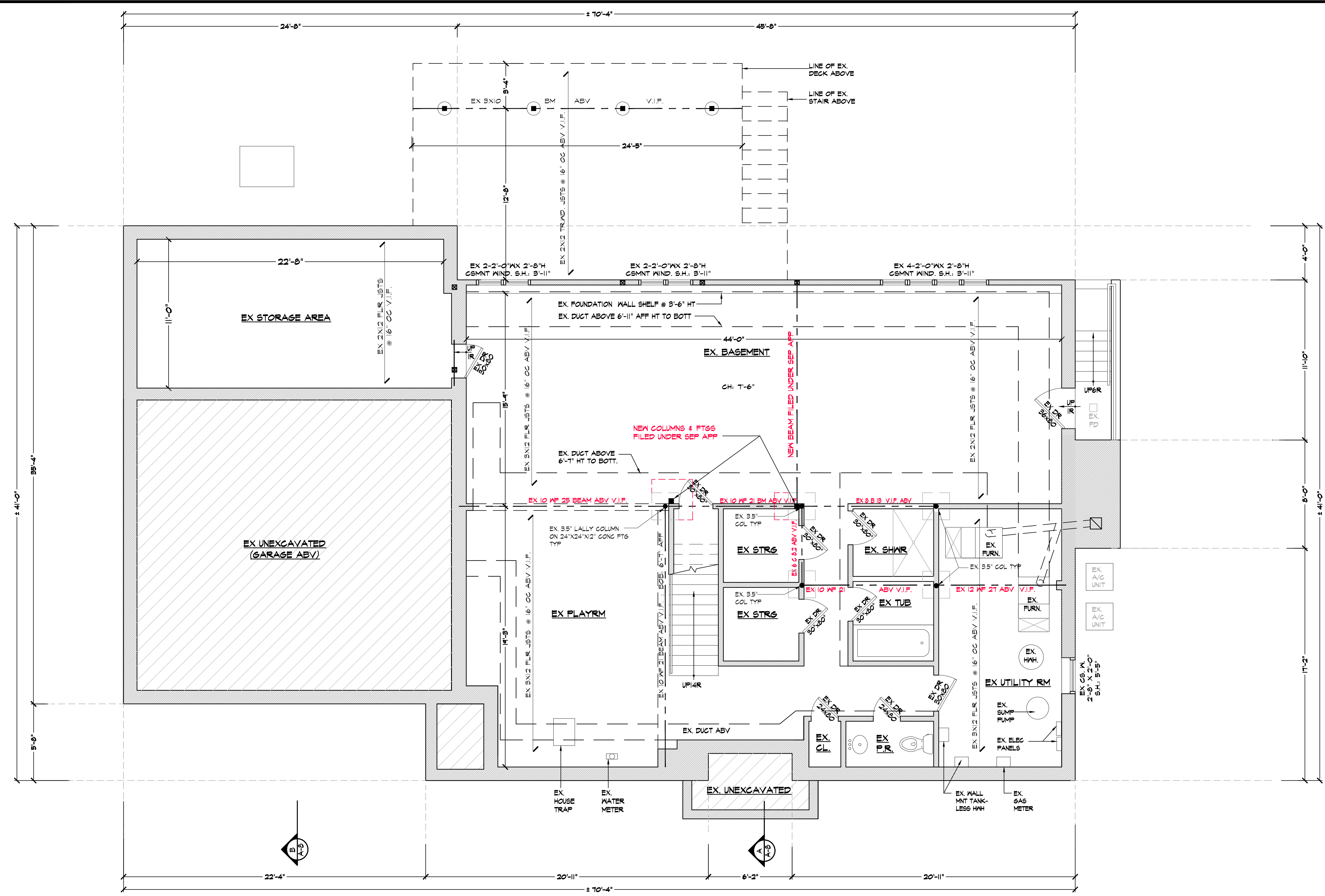
PROJECT
 PROPOSED INTERIOR & EXTERIOR ALTERATIONS & NEW ROOF DESIGN FOR:

THE ALDEBOT RESIDENCE
 17 GREENFIELD AVE, BRONXVILLE NEW YORK 10708

DRAWINGS TITLE
 PROPOSED BASEMENT PLAN

DRAWN BY	CHECKED BY	PROJECT NO.
SI	NF	211201

DATE 04.05.22
DRAWING NO. A3



PROPOSED BASEMENT PLAN

1/4" = 1'-0"

EX. BASEMENT CLG. HT 7'-6" AFF UON

EXISTING CONSTRUCTION NOTES

- BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING PROPERTY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTIONS OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

*****IMPORTANT NOTES*****

- 6.C. TO PROPERLY SHORE & BRACE ALL STRUCTURAL ELEMENTS AS NECESSARY PRIOR TO REMOVAL OF AND/OR REINFORCING OF ANY BEAMS OR HEADERS. TEMPORARY 2X4 WALLS @ 18" OC TO BE PROVIDED FOR JOISTS SUPPORT ON EACH SIDE OF BEAMS TO BE REMOVED OR REINFORCED.
- 6.C. TO VERIFY ALL FIELD CONDITIONS & NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY CONCEALED STRUCTURAL PROBLEMS.

WINDOW, DOOR & H.WARE NOTES:

- 6.C. TO FIELD VERIFY ALL WINDOW SIZES PRIOR TO ORDERING & INFORM ARCH IMMEDIATELY OF ANY DISCREPANCIES.
- ALL WINDOW EXTERIOR & INTERIOR FINISH TO MATCH EXISTING WINDOWS. CONFIRM WITH OWNER PRIOR TO ORDERING.
- ALL HARDWARE & SCREENS TO BE PRICED SEPARATELY & PRESENTED TO OWNER FOR SELECTION.
- ALL NEW DOORS SHALL BE FINISHED PER OWNER'S REGARDS.
- ALL HARDWARE & RELATED MTL. FINISH ACCESSORIES SHALL BE SELECTED & CONFIRMED BY OWNER PRIOR TO ORDERING.
- 6.C. SHALL PAY FOR ALL LOCK CYLINDERS AND KEYS, ACCORDING TO OWNER REQUIREMENTS. COORDINATE WITH OWNER.

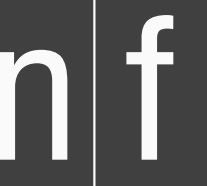
- ALL DOORS SHALL BE INSTALLED 4" FROM ADJACENT PARTITION TO CLEAR DAYLITE FOR LOCKSET LEVER UON.
- ALL DOORS SHALL BE UNDERCUT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE THICK OF THE FINISH MATERIALS AND COORD. WITH THE EXIST. SUBFLOOR CONDITIONS TO DETERMINE THE TOTAL UNDERCUT. REQUIRED TO ACHIEVE AN UNDERCUT OF 3/8" A.F.F.
- PROVIDE STRIKE PLATES AT EVERY JAMB & ARCHOR FRONTS AT EVERY DR. EDGE. ALL ACCESSORIES TO MATCH.

WINDOWS INSTALLED IN HAZARDOUS LOCATIONS REQUIRE TEMPERED GLASS.

- TEMPERED GLASS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
- WITHIN 24" OF A DOOR IN A CLOSED POSITION
 - IN ANY ROOM CONTAINING A BATHTUB OR SHOWER
 - WITHIN 60" OF A STAIRCASE
 - WITHIN 36" OF AN EXTERIOR WALKING SURFACE

GENERAL NOTES:

- 6.C./DRYWALL CONTRACTOR TO COORDINATE REQUIRED PARTITION THICKNESS AT ALL PLUMBING LOCATIONS.
- PATCH ALL EXISTING CONSTRUCTION TO REMAIN AS REQUIRED (V.I.F.) TO ACCOMMODATE DEMOLITION & SCOPE OF ALL NEW WORK.
- 6.C. IS RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS TO REMAIN THROUGH THE ENTIRE COURSE OF DEMOLITION AND CONSTRUCTION (INCLUDING, BUT NOT LIMITED TO, PARTITIONS, FINISHES, DOORS, FRAMES, HARDWARE AND ELECTRICAL CIRCUITRY). CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGE WHICH MIGHT OCCUR.
- 6.C. SHALL REVIEW AND INCLUDE ALL NOTES ON TITLE & GENERAL SPEC SHEETS IN THIS SET OF CONSTRUCTION DOCS. THIS INCLUDES BEING FAMILIAR WITH ALL GENERAL NOTES WHICH APPLY DIRECTLY TO ANY AND ALL TRADES. EACH SUBTRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN ALL CONTRACTOR'S COSTS.
- ALL DOORS (NEW OR EXISTING) TO BE UNDERCUT AS REQUIRED TO ACCOMMODATE NEW FINISHED FLOOR MATERIAL AND/OR DOOR SADDLES WHERE REQUIRED.
- 6.C. SHALL LAY OUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONSTRUCTION IS SHOWN.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PREPARED AS REQUIRED TO RECEIVE NEW FINISHES.
- 6.C. SHALL INSURE ACCESSIBILITY TO EXISTING ACCESS PANEL(S) ARE MAINTAINED.

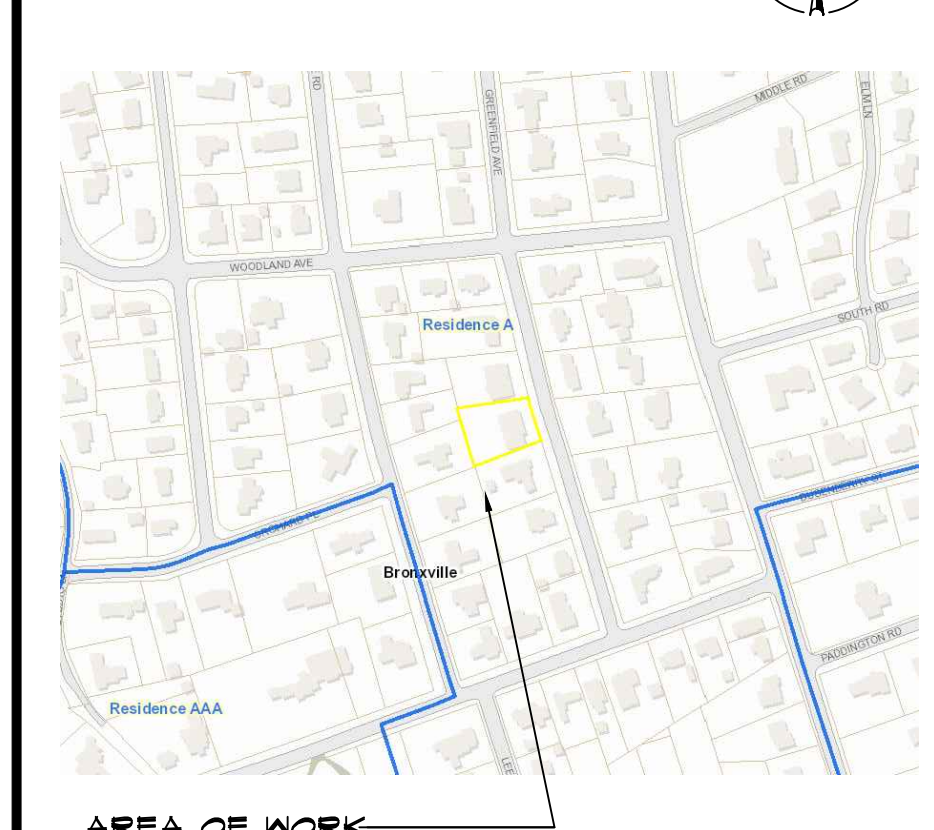


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LOCATION MAP

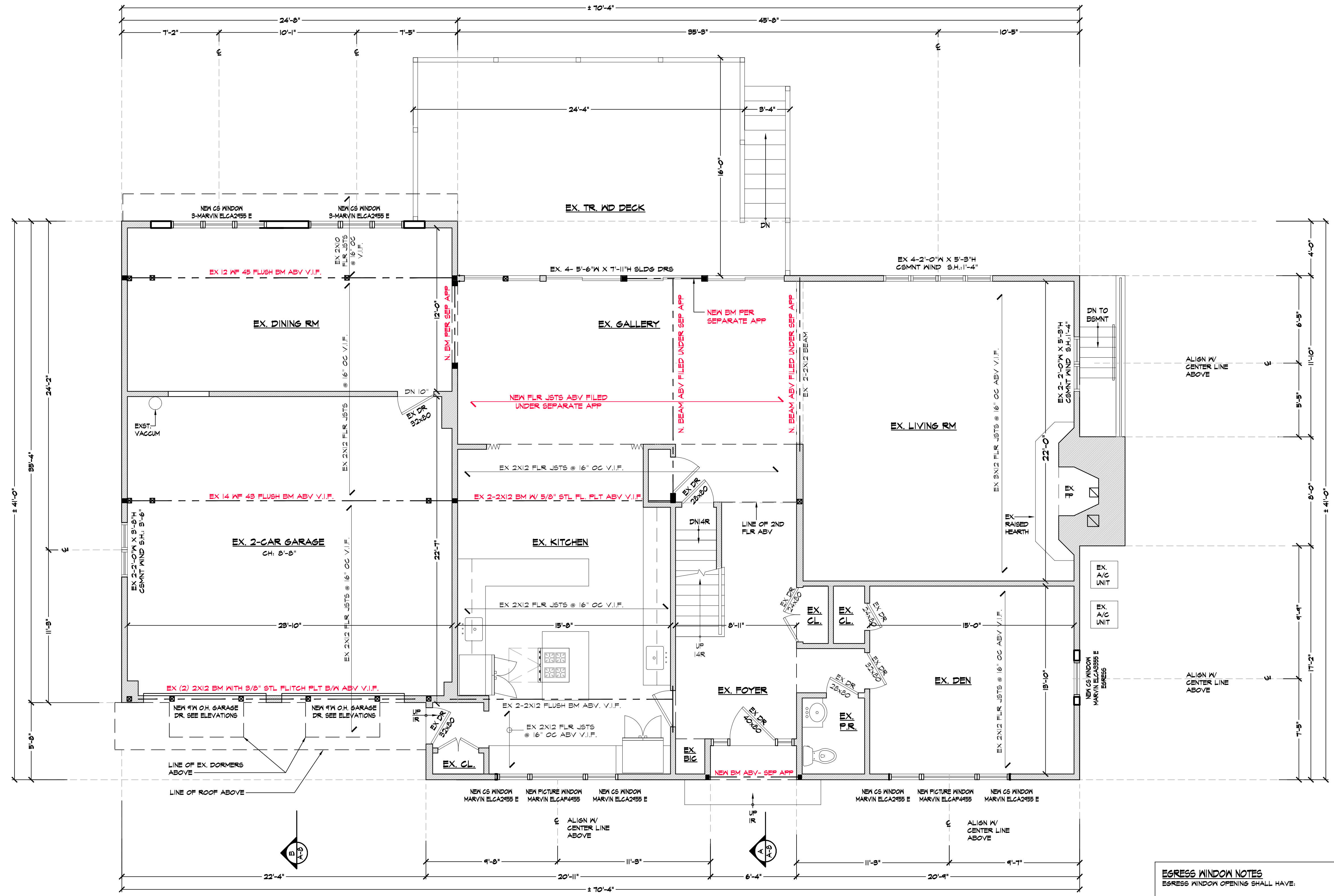


NOTE:
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ZONE: RESIDENCE A SECTION/BLOCK/LOT: 17/4/4

LIST OF DRAWINGS

T1	TITLE SHEET & NOTES
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A7	PROPOSED EXTERIOR ELEVATIONS, REAR & LEFT
A8	BUILDING SECTIONS & TYPICAL SECTION DETAIL



PROPOSED FIRST FLOOR PLAN
 EX. FIRST FLOOR CLG. HT 8'-0" AFF UON

1/4"=1'-0"

EGRESS WINDOW NOTES
 EGRESS WINDOW OPENING SHALL HAVE:
 • MINIMUM NET CLR OPENING OF 5.7 SQUARE FEET
 • MINIMUM NET CLR OPENING HEIGHT OF 24 INCHES
 • MINIMUM NET CLR OPENING WIDTH OF 20 INCHES
 • OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
 • SILL HEIGHT SHALL BE NO MORE THAN 44" A.F.F.

GENERAL CONSTRUCTION NOTES:

- ANCHORAGE ANCHORS BOLTS SHALL BE 1/2" DIAM AND SPACED AT 48" O.C OR AS INDICATED ON DRAWINGS. (SEE DN66. FOR ADDL INFO)
- SILL PLATES: SILL PLATES SHALL BE NOM 2" X 6" PRESSURE TREATED DOUGLAS FIR UTILITY OR BETTER ATTACHED TO FOUNDATION WALLS WITH ANCHOR BOLTS. SILL PLATE SHALL RUN CONTINUOUSLY OVER OPENINGS AND SHALL BE NAILED TO RIM JOIST AND OPENING HEADERS AS APPLICABLE ROLLED FOAM SEALER SHALL BE INSTALLED B/W SILL PLATE & TOP OF FOUND. WALL. UNDERNEATH TERMITE SHIELD. (SEE DN66.)
- BEAM POCKETS: ALL BEAMS SHALL HAVE A BEARING OF AT LEAST 4" ON A SOLID MASONRY WALL. IF A MET PLATE IS USED, IT SHALL BE AS SHOWN ON PLANS.
- COLUMNS: ALL WOOD COLUMNS SHALL BE DOUGLAS FIR, COMMON GRADE MIX AND SHALL BE FREE OF CHECKS AND SPLITS. ATTACHMENTS SHALL BE AS SHOWN ON PLANS OR SPECS. WOOD CONNECTORS TO BE MANUFACTURED BY SIMPSON.
- RIM JOIST: SINGLE RIM JOIST SHALL BE OF SIZE AND LOCATION AS SHOWN ON DN66. & SHALL BE SAME AS DIMENSIONAL LUMBER JOIST. WOOD SHALL BE DOUGLAS FIR, COMMON GRADE MIX.
- SIDDERS AND BEAMS: SIZE AND LOCATION SHALL BE AS PER PLAN. ALL WOOD SHALL BE DOUGLAS FIR, COMMON GRADE MIX. DIMENSIONAL LUMBER JOISTS MAY BE HANG USING GALVANIZED HANGERS AS MANUFACTURED BY SIMPSON. SIDDERS SHALL BE CONNECTED TO WOOD BEAMS BY USING GALVANIZED CAP CONNECTORS AS MANUFACTURED BY SIMPSON. (SEE DN66. FOR ADDL INFO)
- FLOOR JOISTS: IF APP. SIZE AND LOCATION SHALL BE AS PER PLAN. ALL WOOD SHALL BE DOUGLAS FIR, COMMON GRADE MIX. DIMENSIONAL LUMBER JOISTS MAY BE HANG BY USING GALVANIZED JOIST HANGERS AS MFG BY SIMPSON. JOISTS BEARING ON WOOD PLATES SHALL BEAR DIRECTLY ON STUDS OR ON CONTINOUS PLATES. ALL HEADERS AND CRIPPLE STUDS USED TO FRAME OPENINGS SHALL BE DOUGLAS FIR, COMMON GRADE MIX. (SEE DN66. FOR ADDL INFO)
- FLOORING, SHEATHING: ALL SUB FLOORS SHALL BE 3/4" C-G PLYWOOD WITH MAXIMUM SPAN OF 24". GAPS BETWEEN PANELS SHALL BE 1/8". (SEE DN66. FOR ADDL INFO)

FINISH SPECIFICATIONS:

- EXTERIOR WALL FRAME, EXTERIOR WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD FOR MAXIMUM SPAN OF 24" U.O.N. GAPS AT EDGES OF SHEATHING SHALL BE 1/8". NEW WALL CONSTRUCTION SHALL BE 2" X 6" WOOD STUDS AT 16" O.C., DOUGLAS FIR COMMON MIX. TOP PLATES SHALL BE DOUBLE 2" X 4" DOUGLAS FIR COMMON GRADE MIX LUMBER OVERLAPPING AT INTERSECTION WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET MIN. 48".
- INTERIOR LOAD-BEARING WALLS: INTERIOR WALLS SHALL BE 2" X 4" WOOD STUD WALLS AT 16" O.C. U.O.N. WOOD SHALL BE DOUGLAS FIR, COMMON GRADE MIX. TOP PLATES SHALL BE DOUBLE 2" X 4" DOUGLAS FIR, COMMON GRADE MIX LUMBER. END JOINTS IN TOP PLATES SHALL BE OFFSET 48". (SEE DN66. FOR ADDL INFO)
- INTERIOR NON-LOAD-BEARING PARTITIONS SHALL BE 2" X 4" DOUGLAS FIR, COMMON GRADE MIX WITH STUDS AT 16" O.C. U.O.N. (SEE DN66. FOR ADDL INFO)

WALL LEGEND

ITEM	DESCRIPTION
	EXISTING WALL TO REMAIN
	EXIST. WALL OR ELEMENT TO BE REMOVED
	NEW INTERIOR PARTITIONS: 2X4 STUDS AT 16" O.C WALL
	NEW EXTERIOR PARTITIONS: 2X4 STUDS AT 16" O.C WALL WITH R15 ROCKWOOL INSULATION

WOOD HDR & STL LINTEL SCHEDULE - U.O.N. SEE PLAN FOR ADDL INFO

OPENING WIDTH	WOOD HEADER SIZE
2'-0" TO 3'-11"	(2)2X10, IF HDR AT 1'-2" AFF, PROVIDE 2-2X12 FLUSH HDR
4'-0" TO 6'-0"	(2)2X12, IF HDR AT 1'-2" AFF, PROVIDE 2-2X12 FLUSH HDR
6'-1" TO 9'-0"	IF HDR AT 1'-2" AFF, PROVIDE (2) 1-3/4"x11-1/4" 2.0E FL. LVL. HDR

TYPICAL BATH NOTES:

- SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- SC TO PROVIDE CEMENT BOARD AT ALL SHOWER WALLS & GREENBOARD (MIR) AT ALL OTHER BATH WALLS

FRAMING LEGEND:

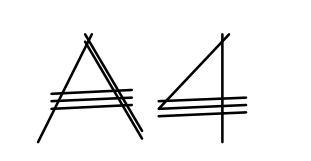
- DENOTES SOLID STUDS FROM ABOVE. PROVIDE SOLID BLOCKING UNDER.
- DENOTES SOLID STUDS AT FLOOR LEVEL. GC TO PROVIDE 1/2" OR VERIFY SOLID BLKING UNDER STUDS TO TRANSFER LOAD TO FT66.

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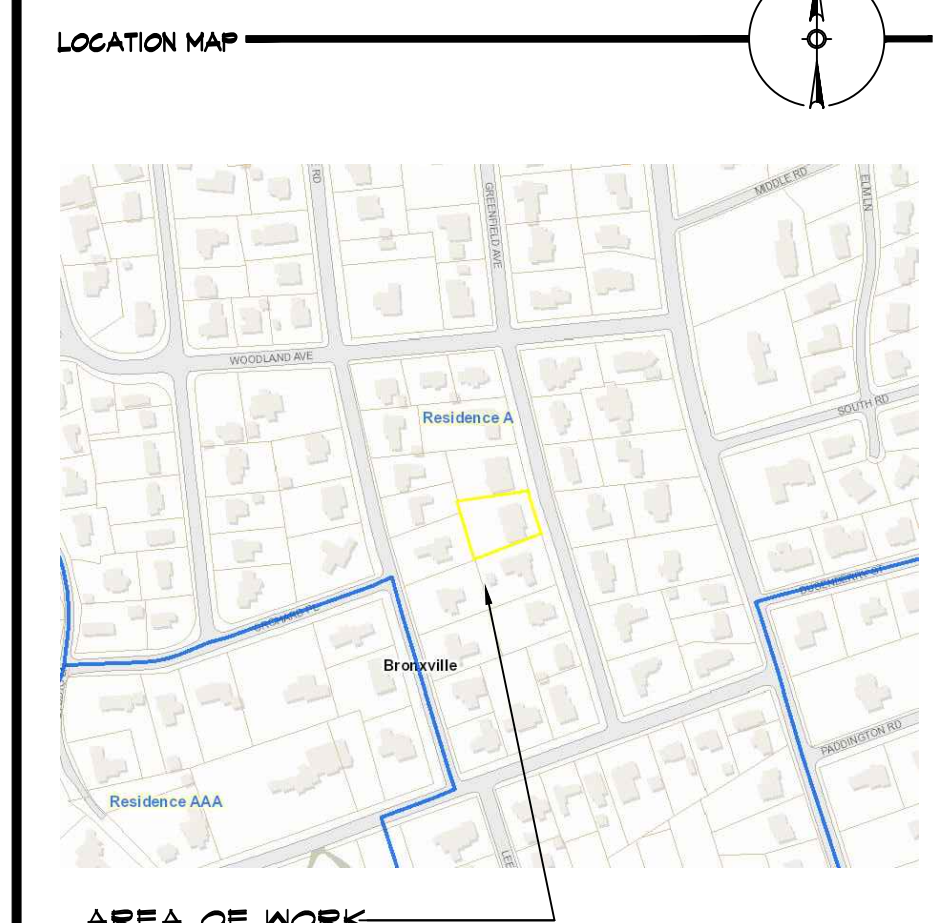
PROJECT
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DRAWINGS TITLE
 PROPOSED FIRST FLOOR PLAN

DRAWN BY S1 **CHECKED BY** NF **PROJECT NO.** 211201
DATE 04.05.22
DRAWING NO.



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NOTE:
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ZONE: RESIDENCE A SECTION/BLOCK/LOT: 17/4/4

- LIST OF DRAWINGS**
- T1 TITLE SHEET & NOTES
 - T2 GRADE CALCULATIONS
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 - A2 EXST PLANS AND EXTERIOR ELEVATIONS
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 - A7 PROPOSED EXTERIOR ELEVATIONS, REAR & LEFT
 - A8 BUILDING SECTIONS & TYPICAL SECTION DETAIL

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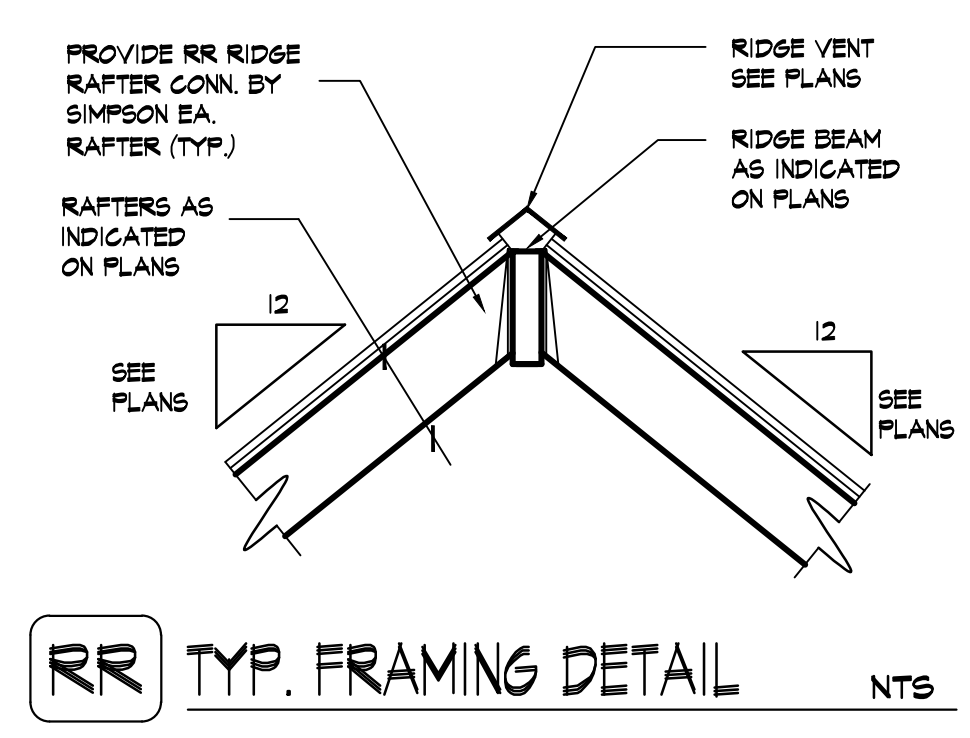
DRAWINGS TITLE
 PROPOSED SECOND FLOOR & ROOF PLAN

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SI	NF	211201
DATE	04.05.22	
DRAWING NO.	A5	



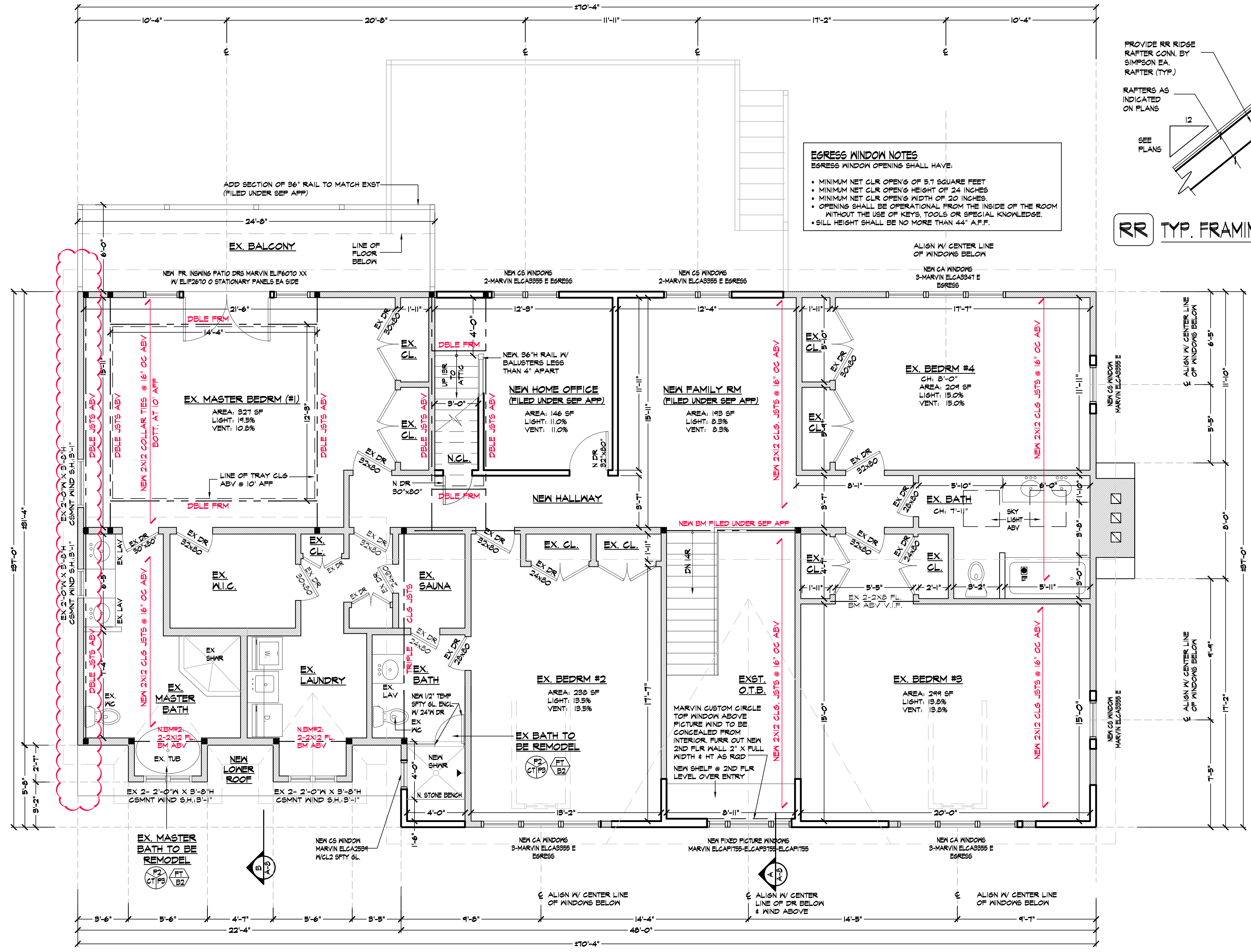
GENERAL ROOF NOTES:

- PROVIDE MIN. 18" WEATHER-MATCH SELF-ADHERING ICE-SHIELD BY GAF CORP. OR APPROVED EQUIVALENT AT VALLEYS (MIN. 18" RETURN). RETURN ICE-SHIELD MIN. 12" ON ALL VERTICAL WALLS (TYP)
- ALL COLLARS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT FOUNDATION DESIGNED TO CARRY LOAD. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT FOUNDATION DESIGNED TO CARRY LOAD.
- PROVIDE COLLAR TIES AT LOWER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BEAM AND CEILING JOISTS.
- HIP, VALLEY RAFTERS, AND RIDGE BEAMS SHALL BE ONE 2"X SIZE LARGER THAN RAFTERS OR AS OTHERWISE INDICATED ON PLANS.
- WALL AND ROOF SHEATHING: ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD, U.O.N. FOR A MAXIMUM SPAN OF 24". GAPS B/W PLYWOOD PANELS SHALL BE 1/8".
- SOLID SAWN ROOF FRAMING SIZE AND SPACING SHALL BE AS PER PLAN. ALL WOOD SHALL BE DOUGLAS FIR COMMON GRADE MIX. RIDGE/LEADER BOARD SHALL BE 2" THICK AND DEPTH SHALL BE NOT LESS THAN CUT END OF RAFTER. SOLID BLOCKING SHALL BE PROVIDED AT MID SPAN BUT SHALL NOT DISRUPT AIR FLOW.
- PROVIDE METAL CONT. FLASHING AT ALL ROOF/WALL INTERSECTIONS (TYP.)
- INSTALL NEW ALUMINUM GUTTERS AND LEADER AT ALL ROOF EDGES. GUTTER PROFILE TO BE SELECTED BY OWNER. SOLDER ALL GUTTER SEAMS AND JOINTS.
- PROVIDE DOUBLE 2X6 STRONGBACK AT MID SPAN FOR CEILING JOISTS/COLLAR TIES WITH SPAN GREATER THAN 10'-0".



EGRESS WINDOW NOTES
 EGRESS WINDOW OPENINGS SHALL HAVE:

- MINIMUM NET CLR. OPENING OF 5.7 SQUARE FEET
- MINIMUM NET CLR. OPENING HEIGHT OF 24 INCHES
- MINIMUM NET CLR. OPENING WIDTH OF 20 INCHES
- OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
- BILL HEIGHT SHALL BE NO MORE THAN 44" A.F.F.



1 PROPOSED SECOND FLOOR PLAN
 EX. SECOND FLOOR CLG. HT 8'-0" AFF UON

WALL LEGEND

ITEM	DESCRIPTION
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	EXIST. WALL OR ELEMENT TO BE REMOVED
	NEW EXTERIOR PARTITIONS: 2X4 STUDS AT 16" OC WALL WITH R15 ROCKWOOL INSULATION

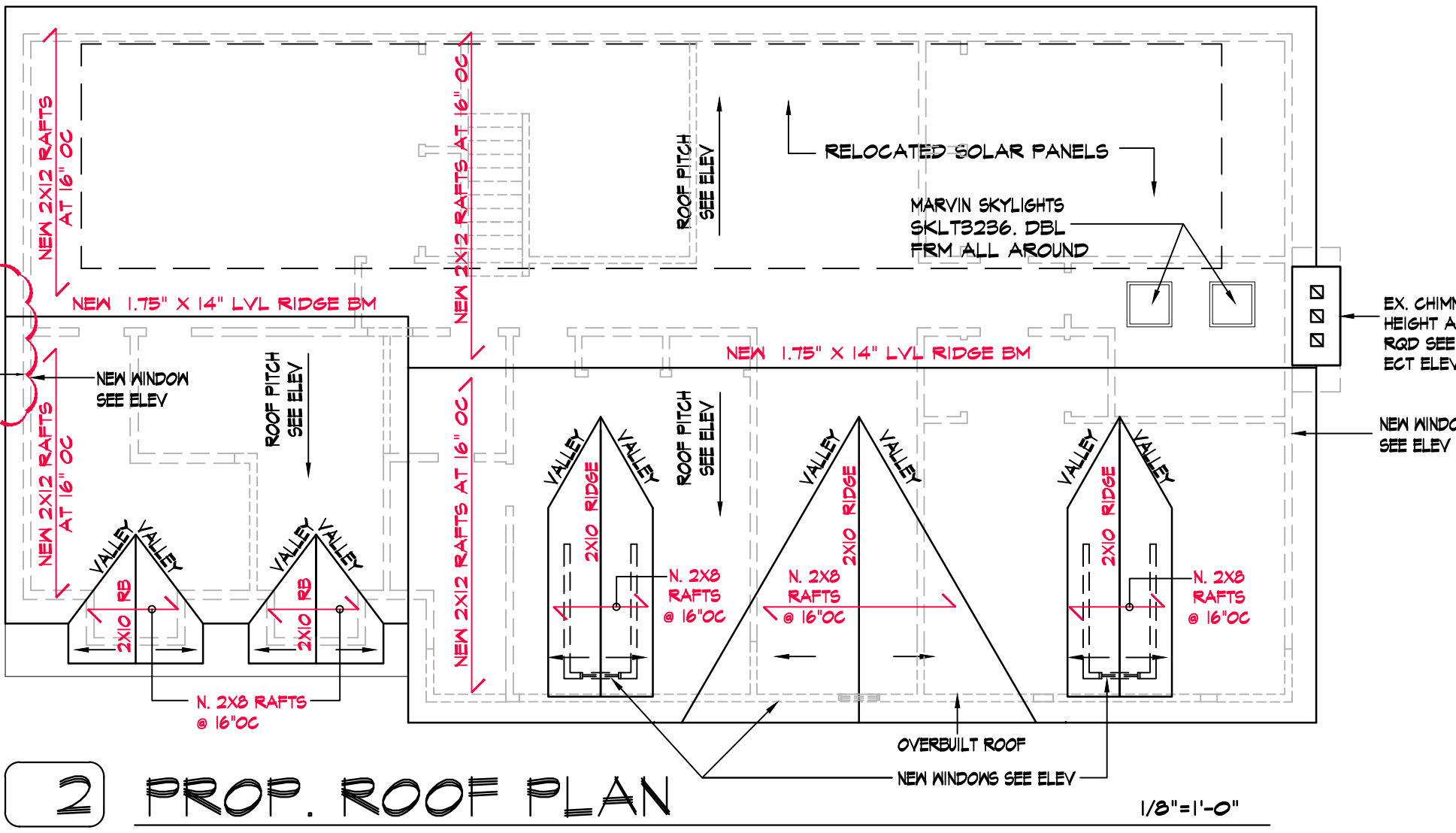
WOOD HDR. & STL. LINTEL SCHEDULE - U.O.N. SEE PLAN FOR ADDL INFO

OPENING WIDTH	WOOD HEADER SIZE
2'-0" TO 3'-11"	(2)2X10; IF HDR AT 7'-2" AFF, PROVIDE 2-2X12 FLUSH HDR
4'-0" TO 6'-0"	(2)2X12; IF HDR AT 7'-2" AFF, PROVIDE 2-2X12 FLUSH HDR
6'-1" TO 9'-0"	IF HDR AT 7'-2" AFF, PROVIDE (2) 1-8/4"x11-1/4" 2.0E PL. LVL HDR

FRAMING LEGEND:

- ☒ DENOTES SOLID STUDS FROM ABOVE. PROVIDE SOLID BLOCKING UNDER.
- DENOTES SOLID STUDS AT FLOOR LEVEL. GC TO PROVIDE 1/4" OR VERIFY SOLID BLKING UNDER STUDS TO TRANSFER LOAD TO FTGS.

NOTE:
 PROPOSED ATTIC AREA WITH CEILING HEIGHT GREATER 8FT= 123) SF
 PROPOSED SECOND FLOOR AREA = 2501 SF
 123/2501 = 4.92%; THEREFORE ATTIC IS NOT CONSIDERED A STORY



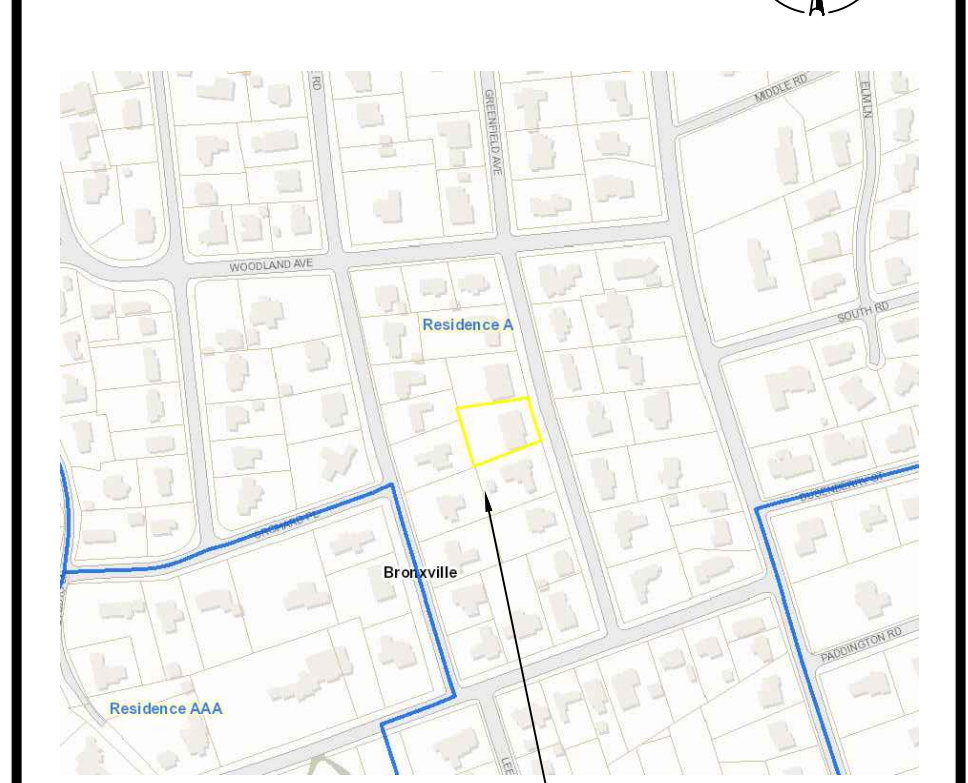
2 PROP. ROOF PLAN

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LOCATION MAP



AREA OF WORK

NOTE: Drawings may be printed at reduced scale

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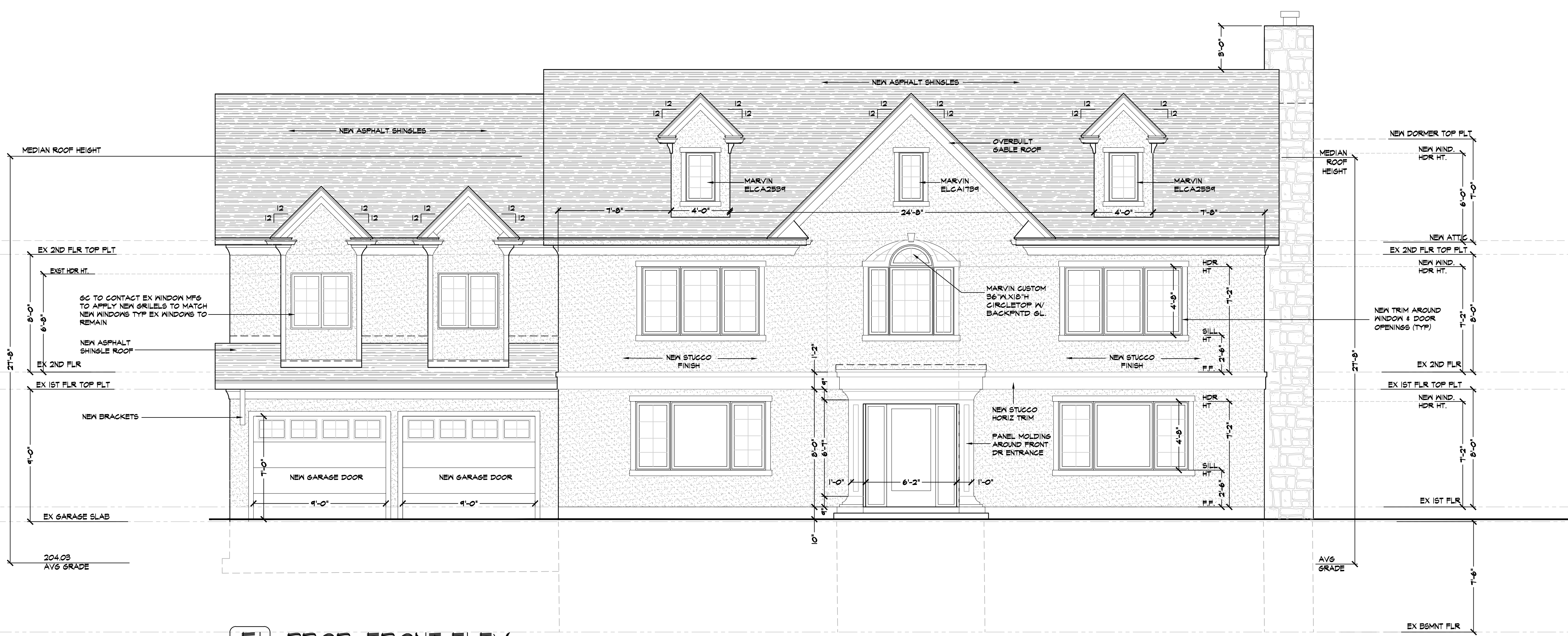
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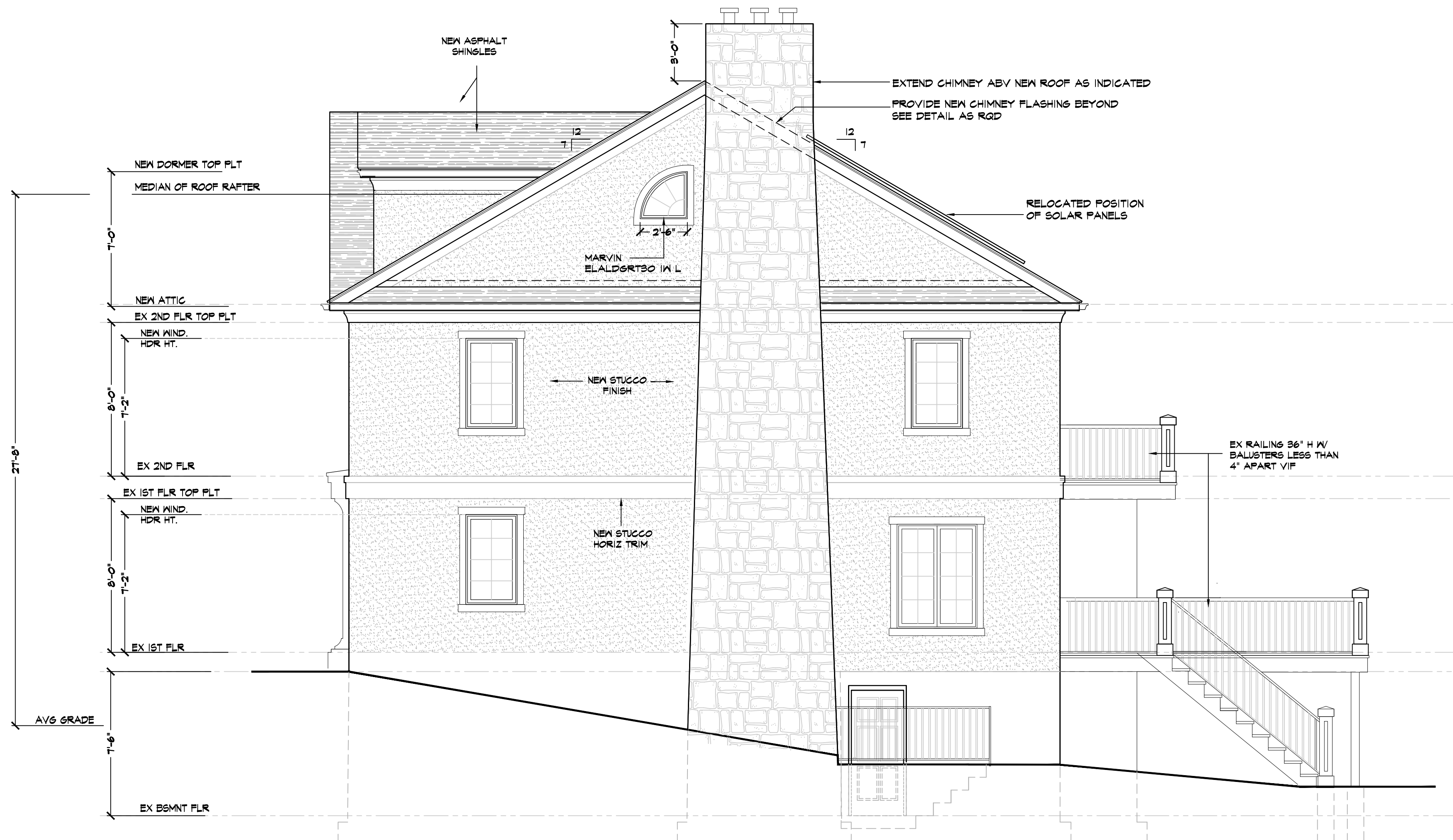
DRAWINGS TITLE

PROPOSED ELEVATIONS

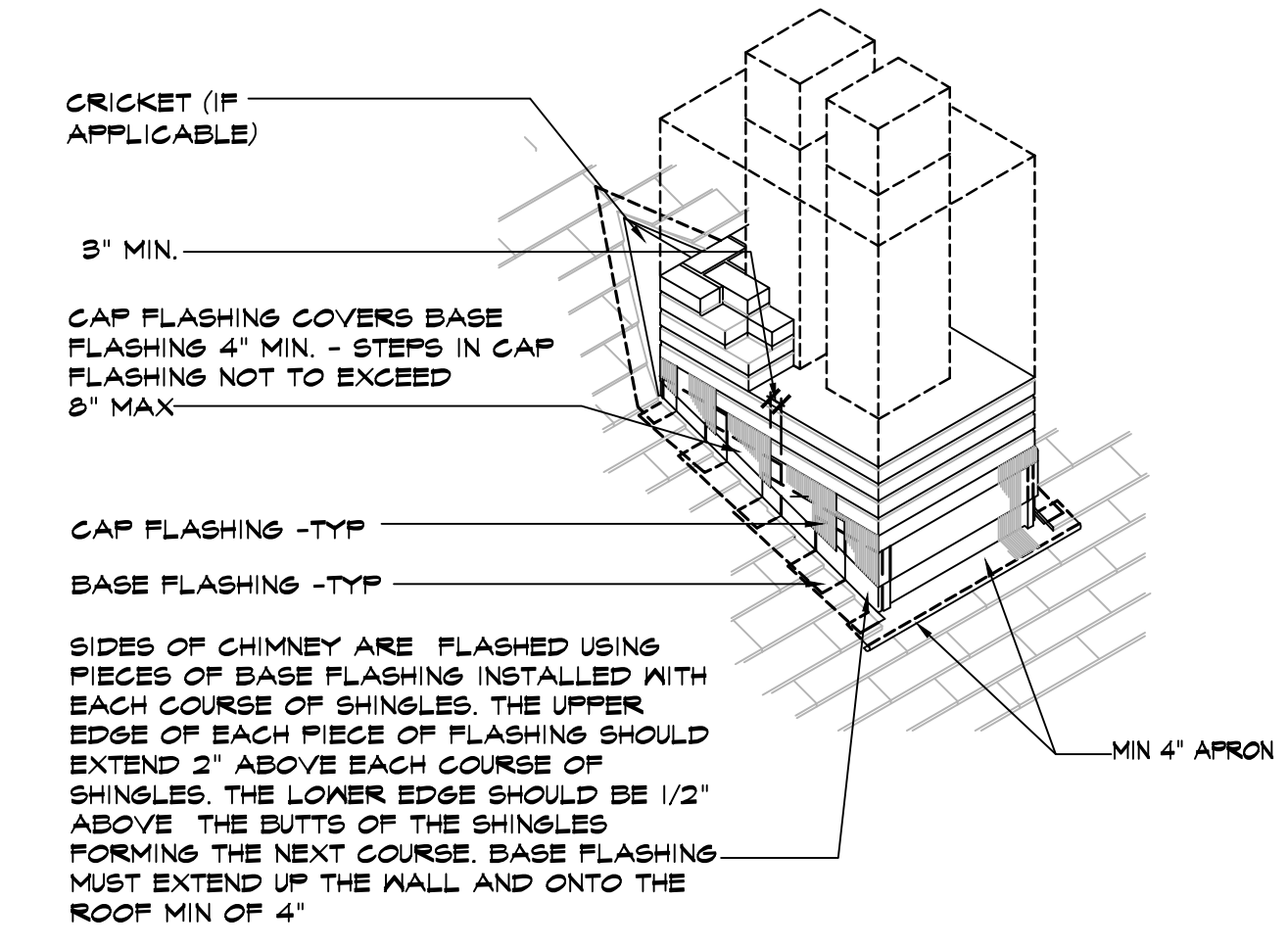
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E1 PROP. FRONT ELEV. 1/4"=1'-0"



E2 PROP. RIGHT ELEV. 1/4"=1'-0"



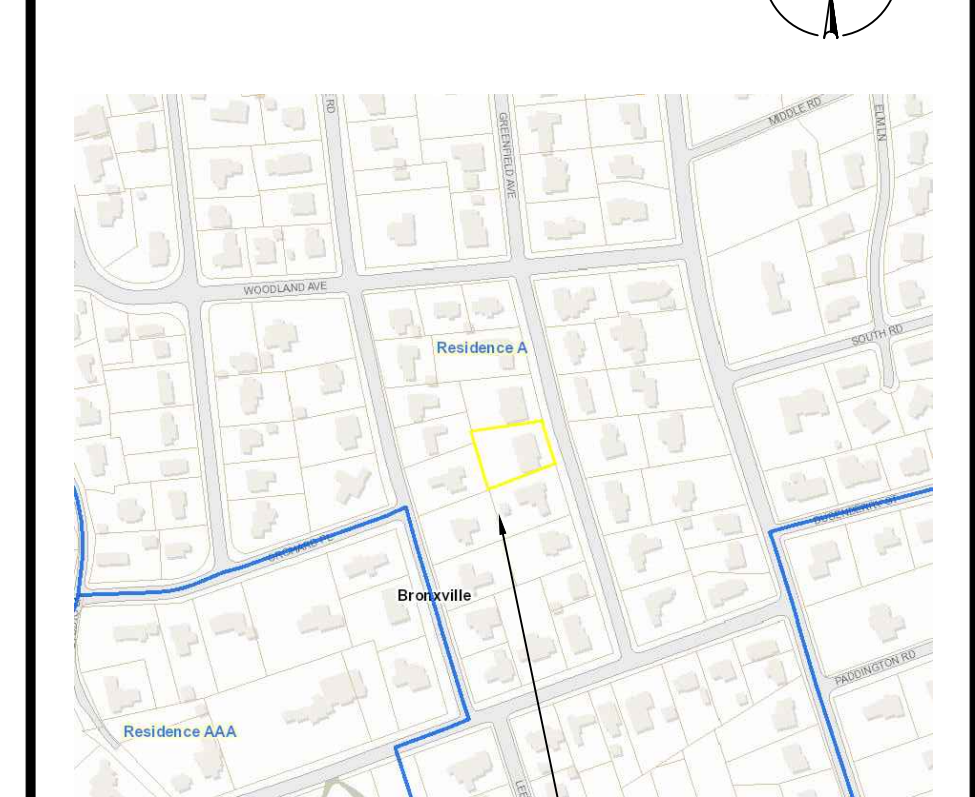
B TYP. CHIMNEY FLASHING DETAIL NTS

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LOCATION MAP



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DRAWINGS TITLE

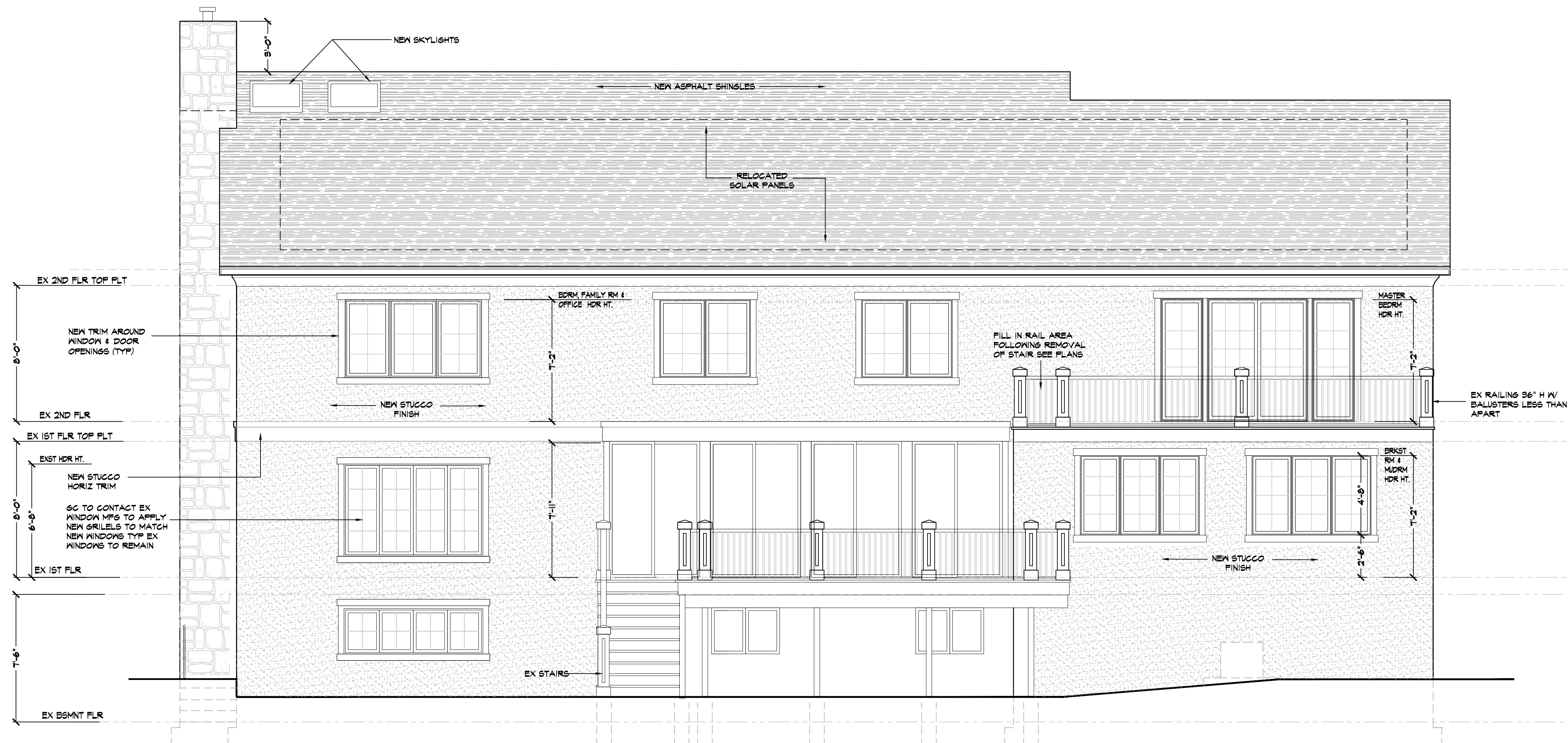
PROPOSED ELEVATIONS

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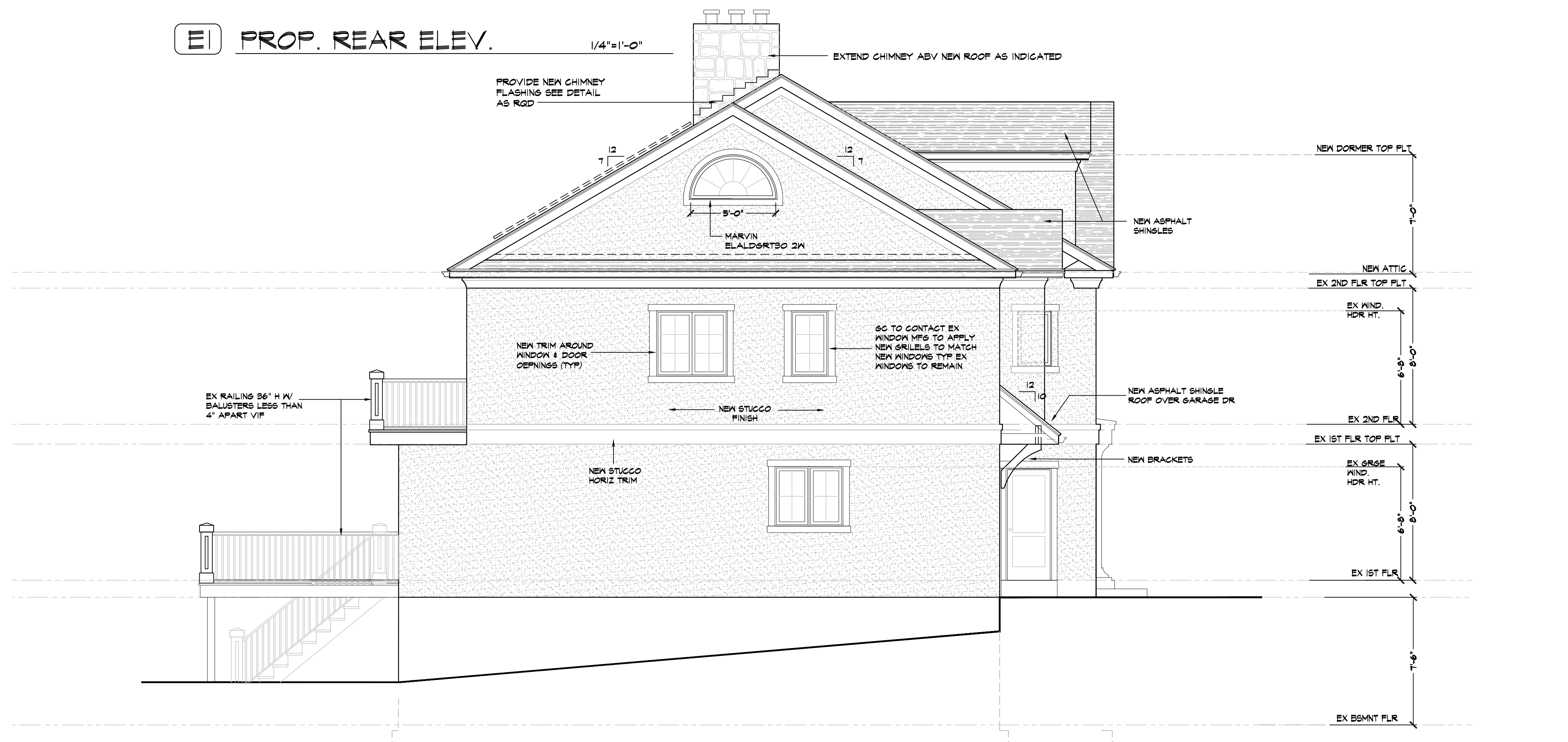
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04.05.22	



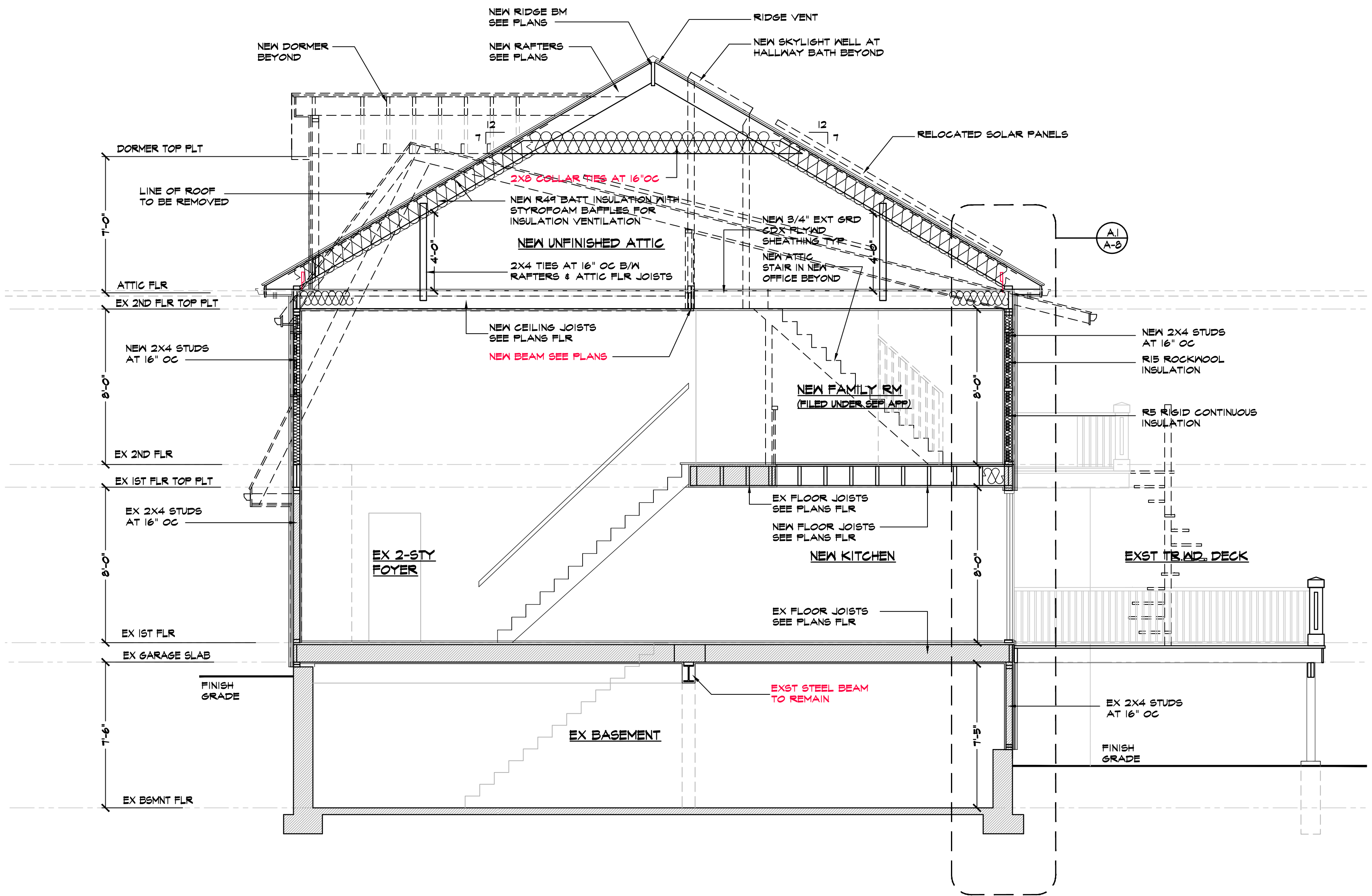
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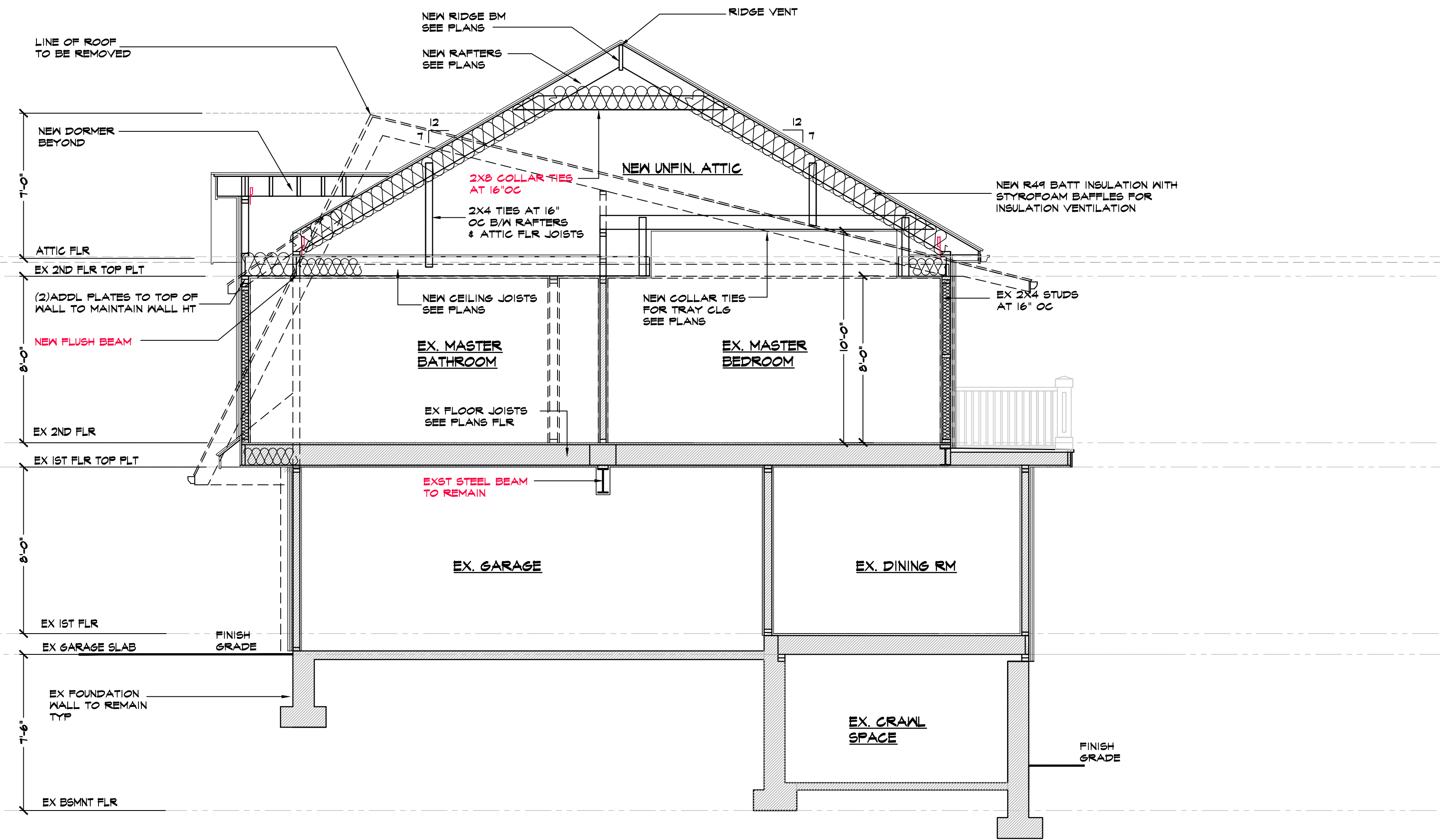
E1 PROP. REAR ELEV. 1/4"=1'-0"



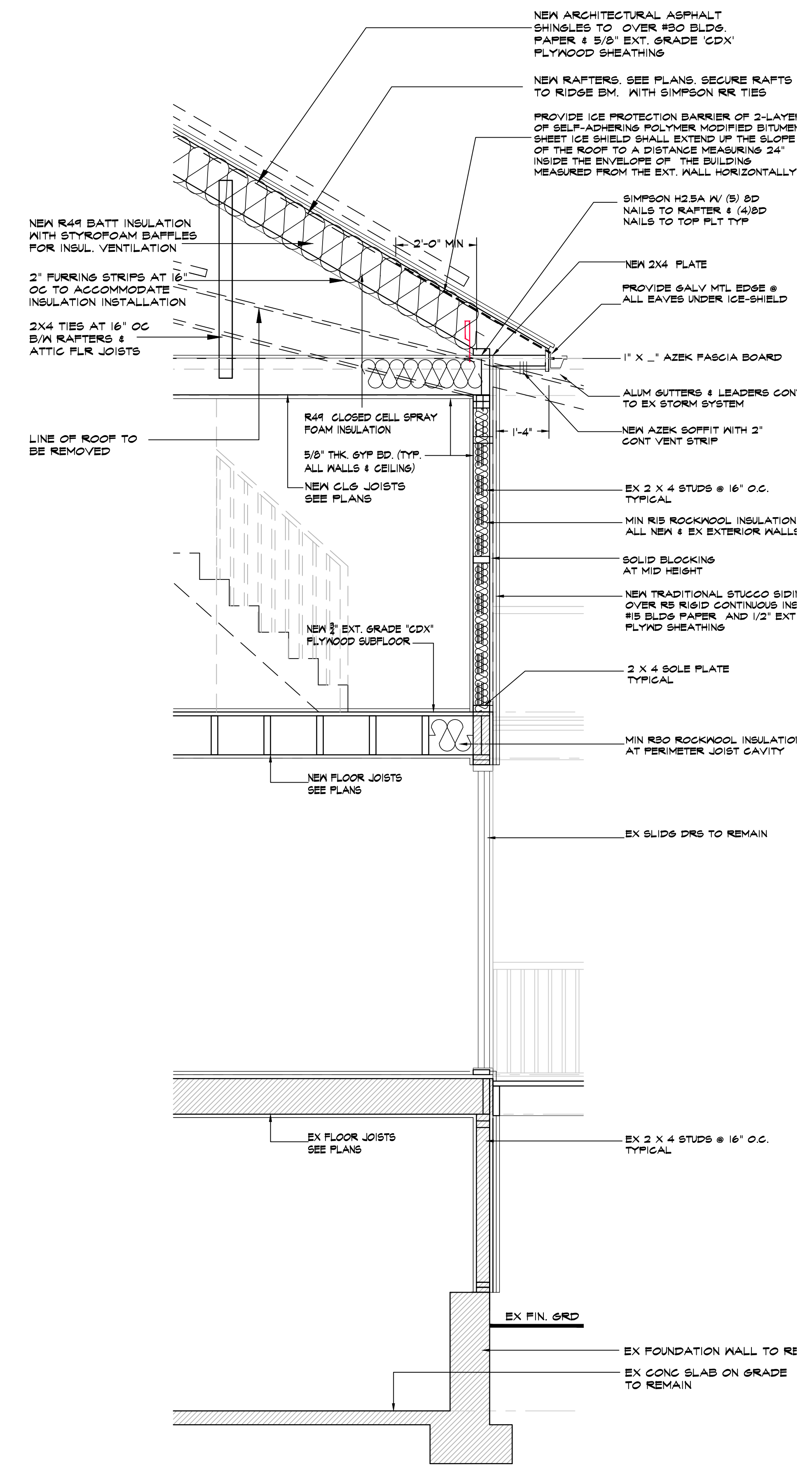
E2 PROP. LEFT ELEV. 1/4"=1'-0"



A PROPOSED CROSS SECTION DETAIL 1/4"=1'-0"

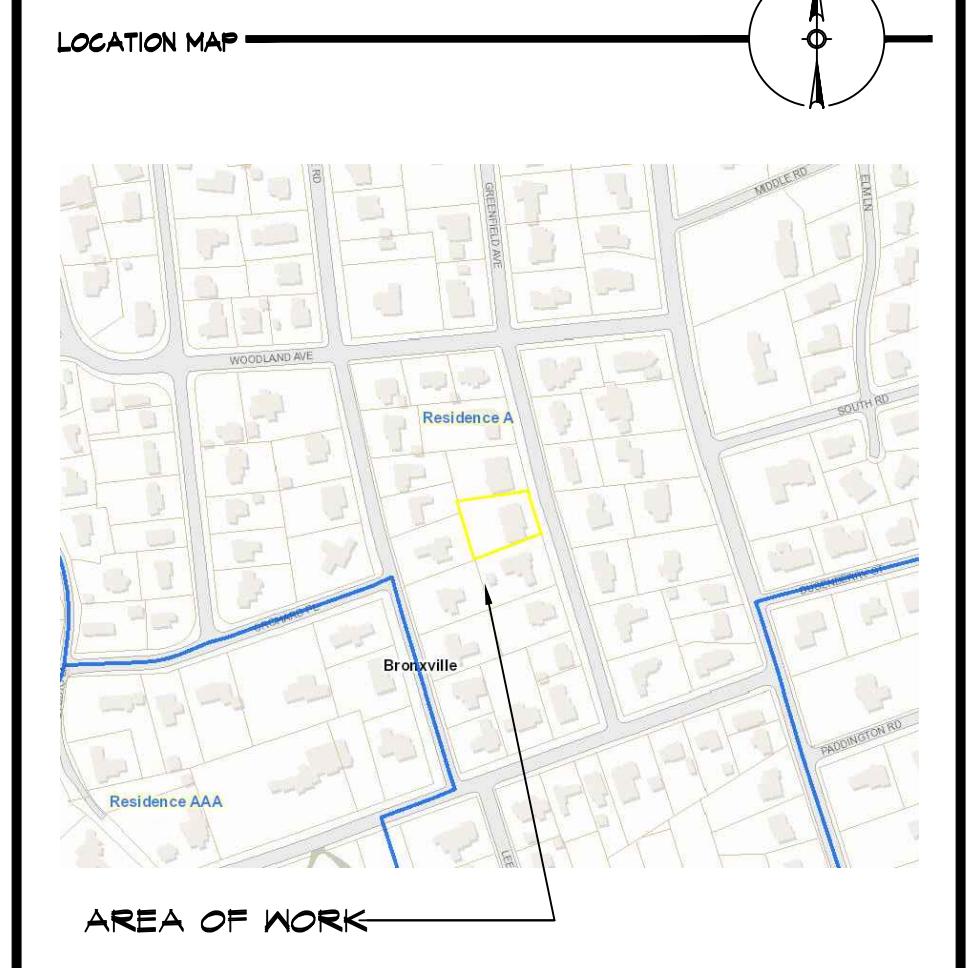


B PROPOSED CROSS SECTION DETAIL 1/4"=1'-0"



A.1 TYP SECTION DETAIL 1/2"=1'-0"

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ZONE: RESIDENCE A SECTION/BLOCK/LOT: 17/4/4

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DRAWINGS TITLE
 PROPOSED SECTIONS

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