Village of Bronxville

Site Development Application

	Address: 17 Gree				10/08		
ection: 17	Block: 4		_ Lot(s):	.4		Zone: RES	Α
. 14	By: Nicholas L	Faustii	ni Archi	tect P.C			
lans Prepared Address: 6 Bu		. i dustii	II / II OI II	1001, 1 .0.			
city: Hartso				State: NY	71	p: 10530	
hone #. 914	.329.1518			Email. nf	austini@nlfa	architect.com	
none #.		1111		Linaii	114		To the
wner: Mich	elle Adebot			112			
and the second s	Greenfield Ave						
ity: Bronx	ville	. 0		State: NY	Zi	_{p:} 10708	
	.520.4552			Email:	wilfredoalde	bot@gmail.co	m
Coning Distric	et: RES-A						
Coning Varian	nces Required: No		No				
oning Varian	or Federal Permits	Required	. No	formili va a	donas		
Coning Varian County; State	nces Required: No	Required	. No single	family res	dence		
Coning Varian County; State Proposed use(or Federal Permits s) of site: R-3 De	Required etached	single			a ronlocod with	
coning Varian County; State Proposed use("Remove a	or Federal Permits	Required	single the traditi	onal style ga	ble roof, siding		
oning Varian county; State roposed use("Remove a stucco, rep to more tha	or Federal Permits s) of site: R-3 De nd replace roof statement of winder	Required etached ructure with tows. VOB mily dwel	single ith traditi	onal style ga	ble roof, siding	s required due	
coning Varian County; State Proposed use("Remove and stucco, reputo more that	or Federal Permits s) of site: R-3 Denote the replace roof state accement of windows.	Required etached ructure with tows. VOB mily dwel	single ith traditi	onal style ga	ble roof, siding	s required due	
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coning Varian County; State Proposed use("Remove and stucco, reputo more that altered (ma	or Federal Permits s) of site: R-3 De nd replace roof stracement of window 50% of a one faterial alteration).	Required etached ructure wi ows. VOB mily dwel	single ith traditi Municipa lings fron	onal style ga	ble roof, siding	s required due	
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Coning Varian County; State Proposed use("Remove and stucco, reputo more that altered (ma	or Federal Permits s) of site: R-3 De nd replace roof statement of winder	Required etached ructure wi ows. VOB mily dwel	single ith traditi Municipa lings fron	onal style ga	ble roof, siding	s required due	
Coning Varian County; State Proposed use("Remove and stucco, reputo more that altered (ma	or Federal Permits s) of site: R-3 De nd replace roof stracement of window 50% of a one fatterial alteration).	Required etached ructure wi ows. VOB mily dwel	single ith traditi Municipa lings fron	onal style ga	ble roof, siding 6 D (1) (b) [c] exterior wall	s required due	

Current condition of site: (Building; Brush; ect.)	
stimated cost of proposed improvements: \$ \$200,000	
anticipated increase number of Residents; Shopper; Employees; ect. N/A	
Describe proposed use, including primary, secondary uses; ground floor area; height; number of tories for each building. Attach additional 8 1/2" x 11" sheets if required.	
For residential buildings include number of dwelling units by size.	
For non-residential building include total floor area; sales areas; number of automobile and truck poaces.	arking
Other proposed structures (including shed; garages; ect.)	
Proposed use: single family detached residence (one dwelling unit)	
Existing ground floor area: 2038 SF	
Existing building height: 2 stories/25.2 ft	
Proposed building height: 2.5 stories/27.6 ft	
	i.
	•
Owners Name: Michelle Aldebot	
Owners Signature: 4 Michelle 4 alder Date: 5 25 2022	

VILLAGE OF BRONXVILLE PLANNING BOARD MEETING ANOUNCEMENT NOTICE OF PUBLIC HEARING

by the Planning ville, N.Y. on
atter may be
_
erty located at:
08
ed site plan and all ble for public e hours of 9:00 am or Village Hall,
en reasonable levant to the oplication. The the Planning
a Alalalaat
e Aldebot
Ave, Bronxville, NY 10708
Developer)

<u>VILLAGE OF BRONXVILLE DESIGN REVIEW COMMITTEE MEETING ANOUNCEMENT NOTICE OF PUBLIC HEARING FOR ADJOINING PROPERTIES</u>

	BY GIVEN that a pub onxville at 200 Pondf		held by the Design Review Committee
			er as the matter may be heard,
(Date)			
to consider an a	pplication for the	development fil	ed by:
	Michelle Ald	ebot	
-	(Nan	ne of Developer)	
Requiring approv	val of a site plan o	of property locat	ed at the property located at:
	17 Greenfield	Ave, Bronxvi	lle, NY 10708
35	(Prop	perty Address)	
Section 17	, Block <u>4</u>	, Lot 4	
and documents file the hearing on the	d therewith, is on file	and available for swebsite: www.vi	roposed site plan and all other maps public inspection one week prior to illageofbronxville.com/design-review-n person.
present oral comme presentation releva	ents or written prese	ntation relevant to The hearing may	be given reasonable opportunity to the application. The hearing may be be adjourned from time to time at the
			Michelle Aldebot
			(Name of Developer)
			17 Greenfield Ave, Bronxville, NY 10708
			(Address of Developer)

AFFIDAVIT OF MAILING FOR ZONING AND PLANNING BOARD

Name and Location of Project: The Aldebot Residence	
17 Greenfield Ave, Bronxville, NY 10708	
Section 17 , Block 4 , Lot(s) 4	
Michalla Aldahat	eing duly sworn, depose and say as follows:
1. I am the agent, owner or legal representative of the r	referenced property.
2. I have prepared a list of property owners located with	nin 100 feet for Zoning and 400' for Planning of
the boundaries for of the referenced property, by street	address and section, block and lot.
3. I have sent, by certificate of mailing, a copy of the leg	gal notice to each and every property owner
within 100 feet of the boundaries of the referenced prop	perty.
4. I have published the legal notice in a newspaper of g	general circulation in the Town of Eastchester on
, 20, no less than 10 d	lays prior to a Planning Board or Zoning Board of
Appeals meeting.	
5. I have attached the affidavit of publication from the p	ublisher of the newspaper.
6. I understand that I must bring this signed and notariz certificate of mailing receipts, to the Planning and Zonir	
Michelle Aldebot	
(print name) Muchelle Faldat	
(signature)	
Sworn to me this 25 day of MAY Burn Ry Dreward	, 20 ERUCE ROY GREENWALD NOTARY PUBLIC, State of New York No. 03-6659215 Qualified in Bronx County Commission Expires Oct. 21, 20

This document must be submitted to our office along with "green receipts" one week prior to meeting date.

ESCROW AGREEMENT FOR PROFESSIONAL CONSULTATION FEES

The undersigned does hereby agree to the following:

1.	(we) am (are) the owner(s) of premises located at the street address and identified on the tax map	s
	s noted below, for which an application is being submitted to the Village of Bronxville:	

*	Street Address	17 Greenfield Ave	, Bronxville, NY 10708
*	Section: 17	4	, Lot: 4

- 2. I understand and agree that there are certain fees for which I am responsible in conjunction with said application.
- 3. I understand that the Village Board, Planning Board, Zoning Board of Appeals and/or Design Review Board may seek the services of planning, engineering, environmental, legal, or other technical consultants or professionals as deemed necessary by the Board(s) to review my application. I will be responsible for any and all costs incurred by the Village for such consultations and professional opinions at the prevailing hourly rate agreed upon by the Village. Charges made by such consultants shall be in accord with charges usually made for such services in Westchester County. I understand that no employee of the Village or any member of the Village Board, Planning Board, Zoning Board of Appeals or Design Review Board can advise me, in advance, of what the total consulting fees might be.
- 4. Upon submission of my application, I shall provide a minimum retainer of \$5,000.00 up to a maximum initial amount as required by the Planning Board depending on the scope of proposed work, payable to the Village of Bronxville, to be held in escrow and applied toward the payment of consulting and professional fees incurred by the Village with regard to my application. When the balance of the escrow account is \$2,500.00 or less, I shall deposit additional retainer funds into the escrow account so that the minimum balance in said account is never less than \$5,000.00. Upon request, the Village shall provide me with a statement indicating expenses incurred and the amount of monies withdrawn from said account.
- 5. I understand that if I withdraw my application prior to any action being taken by the Village Board, Planning Board, Zoning Board of Appeals or Design Review Committee, I am still responsible for any expenses incurred by the Village with regard to my application prior to such withdrawal.
- 6. I understand that if at any time the minimum balance in said escrow account falls below \$1,000.00 and is not replenished prior to the next scheduled meeting on the application, the Village Board, Planning Board, Zoning Board of Appeals and/or Design Review Committee may suspend the review of my application and/or the Village Engineer may refuse to issue permits and/or certificates with regard to the premises, unless the Village has been advised by the consultant that no additional charges will accrue.
- 7. I understand that when it has been determined by the Village that all final charges against the escrow account established for my application have been paid, the remaining balance in the account, if any, shall be returned to the owner.

- 8. I understand that if there are still outstanding consulting fees relative to my application at the termination of the review process, the Village will pursue all legal options to retrieve such fees.
- 9. I understand that the imposition of escrow account fees are in addition to, and not in place of, other fee schedules currently in force.
- 10. All correspondence from the Village regarding the escrow account established for my application shall be addressed to:

Address:	17 Gree	enfield Ave
City:	Bronxvil	lle
State:	NY	_{Zip:} 10708
Phone:	917.520	
Fax:		
Email:	wilfredo	aldebot@gmail.com
Michelle (OWNER (signature)	Follacto	OWNER (signature)
Michelle A	ldebot	
OWNER (print name)	OWNER ([print name)
Dated:	<u></u>	Dated:

Michelle Aldebot

Name:

Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information					
Name of Action or Project:					
The Aldebot Residence					
Project Location (describe, and attach a location map):					
17 Greenfield Ave, Bronxville, NY 10708					
Brief Description of Proposed Action:					
Proposed interior and exterior alterations & new roof design for existing detached single	family re	sidence.			
Name of Applicant or Sponsor:	Teleph	ione: 914.329.1518			
Nicholas L. Faustini Architect PC	E-Mai	l: nfaustini@nlfarchitect.	.com		
Address: 6 Burns Street					
City/PO:		State:	_	Code:	
Hartsdale		NY	1053	30	
Does the proposed action only involve the legislative adoption of a plan, leadministrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and may be affected in the municipality and proceed to Part 2. If no, continue to	the envi	ironmental resources t	hat	NO 🗾	YES
2. Does the proposed action require a permit, approval or funding from any	other go	vernmental Agency?	ĺ	NO	YES
If Yes, list agency(s) name and permit or approval: Building Dept					V
3.a. Total acreage of the site of the proposed action?	0.3	8 acres			I
b. Total acreage to be physically disturbed?	0.0	o acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	0.3	8 acres			
4. Check all land uses that occur on, adjoining and near the proposed action ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Comm ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (☐ Parkland ☐ Communication ☐ Co	ercial	☑Residential (suburt	ban)		

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?		~	
b. Consistent with the adopted comprehensive plan?		V	
6. Is the proposed action consistent with the predominant character of the existing built or natural		NO	YES
landscape?			~
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Al If Yes, identify:	rea?	NO	YES
- Tes, identify.		~	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
b. Are public transportation service(s) available at or near the site of the proposed action?			
			~
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed ac	tion?		/
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:		NO	YES
			~
10. Will the proposed action connect to an existing public/private water supply?		NO	YES
If No, describe method for providing potable water:			
11. Will the proposed action connect to existing wastewater utilities?		NO	YES
If No, describe method for providing wastewater treatment:			
11 Tvo, describe method for providing wastewater deathert.			
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic		NO	YES
Places? b. Is the proposed action located in an archeological sensitive area?		'	
b. Is the proposed action rocated in an archeological sensitive area.		'	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	n	NO	YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		/	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:			Ш
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check a	all that	annly:	
Shoreline Forest Agricultural/grasslands Early mid-successi		appiy.	
☐ Wetland ☐ Urban ☑ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed		NO	YES
by the State or Federal government as threatened or endangered?		~	
16. Is the project site located in the 100 year flood plain?		NO	YES
17 Will de		V	VEC
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		NO	YES
a. Will storm water discharges flow to adjacent properties?			
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drain If Yes, briefly describe:	ns)?		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain purpose and size:		
	~	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	V	
		Ш
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:		
		Ш
I AFFIRM THAT THE INFORMATION PICOVIDED ABOVE IS TRUE AND ACCURATE TO THE	BEST O	F MY
KNOWLEDGE		
Applicant/sponsor name: Date: 05.25.22		
Signature: Nicholas L Faustini RA		

VILLAGE OF BRONXVILLE

Department of Buildings 200 Pondfield Road (914) 337-7338 (914) 337-0158 (Fax)

PLAN REVIEW COMMENTS

APPLICATION NUMB: ALT 071-22 **DATE RECEIVED**: April 8, 2022

LOCATION: 17 Greenfield Avenue

SBL: 17./4/4

APPLICANT NAME: Davies, Margarete

APPLICANT ADDRESS: 17 Greenfield Avenue

Bronxville, NY 10708

DESCRIPTION OF WORK: Proposed interior & exterior alteration.

DISAPPROVED May 13, 2022, FOR THE FOLLOWING:

Your revised application for a permit on the above location has been reviewed and a permit may not be issued at this time for the reasons indicated below.

ZONING CODE REVIEW (Section Numbers refer to Village Code of 1981)

Zoning Review ALT 071-22 17 Greenfield Avenue Exterior Alterations

- 1) Village of Bronxville Municipal Code 310-26 D (1) (b) [c] is required to be complied with. Referral to planning board is required
- 2) Proposed work complies with area bulk requirements. Building coverage is pre-existing non-conforming, with no change proposed. FAR is compliant

This document constitutes a final administrative determination by the Building Inspector denying your application for the reasons set forth above. Section 7-712(a) of the New York State Village Law provides that any appeal of this decision must be filed within 60 days of the date hereof with the Zoning Board of Appeals of the Village of Bronxville.

APPLICATION REVIEW

Summary Project Statement required immediately. Once your plans do get approved we will need contractor's information, license and insurances, plumbing, electrical and mechanical, and 2 additional set of plans.

PLAN REVIEW

Plan review to be performed upon approval of planning board application

Paul Taft

Building Inspector

VILLAGE OF BRONXVILLE Department of Buildings 200 Pondfield Road (914) 337-7338 (914) 337-0158 (Fax)

Resubmission/Correction Sheet Fee: \$100

APPLICATION NUMB: ALT 071-22

DATE RECEIVED: May 13, 2022

LOCATION: 17 Greenfield Avenue

SBL: 17./4/4

Comment #	Description	Sheet #
1	Scope of work provided describing full extent of work. Previously scheduled interior work has been filed under a separate permit on 05.25.22	T1
2	DRC/PB Application to be submitted separately for Improvements to Front Exterior Façade	
3	Building Coverage Worksheet Calculations provided .	Т2
4	Existing elevations updated to include dimensions	A2
5	Existing Second floor south east corner of wall is non-conforming at 14.9. No change is proposed to this wall. We proposed a gable end wall for the roof above and have updated the drawings to indicate that such wall shall be setback by 1" to comply with the 15ft setback rqmnt	
6	FAR Worksheet Enclosed & calcs included on sheet T1	T1

Attach additional sheets as required

GENERAL EXTERIOR WORK:

- 1. Removal of existing second floor ceiling joists & roof rafters and replace with new ceiling joists and traditional style gable roof installation
- 2. New roof to include (2) new dog-house dormers and overbuilt gable roof
- 3. Exst first floor and second floor front walls to remain. Construct new second floor walls (new walls: 29.1ft of total front width 70.2ft = 41.4%). Exst front master suite walls shall remain (behind exst roof to be removed)
- 4. Existing siding to be replaced with new stucco finish all sides
- 5. No addition to building footprint proposed
- 6. No site work proposed

FIRST FLOOR WORK

1. Replace windows at front , side & rear as indicated on plans

SECOND FLOOR INTERIOR WORK

- 1. New home office and family room to be located at former dbl ht gallery space (filed under sep app)
- 2. Remodel bedroom #2 on suite bath shower
- 3. Bedroom #2, #3 and foyer to be expanded as a result of connecting from dormers
- 4. Replace windows at front , side & rear as indicated on plans
- 5. Infill double height gallery space

BUILDING PERMIT APPLICATION

	Appl	ication Number:					
l σ	Check #: [Permit Fee:	Check #:				
		$\neg \neg \neg$		1			
	Alteration: X Elevator:		ndows: Retaining Wall:				
	X - Roof Change		Block: 4Lot(s): 4	ļ ———			
1) Project Street Address:17	Greenfield Ave , Bronxvil	e, NY 10708					
Property Owner: Michelle Alde							
Owner Street Address: 17 Green	field Ave						
City: Bronxville	State: <u>NY</u>		Zip: <u>10708</u>				
Phone #: (917) 520-4552	Email: <u>mic</u>	:helle.aldebot@gm	ail.com				
2) Lessee (if any): N/A	· · · · · · · · · · · · · · · · · · ·						
Street Address:							
City:	State:		Zip:				
Phone #:	Email:						
3) Architect (if any): Nicholas L.	Faustini Architect PC						
Street Address: 6 Burns St							
City: Hartsdale	State: NY		Zip: _10530				
Phone #: (914) 329-1518	Email: _ ^{nfa}	ustini@nlfarchitect	com				
4) Professional Engineer (if any	y): <u>N/A</u>						
Street Address:							
City:	State:		Zip:				
Phone #:	Email:						
5) Builder or Contractor: TBD							
Address:							
Street Address:		· · · · · · · · · · · · · · · · · · ·					
City:	State:		Zip:				
Office Phone #:		Cell Phone:					
Estimated value of proposed w	ork : (Please round up to	the nearest thousar	nd) \$ 200,000				
Description of Proposed Project	Proposed Interior & E	cterior Alterations	& New Roof Design				
"Remove and replace roof structure with traditional style gable roof, siding replaced with stucco, replacement							
of windows. VOB Municipal Code 310-26 D (1) (b) [c] is required due to more than 50% of a one family dwellings front yard facing exterior wall proposed to be altered (material alteration)."							
	, ,	,	,	_			
-				_			

Zoning F.A.R. Calculation

	EXISTING	PROPOSED	SUB TOTAL
BASEMENT ^(b)	1677.0	1677.0	0.0
1 ST FLOOR	2038.0	2038.0	2038.0
2 ND FLOOR	2420.0	2501.0	2501.0
3 RD FLOOR ^(d)	N/A	N/A	N/A
ATTIC (d)	N/A	N/A	N/A
GARAGE (c)	553.0	553.0	153.0
A	CTUAL TOTAL BUILDI	NG FLOOR AREA =	4692.0
	16346.0		
PERMITT	0.3065		
	(ACTUAL LOT AREA X	PERMITTED F.A.R). =	5010.04

Floor Area Ratio (for a lot whose principal use is a one or two family dwelling): The ratio of the gross floor area of all buildings on a lot to the area of the lot on which the buildings are located. For the purpose of determining the floor area ratio (FAR), all floor areas of each floor of all principal and all accessory structures on the lot shall be included. Any interior space with a floor-to-ceiling height in excess of 14 feet shall be counted twice. Notwithstanding the preceding the following shall be excluded from the calculation of floor area:

- a) The aggregate area of all unroofed structures such as decks and patios and all spaces in unenclosed porches and porticos, except that existing unenclosed porches may be enclosed and the enclosed area excluded from the FAR calculation provided that the exterior walls of the unenclosed porch and the walls of the dwelling to which the porch is attached are not relocated closer to the lot lines of the subject property than the existing unenclosed porch.
- b) The aggregate area of any cellar regardless of its use or of any basement unless it is defined as a story. See Basement definition.
- c) The aggregate area of grade level garage parking (whether attached or detached) or basement level parking, in either case, up to a maximum of 400 square feet. In those instances where an additional story is provided above a garage (whether attached or detached) such floor area shall be subject to the attic and sloping roof limitations in (d) below.
- The aggregate area of all unfinished or finished space in an attic or under a sloping roof provided that the total exterior width of all dormers does not exceed 30% of the exterior linear width of the portion of the roof upon which they are situated. The exterior linear width of the roof shall be measured from end to end at the widest point of the roof. Where the linear width of the dormers exceeds the limitation above, the total area in the attic or under the sloping roof shall be included in the calculation of FAR, except where floor area between the tow of the floor beams and the structural ceiling level is five (5) feet or less.

Calculations Prepared By:	Name (Print):_	Nicholas L	stini Architect PC
	Signature:	1/1	

Zoning Compliance Worksheet – District 'A'

Open	55% Open Space; 45 Impervious Area- Complete Chart	310-10 Н		55%	0S: 58.5% IS: 41.5%	0S: 58.5% IS: 41.5%	
FAR	Complete FAR Chart	310-10 G: 310- 22 E		0.3065	0.282	0.287	
Off street parking	Not less than 1 spaces	310-10 F		-	4	4	
Max Buildi ng cover age	23%	310- 10 E		22.5%	28.8%	28.8%	
ACC Building	no nearer to to the street	310-10 D(5)			N/A	A/N	
Paved terraces, steps, and walks	15' street line, 4' property line	310-10 D(4)		15'/ 4'	4.0	N/A	
Fence> than 6- 1/2'	same as a building	310-10 D(4)			A/N	A/N	
Rear Yard	30'	310- 10 D(3)		30'	72.7	72.7	
Side Yard Alternative	Lesser side yard reduced by 5'	310-10 D(2)			N/A	A/N	
Side Yard Corner Lot w/o	30/27'	310- 10 D(2)		30'/ 27'	N/A	A/N	
Side Yard corner lot with garage	30/15' opposite principal front/ opposite second front	310-10 D(2)		30'/15'	N/A	N/A	
Side Yard without Garage	15/27' min side yard/ second side min.	310-10 D(2)		15'27'	15.4/ 30.3	15.4/ 30.3	
Side Yard with Garage	15'	310-10 D(2)		15'	14.9	15.0	
Alt. Front Yard	a) angle of of building b) average of homes within 300'	310-10 D(1)			N/A	N/A	
Front	30'	310- 10 D(1)		30'	35.8	35.8	
Lot Depth	100'	310- 10 C		100'	94.16 148.95	148.95	
Lot Width	80'	310- 10 C	Y 10708	80'		94.16 148.95	
Lot	12000 SF	310- 10 C	xville, N	12,000	16346.0	16346.0	
Stories	2-1/2	310- 10 B	ve Bror	2.50	2.0	2.5	
Height	30' Mean Height	310- 10 B	17 Greenfield Ave Bronxville, NY 10708	30'	25.2	27.6	
District	A	310-10 A	17 Gre	A	∢	∢	
Bronxville District 'A'	Bronxville District 'A' Description of Bulk Requirements	310-10 Code Section- https://ecode360.com/9450363	Property Address:	Allowed	Existing	Proposed	Variance required = (proposed - allowed)



Classified Ad Receipt (For Info Only - NOT A BILL)

Customer: NICHOLAS FAUSTINI

Address: 6 BURNS STREET

HARTSDALE NY 10530

USA

Run Times: 1

Run Dates: 06/22/22

Ad No.: 0005291222

Pymt Method Credit Card

Net Amt: \$118.00

Zone: TJN-Westchester

No. of Affidavits: 1

VILLAGE OF BRONXVILLE DESIGN REVIEW COMMITTEE MEETING & PLANNING BOARD MEETING ANOUNCEMENT - NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Design Review Committee of the Village of Bronxville at 200 Pondfield Road, Bronxville, N.Y. on July 6, 2022 at 7:30 pm or as soon thereafter as the matter may be heard, to consider an application for the development filed by: Michelle Aldebot

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Planning Board of the Village of Bronxville at 200 Pondfield Road, Bronxville, N.Y. on July 13, 2022 at 7:30 pm or as soon thereafter as the matter may be heard, to consider an application for the development filed by: Michelle Aldebot

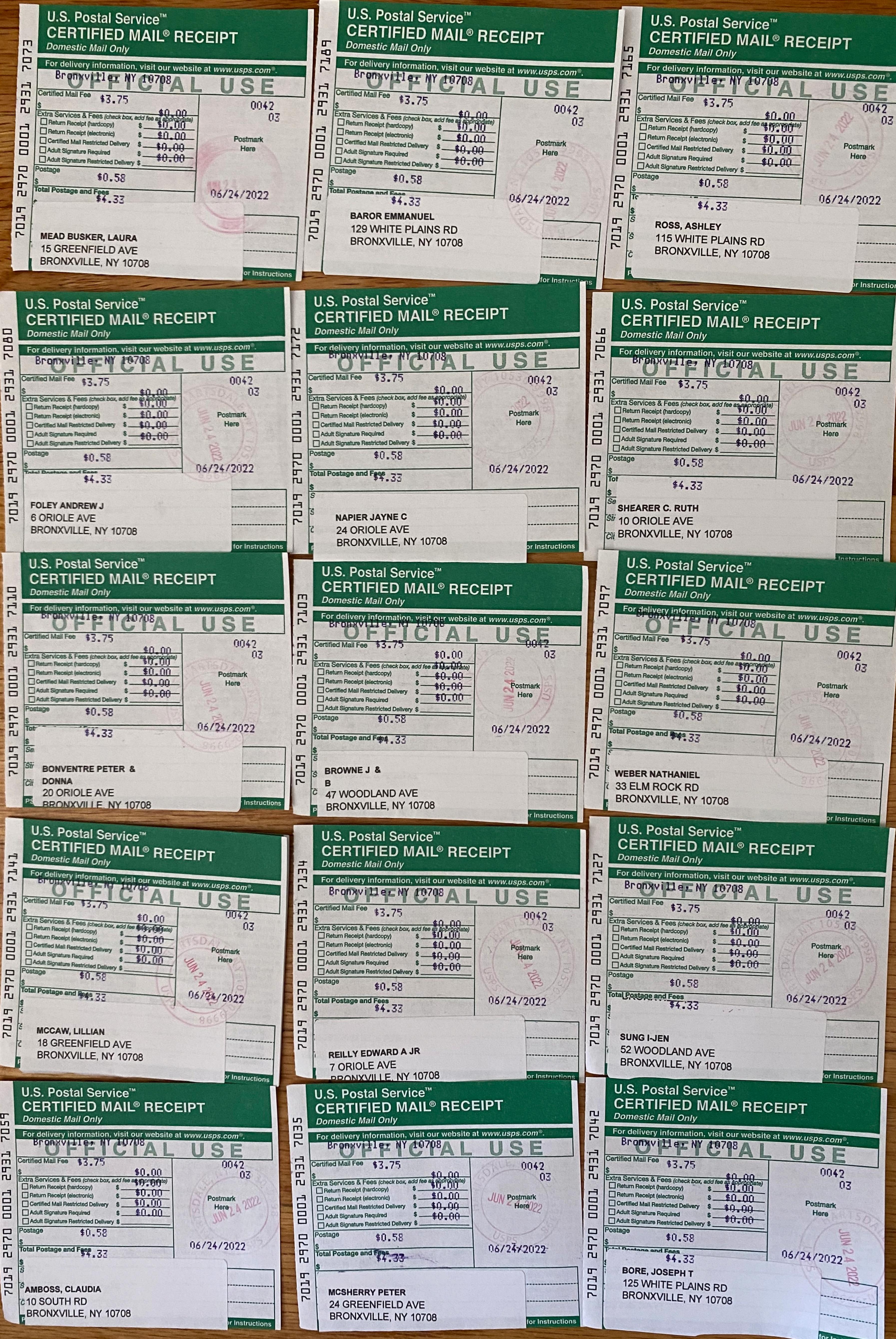
Requiring approval of a site plan of property located at the property located at: 17 Greenfield Ave Bronxville NY 10708; Section: 17., Block: 4, Lot: 4

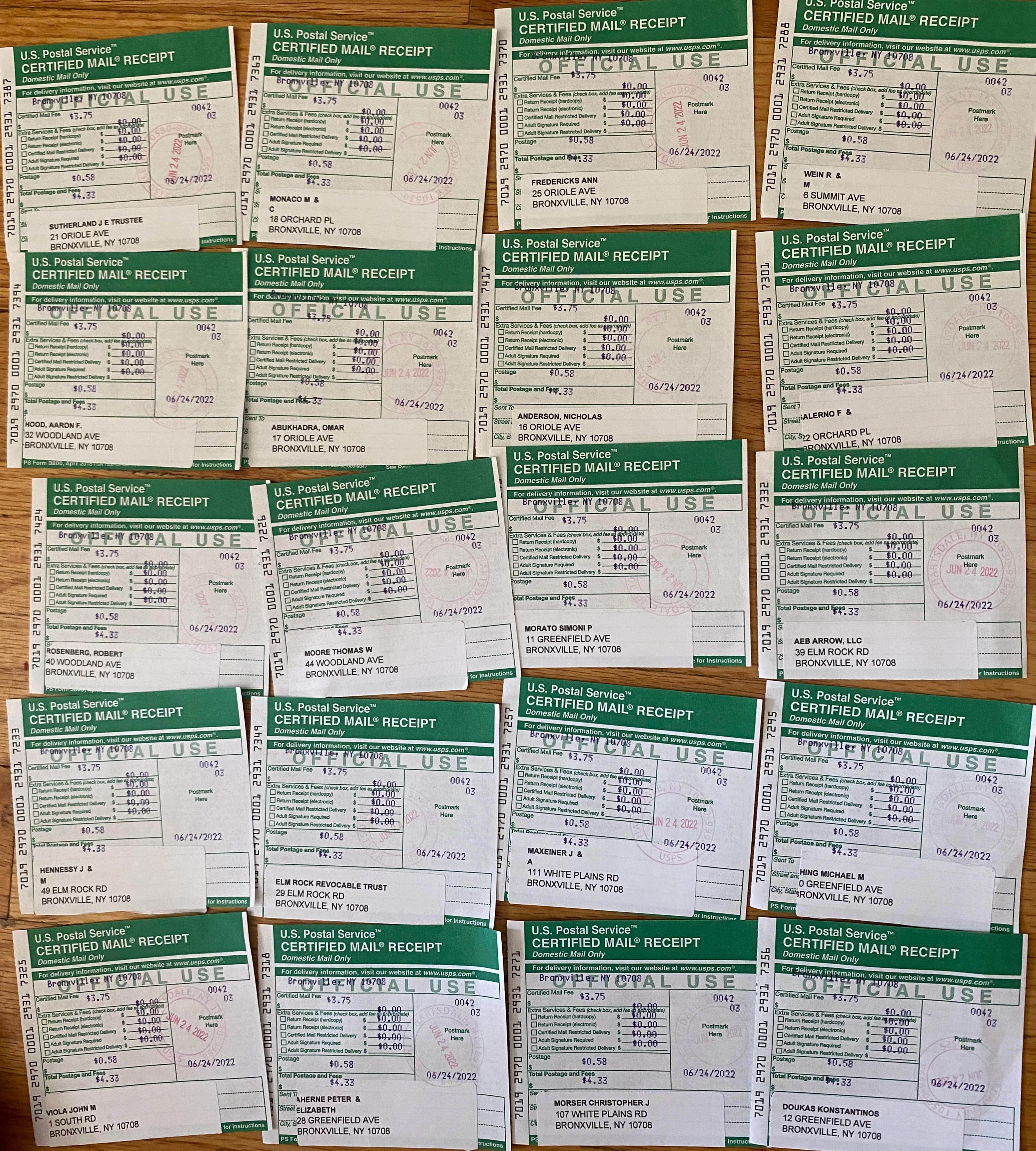
A copy of the application for development, including the proposed site plan and all other maps and documents filed therewith, is on file and available for public inspection on any business day prior to the hearing between the hours of 9:00 am and 2:00 pm at the office of Superintendent of Buildings, 2nd floor Village Hall, Bronxville, N.Y.

The Public is invited to attend the public hearings and will be given reasonable opportunity to present oral comments or written presentation relevant to the application. The hearing may be presentation relevant to the application. The hearing may be adjourned from time to time at the discretion of the DRC and /or Planning Board.

0005291222







P:\DWG Drawings\1-_49-\5-20.dwg, 11/13/2017 10:52:31 AM, magnus, \\GES-FILE\Canon iR-ADV C5030

ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF TOWN OF BRONXVILLE NY BUILDING CODE AND ZONING ORDINANCES, THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AS WELL AS ENGINEERING & FIRE DEPT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQMNTS, & THE BEST TRADE PRACTICES

2. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR OR ANY SUBCONTRACTOR(S) DOING ANY WORK UNDER THIS CONTRACT SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH BUILDING DEPARTMENT. AND SHALL BE ENTIRELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM ALL AUTHORITIES HAVING JURISDICTION ON THIS MATTER, INCLUDING BUT NOT LIMITED TO, ENVIRONMENTAL & ASBESTOS REMOVAL PERMITS, IF SO REQUIRED BY OWNER. THE OWNER SHALL BE RESPONSIBLE FOR PAYING PERMIT FEES REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND FEES REQUIRED BY ALL OTHER GOVERNMENTAL AGENCIES HAVING

JURISDICTION THEREOF 3. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS ON PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. ALL WRITTEN

MEASUREMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS 4. CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS BY ALL AUTHORITIES AND/OR GOVERNMENTAL AGENCIES HAVING JURISDICTION ON THIS MATTER, AS MAY BE NECESSARY.

5. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, AND THE ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO COMMENCEMENT OF WORK.

6. THE CONTRACTOR SHALL COMPLY WITH AND KEEP HIMSELF INFORMED OF ALL FEDERAL, STATE, MUNICIPAL AND DEPARTMENTAL LAWS, ORDINANCES, RULES AND REGULATIONS, NOTICES, ORDERS AND REQUIREMENTS. ! THE ARCHITECTURAL FIRM HAS NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR SUPERVISION. ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THE CONTENTS OF WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS ONLY. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO PLANS & SPECIFICATIONS UNLESS SPECIFICALLY AUTHORIZED BY HIM IN WRITING. ARCHITECT HAS NOT BEEN RETAINED FOR ASBESTOS INVESTIGATION. ARCHITECT IS NOT RESPONSIBLE FOR ANY KIND OF DESIGN \$ SPECIFICATIONS RELATED TO ASBESTOS PRESENCE.

8. DAMAGED WORK: EACH CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE CAUSED TO ANY WORK ON THIS PROJECT BY HIS OWN FORCES OR THOSE OF HIS SUB-CONTRACTORS, OR BY OTHERS CONNECTED WITH HIS OPERATION ON THIS PROJECT IN ANY WAY AND SHALL MAKE ALL NECESSARY REPAIRS AND REPLACEMENT OF SUCH DAMAGED WORK AT HIS EXPENSE, TO THE REASONABLE SATISFACTION OF THE OWNER. 9. SAFETY REQUIREMENTS: THE CONTRACTOR SHALL PROVIDE NECESSARY BRACING AND BARRICADES INCLUDING TEMPORARY WALKS, FENCES AND OTHER PROTECTIVE STRUCTURES TO SAFEGUARD CONSTRUCTION AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. IO. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: ELECTRICAL, PLUMBING, ETC. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR & OBTAIN INSPECTIONS AND REQ'D SIGN-OFFS. I. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

12. JOB MAINTENANCE: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES. CONTRACTORS WORKING UNDER SEPARATE CONTRACTS WILL COOPERATE IN THIS REQUIREMENT, BUT THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE REQUIRED CLEANING AND MAINTAINING OF THE SITE.

A. WASTE MATERIALS, RUBBISH, DEBRIS, BROKEN CONCRETE, PACKING CASES, ETC., SHALL BE REMOVED. B. PRIOR TO TURNING BUILDING OVER TO OWNER, REMAINING RUBBISH SHALL BE REMOVED, THE GROUND AREAS RAKED CLEAN AND THE ENTIRE BUILDING CLEANED AS SPECIFIED UNDER "CLEANING" 13. CLEANING: IMMEDIATELY BEFORE TURNING THE PROJECT OR PARTS OF SAME OVER TO THE OWNER, THE

SENERAL CONTRACTOR SHALL WASH AND CLEAN THE FOLLOWING A. REMOVE TEMPORARY PROTECTION. B. REMOVE MARKS, STAINS AND OTHER DIRT FROM PAINTED DECORATED AND FINISHED MOODWORK.

. REMOVE SPOTS, MORTAR, PLASTER, SOIL AND PAINT FROM CERAMIC TILES AND OTHER FINISH MATERIALS AND WASH OR WIPE CLEAN D. CLEAN FIXTURES, CABINET WORK AND EQUIPMENT AND LEAVE IN UNDAMAGED NEW APPEARING CONDITION.

E. CLEAN ALUMINUM AND OTHER FINISH METALS IN ACCORDANCE WITH MFG. RECOMMENDATIONS. F. CLEAN RESILIENT FLOORS THOROUGHLY TO REMOVE ANY SURFACE DIRT AND POLISH TO UNIFORM SHEEN. G. CLEAN BOTH SIDES OF GLASS.

GENERAL SPECIFICATIONS

SITE WORK

THE WORK UNDER THIS SECTION SHALL INCLUDE FURNISHING ALL LABOR, MATERIALS, TOOLS, APPLIANCES AND EQUIPMENT AND PERFORMING ALL OPERATIONS NECESSARY FOR COMPLETE EXECUTION OF CLEARING, EXCAVATING, BACKFILLING AND GRADING AS INDICATED HERE AND IN WORKING DRAWINGS.

A. REMOVE ALL BRUSH WITHIN CONTRACT AREA 3. REMOVE UNNECESSARY WALLS, FOUNDATIONS, CURBS, AS INDICATED ON PLANS,

C. EXCAVATION OF EARTH, ROCK, AND OBSTRUCTIONS BELOW PRESENT GRADES AS NECESSARY FOR NEW FOUNDATIONS, UTILITY TRENCHES AND SITE GRADING.

D. MIN. 6" POROUS FILL UNDER INTERIOR CONCRETE GROUND SLAB. E. FURNISHING AND PLACING SHORING AND BEARING REQUIRED AND REMOVAL OF SAME FROM SITE. F. BACKFILLING AGAINST FOUNDATION WALLS, PIERS AND FOOTINGS AND UTILITY TRENCHES WHERE INDICATED. UNDER NO CIRCUMSTANCES SHALL EXCAVATION CONTRACTOR BACKFILL AGAINST FOUNDATION WALLS. DIAGONAL SHORING AT INSIDE OF FOUNDATION WALLS SHALL BE PROVIDED @ 8'-0" O.C. PRIOR TO

G. SITE DRAINAGE SHALL BE EXECUTED ACCORDING TO A SEPARATE DRAINAGE PLAN PREPARED BY A CERTIFIED ENGINEER.

! EXCAVATING: EXCAVATING SHALL INCLUDE REMOVAL OF ALL MATERIALS TO PERMIT PROPER WORKING CLEARANCE AND INSTALLATION OF CONCRETE FOOTINGS, WALLS, PIERS, AREAWAYS, SLABS, POROUS FILL UNDER SLAB AND ANY BRACING, UNDERPINNING AND WATERPROOFING. ALL ROCK REMOVED SHALL BE DONE BY MEANS OF MECHANICAL HAMMER OR HYDRAULIC SPLITTER. ARCHITECT'S COST ESTIMATE FOR REMOVAL OF UNDERGROUND ROCK FORMATIONS & ROCK BED FOR COMPLETION OF PROJECT SHALL BE FINAL & BINDING UNDER NO CIRCUMSTANCES SHALL ROCK-BLASTING BE PERMITTED ON THIS JOB SITE. 3. BACKFILLING & GRADING: CONTRACTOR SHALL BACKFILL AS PROMPTLY AS THE WORK SITE PERMITS, COMPLYING WITH GRADES AND ELEVATIONS INDICATED ON WORKING DRAWINGS.

x. EARTH FOR BACKFILL SHALL CONSIST OF CLEAN, EASILY COMPACTED BACKFILL, FREE FROM EXCESS CLAY,

DEBRIS OR ORGANIC MATTER 3. BACKFILL SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS OF NOT MORE THAN 12" DEPTH, PUDDLED AND

FAMPED OR ROLLED, SO AS TO PREVENT FUTURE SETTLEMENT. C. ENTIRE AREAS UNDER INTERIOR CONCRETE SLAB SHALL BE BACKFILLED WITH 4" TO 6" DURABLE CLEAN BRUSHED TRAP ROCK COMPACTED AND LEVELED TO A REASONABLY EVEN SURFACE OR AS PER SITE PLAN. 4. UTILITY TRENCHES: ALL UTILITY TRENCHES SHALL BE EXCAVATED TO ALLOW UTILITY LINES TO BE PLACED

BELOW THE FROST LINE, MIN. 3' - 6". 5. SEEDING: LANDSCAPING IS NOT THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. OWNER SHALL PROVIDE A SEPARATE LANDSCAPING CONTRACTOR AT HIS OWN EXPENSES. COST OF ANY DAMAGES TO BUILT STRUCTURES OR SITE STRUCTURES DUE TO LANDSCAPING CONTRACTOR'S NEGLIGENCE ARE SOLELY THE RESPONSIBILITY OF THE LANDSCAPING CONTRACTOR.

CONCRETE # MASONRY

CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR EQUIPMENT AND APPLIANCES REQUIRED FOR THE COMPLETION EXECUTION OF ALL CONCRETE FOUNDATION WORK, CONCRETE SLABS AND PLATFORMS. CONCRETE FOOTINGS AND MASONRY WALLS AS INDICATED IN WORKING DRAWINGS.

2. ALL CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS, INCLUDING FOOTINGS PIERS, SLABS AND PLATFORMS. ALL CONCRETE EXPOSED TO WEATHER MUST BE AIR ENTRAINED. 3. CONCRETE SLAB, PIER AND FOOTINGS SHALL BE OF THE SIZE AND THICKNESS INDICATED ON PLANS. INTERIOR CONCRETE SLAB SHALL BE PROVIDED WITH COMBINATION EXPANSION JOINTS WATER STOP WHERE INDICATED ON PLANS. PERIMETER OF SLAB ADJOINING WALLS SHALL HAVE 1/2" EXPANSION JOINT WITH BITUMINOUS FILLER. 4. CONCRETE SLAB SHALL BE PROVIDED WITH 6X6/IOXIO WELDED WIRE MESH REINFORCING THROUGHOUT. PERIMETER OF SLAB AREA ON BACKFILL SHALL RECEIVE #4 RE-BARS 24"O.C. TIED INTO FOUNDATION WALL OR AS INDICATED ON PLANS.

5. VAPOR BARRIER UNDER INTERIOR SLAB SHALL BE (2) & MILS. THICK, UNLESS OTHERWISE INDICATED ON DRAWINGS

6. TOP OF CONCRETE SLAB TO RECEIVE CERAMIC TILE OR CARPETING AND SHALL BE SCREENED TO AN EVEN, TRUE LEVEL PLANE, FLOATED AND TROWELED TO A HARD SMOOTH AND EVEN FINISH. 7. ALL MASONRY UNITS SHALL BE OF THE SIZE INDICATED ON THE PLANS. NON-CORROSIVE DURO-WALL TIES TO BE PROVIDED EVERY OTHER COURSE BETWEEN MASONRY JOINTS \$ #4 VERTICAL REBARS @ 32" O.C OR AS INDICATED ON PLANS. SEE SPECIFICATIONS ON DRAWINGS FOR POURED CONCRETE WALLS REINFORCING. 8. CEMENT FOR MASONRY SHALL BE PORTLAND CEMENT CONFORMING TO ASTM

DESIGNATION C144 PASSING NO. & SIEVE, HYDRATED LIME SHALL CONFORM TO ASTM DESIGNATION C-6. 9. MORTAR FOR THE ENTIRE WORK EXCEPT OTHERWISE SPECIFIED SHALL BE PROPORTIONED BY VOLUME, I PART PORTLAND CEMENT, 1/4 PART HYDRATE LIME, AND 3

STRUCTURAL STEEL - ALL STRUCTURAL STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM - A - 36 LATEST EDITION. SIZE AND LOCATION OF ALL STRUCTURAL STEEL IS INDICATED ON WORKING DRAWINGS. THIS INCLUDES STEEL BEAMS, STEEL PIPE COLUMNS, STEEL ANGLES, AND STEEL BEAMS USED AS HEADERS OVER DOORS AND WINDOWS.

MOOD & PLASTICS ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. I AND 2 COMMON HAVING A MIN.

ALLOWABLE BENDING STRESS OF 900PSI. 2. LUMBER SIZE AND SPACING AS INDICATED ON WORKING DRAWINGS.

PARTS SAND. WATER / CEMENT RATIO SHALL BE 0.35 - 0.40 MAXIMUM.

3. ALL PLYMOOD SHALL BE MIN. 1/2" "CDX" EXTERIOR GRADE FOR SIDING AND MIN. 5/8" "CDX" FOR ROOF DECKING, OR AS INDICATED ON PLANS.

4. ALL FRAMING LUMBER SHALL BE KILN DRIED. 5. ROOF TRUSSES WIDER THAN 24" O.C. SHALL HAVE 2" imes 4" WOOD BLOCKING UNDER ALL

PLYWOOD JOINTS (IF APPLICABLE) 6. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL WITH FLOOR SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE RAFTERS & CEILING JOISTS AROUND

THERMAL & MOISTURE PROTECTION

ALL SKYLIGHT OPENINGS (IF APPLICABLE)

INSULATION - ALL EXTERIOR WALLS, CEILING, AND ROOFS, AS INDICATED ON WORKING DRAWINGS AND PER NY STATE ENERGY & BUIDING CODE - LATEST EDITION. 2. EXTERIOR DOOR FRAMES, SADDLES AND WINDOW FRAMES AND WINDOW WALLS SHALL BE CAULKED WITH NON- BITUMINOUS, NON-STAINING "MONO" MANUFACTURED BY TREMCO OR EQUAL AND PACKED WITH INSULATION AT EDGES TO PREVENT DIRECT AIR INFILTRATION.

DOORS & WINDOWS

ALL DOORS AND WINDOWS SHALL BE SIZE, TYPE AND FIRE RATING INDICATED ON PLANS AND SCHEDULES. ALL GLAZING SHALL BE REGULAR DOUBLE PANE INSULATED GLASS BY ANDERSEN WINDOWS & DOORS MFG. OR APPROVED EQUIVALENT. SEE PLANS FOR ADDL INFO. 2. EXTERIOR DOORS SHALL HAVE INSULATING CORES WITH AN ALUMINUM SADDLE OR EQUIVALENT INDICATED ON PLANS. ALL DOORS TO GARAGES AND MECHANICAL ROOMS SHALL BE EQUIPPED WITH SELF-CLOSING HINGES. ALL DOOR FIRE RATING SHALL BE AS INDICATED ON PLANS.

I. CONCRETE SLAB - CONCRETE FLOOR SLABS SHALL BE CLEANED AND TREATED WITH SEALER TO HELP SLAB RESIST ABRASION, WEAR, IMPACT AND CRACKING AND CONCRETE DUST. SEALER TO PREVENT PENETRATION 2. MASONRY WALLS - SPLIT-RIB BLOCK TO BE TREATED WITH WATERPROOFING AGENT UPON COMPLETION. 3. Frame Walls - Frame Walls Shall Receive Gypsum Board Panels (Thickness - Indicated on Plans) WHICH SHALL RECEIVE 2 COATS OF PAINT PROVIDING A WASHABLE FINISHED SURFACE. BATHROOMS SHALL RECEIVE STANDARD GRADE CRYSTALLINE CERAMIC TILE, OR PER OWNER'S INSTRUCTIONS OVER CEMENT BOARD AS REQUIRED. ALL BATH GYPSUM BOARD SHALL BE MOISTURE RESISTANT TYPE.

I. ALL ELECTRICAL WORK SHALL SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM WITH ALL PROVISIONS OF THE NYS BUILDING CODE, NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES.

. ALL PLUMBING WORK SHALL BE APPROVED BY THE LOCAL BOARD OF HEALTH OR BLDG. DEPARTMENT, AND SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR. 2. HOUSE DRAIN AND SEWER LINE WILL BE CAST IRON PIPE OR AS REQUIRED BY LOCAL PLUMBING CODES. AL. BELOW GRADE WASTE PIPING TO BE EXTRA HEAVY CAST IRON WITH LEAD AND OAKUM JOINTS. 3. ALL HOT AND COLD WATER LINES TO BE TYPE L COPPER, W/95/5 SOLDERED JOINTS, COPPER FITTINGS AND BRASS VALVES AND OF PROPER SIZE. PROVIDE (I) 3/4" HOSE BIB AS INDICATED ON PLANS. PROVIDE CHROME PLATED SHUT-OFF VALVES UNDER ALL FIXTURES. HOSE CONNECTIONS TO BE ANTI-FREEZE. 4. PROVIDE HOT AND COLD MATER LINES TO DISHMASHER, CLOTHES MASHER AND TO ALL OTHER FIXTURES. ALL PLUMBING FIXTURES ARE TO BE MFG. BY AMERICAN STANDARD, KOHLER OR EQUIVALENT, MODEL # TO BE SELECTED BY OWNER.

I. HEATING CONTRACTOR SHALL GUARANTEE THAT THE HEATING SYSTEM SHALL BE PROPERLY DESIGNED. INSTALLED AND ADJUSTED TO MAINTAIN A CONSTANT 70° F INDOOR TEMPERATURE WHEN OUTDOOR TEMPERATURE IS O'F WITH A 15 MPH WIND.

2. HEATING SYSTEM SHALL BE GAS FIRED (OIL IF GAS NOT AVAILABLE). HEATING SYSTEM SHALL HAVE A MIN. COMBUSTION EFFICIENCY OF 75% AT MAX. RATED OUTPUT. ALL HOT WATER PIPING SHALL RECEIVE MIN. I" OF PIPE INSULATION WHEN IN UNHEATED SPACES, IN ADDITION TO REGULAR BUILDING INSULATION. 3. EXTERIOR JOINTS AROUND MINDOMS AND DOOR FRAMES, UTILITY SERVICES AND OTHER SUCH OPENINGS IN BLDG. ENVELOPE SHALL BE CAULKED, GASKETED, MEATHER STRIPPED OR OTHERWISE SEALED. 4. HVAC CONTRACTOR SHALL SIZE SYSTEMS, DETERMINE MAKE & MODEL #'S OF HEATING AND COOLING SYSTEMS, AND SHALL PROVIDE THIS INFORMATION TO LOCAL BUILDING DEPARTMENT IN CONFORMANCE WITH THE

STEEL & CONCRETE DESIGN DATA

STEEL DESIGN DATA

STRUCTURAL STEEL: W SHAPES TUBE COLUMNS HIGH STRENGTH BOLTS: SHAPES & PLATES WELDING ELECTRODES - SERIES: ANCHOR BOLTS:

ASTM - A500, GRADE B ASTM - A325 ASTM - A36 FI554 (FY=36KSI)

ASTM A992 GR 50

I. ALL CONCRETE WORK (BOTH MATERIALS & CONSTRUCTION PROCEDURES) SHALL BE IN ACCORDANCE WITH ACI318-2005. 2. CONCRETE SHALL BE CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. 3. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS IN ACCORDANCE W/ ASTM A615, GRADE 60, ALL DETAILING OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI STANDARD 315. 4 CALCIUM CHLORIDE OR SOLUTIONS CONTAINING CHLORIDE WILL NOT BE PERMITTED

AS ADMIXTURES IN ANY CONCRETE. 5. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

BEAMS AND COLUMN TIES: 1 1/2" FOR #5 OR SMALLER, 2" FOR #6 OR LARGER SLABS: 3/4".

FOOTINGS AND PADS POURED ON GROUND: 3".

6. DETAILING AND FABRICATION OF REINFORCING UNLESS OTHERWISE NOTED, SHALL BE IN ACCORDANCE WITH ACI 315,

PLACING AND SUPPORTS OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH CRSI. "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS AND ACI-313.

SCOPE OF WORK

GENERAL EXTERIOR WORK:

REMOVAL OF EXISTING SECOND FLOOR CEILING JOISTS & ROOF RAFTERS AND REPLACE

WITH NEW CEILING JOISTS AND TRADITIONAL STYLE GABLE ROOF INSTALLATION NEW ROOF TO INCLUDE (2) NEW DOG-HOUSE DORMERS AND OVERBUILT GABLE ROOF EXST FIRST FLOOR AND SECOND FLOOR FRONT WALLS TO REMAIN. CONSTRUCT NEW

SECOND FLOOR WALLS (NEW WALLS: 29.IFT OF TOTAL FRONT WIDTH 70.2FT = 41.4%), EXST FRONT MASTER SUITE WALLS (BEHIND EXST ROOF TO BE REMOVED) SHALL REMAIN FOLLOWING EXST REMOVAL OF ROOF. EXISTING SIDING TO BE REPLACED WITH NEW STUCCO FINISH - ALL SIDES

NO ADDITION TO BUILDING FOOTPRINT PROPOSED

. NO SITE WORK PROPOSED

FIRST FLOOR WORK

SURVEY NOTE

DEAD LOAD

REPLACE WINDOWS AT FRONT, SIDE & REAR AS INDICATED ON PLANS

SECOND FLOOR WORK

REMODEL SHOWER AT BEDROOM #2 ON-SUITE BATH BEDROOM #2, #3 AND FOYER TO BE EXPANDED AS A RESULT OF CONNECTING FROM

SURVEY INFORMATION TAKEN FROM SURVEY DATED SEPTEMBER 25, 2013, PREPARED BY GABRIEK E SENOR

PC. TOPOGRAPHICAL LINES OBTAINED FROM THE WESTCHESTER COUNTY GIS MAP. ARCHITECT NOT

10 PSF

REPLACE WINDOWS AT FRONT , SIDE & REAR AS INDICATED ON PLANS • INFILL DOUBLE HEIGHT GALLERY SPACE (FILED UNDER SEP APP)

PROP. PLOT PLAN

 $\omega_{\mathbf{I}}$

ZONING INFORMATION SCHEDULE

NOTES: (I) DENOTES EXISTING NON-CONFORMING CONDITION

THE ALDEBOT RESIDENCE

N 16°12'26.6"E

EX. STOCKADE FENCE

EX STONE WALL

EX GEN. PAD

EX. GATE

15.0' FOR NEW

WORK TO BE

(SEE ROOF PLAN)

205

S 16°12'26.6"E

E:25.5

LINE OF EXIST.

EX OVERHANG

100.00'

EX MOOD DECK

EXISTING

BUILDING

EX FLAG.

81 SF

2 1/2 STORY FRAME

AREAS OF NEW SECOND FLOOR

areas of New Second Floor

FILED UNDER SEP APPLICATION

EX MACADAM DRIVEWAY

GREENFIELD AVENUE

ADDITION OVER EXST IST FLOOR

F:4.0' 201

RESPONSIBLE FOR SURVEY INFO. AND DIMENSIONS.	GENERAL CODE: VILLAGE OF BRONXVILLE EX ZONE: RESIDENCE A DISTRICT						
NYS ENERGY CODE COMPLIANCE STATEMENT	ITEM	REQ/ALLOW	EXISTING	PROPOSED			
THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PROPOSED WORK WHICH IS SHOWN IN THE PLANS OR SPECIFICATIONS IS IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE	LOT AREA (SQUARE FT) LOT WIDTH (FT) LOT DEPTH (FT) FRONT SETBACK (FT)	12,000.0 80.0 100.0 30.0	16346.0 94.16 148.95 35.8	NO CHANGE NO CHANGE NO CHANGE NO CHANGE			
DESIGN LOADS	FRONT SETBACK (FT) FIRST SIDE YARD SETBACK (FT) SECOND SIDE YARD SETBACK (FT) REAR SETBACK (FT)	15.0 15.0 30.0	14.9 (I) 15.4 72.7 ±	NO CHANGE NO CHANGE NO CHANGE			
ROOF LIVE LOAD SNOW 40 PSF DEAD LOAD 10 PSF	MAX. BUILDING HEIGHT (FT/STY) MAX. BUILDING COVERAGE (%) MIN. OPEN SPACE REQUIREMENT (%)	3 <i>0.0/2.</i> 5 22.5 55. <i>0</i>	25.2/2.0 28.8 (I) 58.5	27.6/2.5 NO CHANGE NO CHANGE			
ATTIC LIVE LOAD (>4.5' HEADRM) 30PSF IST & LIVE LOAD 40PSF LIVE LOAD (<4.5' HEADRM) 20PSF 2ND FLR DEAD LOAD 10 PSF	FLOOR AREA RATIO PARKING	0.3065 1.0	0.282 4.0	0.287 NO CHANGE			

F.A.R. CALCULATIONS

MAX. PERMITTED BUILDING FLOOR AREA

85.54

	EXISTING	PROPOSED	SUB-TOTAL	
EXISTING BASEMENT	1677.0	0.0	0.0 (1)	
EXISTING BASEMENT	2038.0	2038.0	2038.0	
EXISTING SECOND FLOOR	2420.0	2501.0	2501.0	
EXISTING GARAGE	553.0	553.0	153.0 (2)	
		000.0	100.0 (2)	
EXISTING TOTAL BUILDING FLOOP	R AREA		4,611.0	
EXISTING F.A.R.			0.282	
PROPOSED TOTAL BUILDING FLO	or area		4,692.0	
PROPOSED F.A.R.			0.287	
ACTUAL LOT AREA			16346.0	
PERMITTED F.A.R.			0.3065	

NOTES:

(I) BASEMENT AREA NOT COUNTED TOWARDS F.A.R. - NOT CONSIDERED A STORY (2) UP TO 400 SF OF GRADE LEVEL PARKING EXEMPT FROM F.A.R. CALCULATIONS

Nicholas L. Faustini Architect PC T 914.329.1518 6 Burns Street, Hartsdale, NY 10530 77 Remsen Road, Yonkers, NY 10710

17 GREENFIELD AVE, BRONXVILLE NY

EQ. PAD

202

33 FT

- EX CHIMNEY

204

EX AC

K:3.5

EX. GATE

5 16°12'26.6"E

8.62'

- EX CONC. STEPS

EX POOL

& POOL DECK

1473 SF

AREA OF NEW

- EXST ENVELOPE

UNDER SEP APP

SECOND FLR INTERIOR

EXPANSION WITHIN

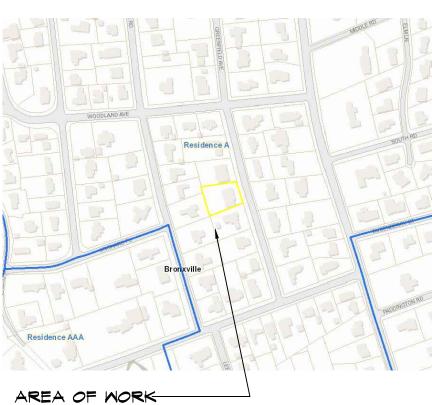
(AT EXST OPEN TO

ABOVE AREA) FILED

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Drawings may be printed at reduced scale

ZONE: RESIDENCE A SECTION/BLOCK/LOT: 17./4/4

LIST OF DRAWINGS

TITLE SHEET & NOTES GRADE CALCULATIONS EXST PLANS

EXST PLANS AND EXTERIOR ELEVATIONS PROPOSED BASEMENT PLAN

PROPOSED FIRST FLOOR PLAN

PROPOSED 2ND FL AND ROOF PLANS

PROPOSED EXTERIOR ELEVATIONS, FRONT & RIGHT

PROPOSED EXTERIOR ELEVATIONS, REAR & LEFT BUILDING SECTIONS & TYPICAL SECTION DETAIL

02 05.26.22 DRC/PB FILING 05.06.22 REV PER DOB COMMENTS

04.05.22 ISSUED FOR DOB FILING

NO. DATE ISSUE/REV

MICHELLE ALDEBOT 17 GREENFIELD AVE,

CLIENT

BRONXVILLE NEW YORK 10708 PROJECT

|"=|0'-0"

5010.04

Proposed interior & exterior alterations & New ROOF DESIGN FOR:

THE ALDEBOT RESIDENCE 17 GREENFIELD AVE, BRONXVILLE NEW YORK 10708

DRAWINGS TITLE

TITLE SHEET, SITE PLAN, & NOTES

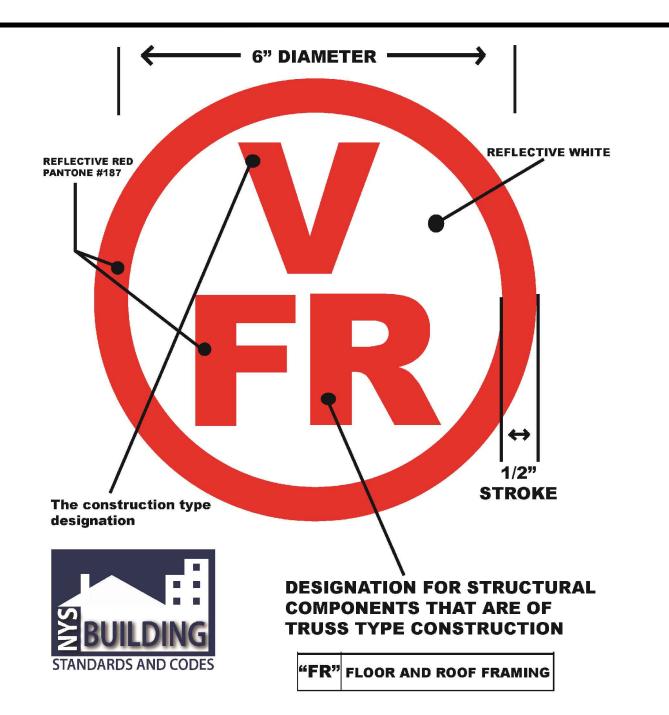
CHECKED BY PROJECT NO. DRAWN BY 21.12*0*1 DATE



DRAWING NO.

04.05.22





PRE-ENGINEERED WOOD STRUCTURE STICKER SECTION 1265.5. SIGN OR SYMBOL.

(A) WHEN TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION IS UTILIZED IN THE CONSTRUCTION OF A NEW RESIDENTIAL STRUCTURE OR IN AN ADDITION TO OR REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, SUCH RESIDENTIAL STRUCTURE SHALL BE IDENTIFIED BY A SIGN OR SYMBOL IN ACCORDANCE WITH THE PROVISIONS OF THIS PART. (B) THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BY AFFIXED TO THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE; PROVIDED, HOMEVER, THAT:

(I) IF AFFIXING THE SIGN OR SYMBOL TO THE ELECTRIC BOX WOULD OBSCURE ANY METER ON THE ELECTRIC BOX, OR IF THE UTILITY PROVIDING ELECTRIC SERVICE TO THE RESIDENTIAL STRUCTURE DOES NOT ALLOW THE SIGN OR SYMBOL TO BE AFFIXED TO THE ELECTRIC BOX, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE AT A POINT IMMEDIATELY ADJACENT TO THE ELECTRIC BOX; AND

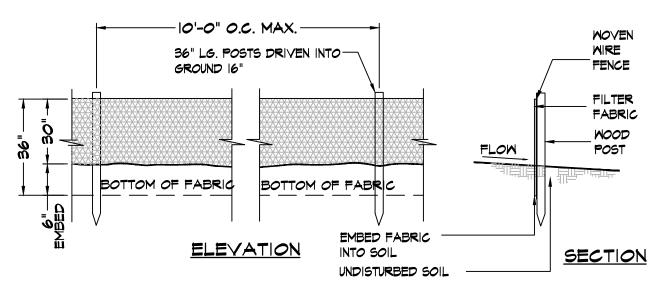
(2) IF NO ELECTRIC BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE OR IF, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE BUILDING IS NOT LOCATED IN A PLACE LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE, THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BE AFFIXED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE IN A LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE.

					CLIMATIC	TABLE AND GEOGR	R301.2(1) APHIC DESI	GN CRITER	RIA				
GROUND		WINI	D DESIGN		SEISMIC	SUBJECT	TO DAMAGE	FROM	WINTER	ICE	FLOOD	AIR	MEAN
SNOW	Speed ^d (mph)	Topographic effects ^k	Special wind region ⁱ	Wind-borne debris zone ^m	DESIGN CATEGORY	Weathering*	Frost line depth ^b	Termite	DESIGN TEMP°	BARRIER UNDERLAY- MENT	HAZARDS [®]	FREEZ ING INDEX	ANNUAL TEMP ⁱ
30 PSF	115	No	No	No	С	Severe	42"	Mod To Heavy	15 DEG	Yes	a) 3/11/96 b) 9/28/07 Flood Insurance Study c) Panel Numbers & Dates of current FIRMS & FBFM's, Amendments 36119C0329F - 9/28/07 36119CO337F - 9/28/07	618	52.2

For SI: 1 pound per square foot = 0.0479 kPa, 1 mile per hour = 0.447 m/s.

- Weathering may require a higher strength concrete or grade of masonry than necessary to satisfy the structural requirements of this code. The weathering column shall be filled in with the weathering index, "negligible," "moderate" or "severe" for concrete as determined from Figure R301.2(3). The grade of masonry units shall be determined from ASTM C 34, C 55, C 62, C 73, C 90, C 129, C 145, C 216 or
- The frost line depth may require deeper footings than indicated in Figure R403.1(1). The jurisdiction shall fill in the frost line depth column with the minimum depth of footing below finish grade.
- The jurisdiction shall fill in this part of the table to indicate the need for protection depending on whether there has been a history of local subterranean termite damage. The jurisdiction shall fill in this part of the table with the wind speed from the basic wind speed map [Figure R301.2(4)A]. Wind exposure category shall be determined on a site-specific basis in accordance
- The outdoor design dry-bulb temperature shall be selected from the columns of 971/-percent values for winter from Appendix D of the International Plumbing Code. Deviations from the Appendix D temperatures shall be permitted to reflect local climates or local weather experience as determined by the building official.
- The jurisdiction shall fill in this part of the table with the seismic design category determined from Section R301.2.2.1. The jurisdiction shall fill in this part of the table with (a) the date of the jurisdiction's entry into the National Flood Insurance Program (date of adoption of the first code or ordinance for management of flood hazard areas), (b) the date(s) of the Flood Insurance Study and (c) the panel numbers and dates of the currently effective FIRMs and FBFMs or other flood hazard map adopted by the authority having
- jurisdiction, as amended. In accordance with Sections R905.1.2, R905.4.3.1, R905.5.3.1, R905.6.3.1, R905.7.3.1 and R905.8.3.1, where there has been a history of local damage from the effects of ice damming, the *jurisdiction* shall
- fill in this part of the table with "YES." Otherwise, the jurisdiction shall fill in this part of the table with "NO." The jurisdiction shall fill in this part of the table with the 100-year return period air freezing index (BF-days) from Figure R403.3(2) or from the 100-year (99 percent) value on the National Climatic Data Center data table "Air Freezing Index-USA Method (Base 32°F)."
- The jurisdiction shall fill in this part of the table with the mean annual temperature from the National Climatic Data Center data table "Air Freezing Index-USA Method (Base 32°F)." In accordance with Section R301.2.1.5, where there is local historical data documenting structural damage to buildings due to topographic wind speed-up effects, the jurisdiction shall fill in this part of the
- In accordance with Figure R301.2(4)A, where there is local historical data documenting unusual wind conditions, the jurisdiction shall fill in this part of the table with "YES" and identify any specific
- requirements. Otherwise, the jurisdiction shall indicate "NO" in this part of the table. m. In accordance with Section R301.2.1.2.1, the jurisdiction shall indicate the wind-borne debris wind zone(s). Otherwise, the jurisdiction shall indicate "NO" in this part of the table.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATEZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENSTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE& DEPTH	CRAWL SPACEWALL R-VALUE
	TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT									
4	0.32	0.55	0.4	49	20 or 13+5	8/13	19	10/13	10, 2 FT	10/13
TABLER402.1.4 EQUIVALENT U-FACTORS										
4	0.32	0.55		0.026	0.06	0.098	0.047	0.059		0.065



SILT FENCE CONSTRUCTION SPECIFICATIONS: I. MOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POST SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.

2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING. 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPR. EQ.4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.

5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN 6. NEW SILT FENCE TO BE PLACED 24" FROM PROPERTY LINES, FENCING AND UNDISTURBED BUFFER AREAS AS REQUIRED BY LOCAL CODE.

(SF) SILT FENCE DETAIL

NOTE: WORK SHALL COMPLY WESTCHESTER COUNTY'S BEST MANAGEMENT PRACTICES MANUAL FOR CONSTRUCTION RELATED ACTIVITIES, STANDARDS \$ SPECIFICATIONS AS APPLICABLE.

EXST PRINCIPAL BLDG FOOTPRINT: EXST FRONT WALK & STEPS: EXST SIDE STEPS: EXST AC PAD EXST GEN PAD EXST.POOL AND SURROUND EXST POOL EQUIP. PAD EXST REAR YARD DECK	26 2.0 8 .0 33.0 28.0 32.0 473.0 40.0 422.0	
EXST BUILDING COVERAGE EXST ASPHALT DRIVEWAY EXST IMPERVIOUS SURFACES EXST OPEN SPACE	4721.0	OR 28.8% OR 12.7% OR 41.5% OR 58.5%

BUILDING COV./ IMP. SURFACE & OPEN SPACE

16346.0

GRADE PLANE WORKSHEET - EXISTING / PROPOSED CONDITIONS

206.5

207.0

207.0

204.0

202.0

201.0

201.0

203.0

203.0

203.3

204.0

205.5

47280.9 divided by 231.73 equals

GRADE PLANE ELEVATION = TOTAL WEIGHTED PERIMETER/TOTAL WALL LENGTH

TOTAL

1st Flr > 6ft Above Fin. Grade

0.0

0.0

27.9

25.5

4

45.6

0

0

0

0

0

55.5% 103.0

Lowest Elev 1 Lowest Elev 2 Average Elevation

207

207

203

201

201

201

202

203

204

204

207

BUILDING PERIMTER - EXISTING / PROPOSED CONDITIONS

1st Flr < 6ft Above Fin. Grade

47.9

5.6

22.3

9.0

0.0

0.0

0.0

11.8

3.5

8.0

3.5

17.1

128.7

207

207

205

203

201

201

202

203

202.5

204

204

Wall Length

47.9

5.6

22.3

36.9

25.5

45.6

11.8

3.5

8.0

3.5

17.1

231.73

4.0

Wall Desig.

G

K

Wall Desig.

G

Weighted Perimeter

5.6

22.3

36.9

25.5

4.0

45.6

3.5

8.0

3.5

17.1

231.73

9891.4

1159.2

4616.1

7527.0

5151.0

9165.6

2401.5

1626.0

714.0

3514.1

47280.9

710.5

804.0

Wall Length

	N 16°12'26.6"E	100.00'	N-09°07'37.8"W 25.17'
50.00	EX. STOCKADE FENCE		EX POOL EQ. PAD
EX STOCKADE FENCE		EX REAR YARD	EX POOL FOOL DECK 1413 SP
	EX GEN. PAD 32 SF EX 1 ST	WOOD DECK 422 SF EX WOOD DECK	20.5 20.4 Ex conc. STEPS
	EX. GATE LINGUIS EX. GATE LINGUIS EX. GATE	EXISTING 2 1/2/STORY FRAME BUILDING #17 2612 SF	EX AC PAD 28 SF
	EX OVERHANG	EX FLAG. WALK 8I SF EX MACADAM DRIVEWAY 2080 SF	EX. GATE
	M., 81.86.01286.6"E	7	5.54' S 16°12'26.6"E
			8.62'
	GI	REENFIELD AVEN	

BLDG COVERAGE & OPEN SPACE DIAGRAM

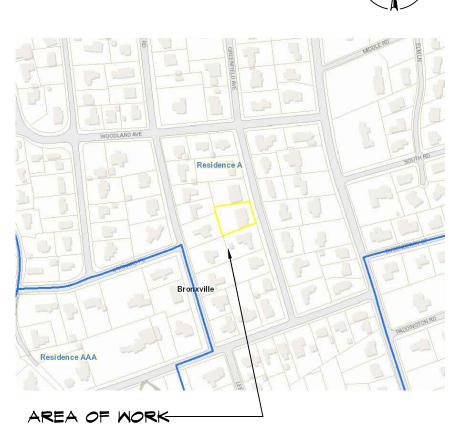
Nicholas L. Faustini Architect PC T 914.329.1518 nlfarchitect.com Greenburgh: 6 Burns Street, Hartsdale, NY 10530 Yonkers: 77 Remsen Road, Yonkers, NY 10710

General Notes

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LOCATION MAP



Drawings may be printed at reduced scale

ZONE: RESIDENCE A SECTION/BLOCK/LOT: 17./4/4

- LIST OF DRAWINGS

TI TITLE SHEET & NOTES GRADE CALCULATIONS EXST PLANS

A2 EXST PLANS AND EXTERIOR ELEVATIONS

PROPOSED BASEMENT PLAN PROPOSED FIRST FLOOR PLAN

PROPOSED 2ND FL AND ROOF PLANS

PROPOSED EXTERIOR ELEVATIONS, FRONT & RIGHT

PROPOSED EXTERIOR ELEVATIONS, REAR & LEFT AS BUILDING SECTIONS & TYPICAL SECTION DETAIL

02 05.26.22 DRC/PB FILING OI 05.06.22 REV PER DOB COMMENTS

-- 04.05.22 ISSUED FOR DOB FILING NO. DATE ISSUE/REV.

MICHELLE ALDEBOT IT GREENFIELD AVE, BRONXVILLE NEW YORK 10708

PROJECT

PROPOSED INTERIOR & EXTERIOR ALTERATIONS & NEW ROOF DESIGN FOR:

THE ALDEBOT RESIDENCE 17 GREENFIELD AVE, BRONXVILLE NEW YORK 10708

DRAWINGS TITLE

OPEN SPACE DIAGRAM

CHECKED BY PROJECT NO. DRAWN BY 21.12*0*1 DATE



|"=|0'-0"

04.05.22 DRAWING NO.

TOTAL LOT AREA:

