### ZONING BOARD OF APPEALS APPLICATION

Project Name, If Applicable: Weismiller R	esidence	
Project Street Address: <u>16 Tanglewylde</u>	<u>ve, Bronxville, NY</u>	10708
Section: <u>5</u> Block: <u>2</u> Lot(	s):3	Zone:
Applicant: Brian O'Keefe Architect, P.C		
Address: 445 W 162 St		
City:New York	State:NY	Zip:10032
Phone #:(917)402-6774	Email:b	okeefe@bokapc.com
Owner: Bradley Weismiller		
Address: 16 Tanglewylde Ave		
City: Bronxville	State:NY	Zip:10708
Phone #:(917)239-8934	Email:_bv	veismiller@gmail.com
Application is for: An interpretation of the Zoning	Law or a determination	by the Superintendent of Buildings
X Area variance(s) 310-10.D	.2 (Side vard setbad	ck); 310-10.E (Max Building Coverage)
 Use Variance		List Sections
Ose Variance		List Sections
		List Sections
Description of the proposed project and na	ture of the interpreta	tion, variance(s) and/or special permit being
sought: Demo existing 1 story rear entry	in southeast corner	Construct new slightly larger 1 story rear entry
addition and redo exterior steps	southwest corper to	ever (Side yard setback variance request). Also
existing conditions of the propert	v are non-conformir	a (exceed) the Maximum Building Coverage for
Residence A district. Any propos	ed expansion or ad	dition requires a Coverage variance. The
proposed additions/expansions a	are minimal in nature	e and located in the rear of the house with
	egligible impact to v	vater runoff. No Change to Use, Occupancy, or
Zoning.		

When did present owner acquire title? June 2020	
Was the title acquired by purchase: (Yes or No ), If so from who	m? _Jay & Erin Fraser
Are you seeking a variance from the provisions of the ordinance?	(Yes or No )

310-10.E - Variance from Maximum Building Coverage. The existing property is non-conforming calculated at 26% which is 3.5% over the allowed 22.5%. The proposed additions would increase the coverage to 28% which is 5.5% over the allowed 22.5%.

If you are seeking a variance from the provisions of the ordinance, do you contend that the effect of the ordinance on the property to which this appeal pertains is different from its effect on other properties in the same zoning district? (Yes or  $N_0$ ) If so, in what respect and what is the cause of the difference? I do not know for certain the effect of the ordinance on similar properties in the district, but my guess is that if the ordinance is such that it makes this particular existing property non-conforming with respect to Building Coverage then there are probably numerous properties with this same issue that will require a Building Coverage variance for any proposed new addition or outdoor structure.

Does the owner of the premises involved in this application own any contiguous property? (Yes or No) If so, in what respect and what is the cause of the difference?

Kuller U. C. Juli Date: 5/30/23 Owners Signature:

### **Zoning Compliance Analysis**

Property Address: 16 Tanglewylde Ave, Bronxville, NY

Zoning District: Residence A

Flood Zone: Yes: \_\_\_\_ No: <u>X</u>\_\_\_\_

ZONING STANDARD	REQUIRED	EXISTING	PROPOSED	STATUS
BUILDING USE	Single Family	Single Family	Single Family	
LOT AREA	12,000	15,973.3	15,973.3	
LOT WIDTH	80'	86' to 117'	No Change	
LOT DEPTH	100'	165'	No Change	
FRONT YARD	30'	29.1' to portico	No Change	
SIDE YARD #1	15'	18.6'	13.67' to addition 12' to Basement steps	Variance request
SIDE YARD #2	30'	25.5' +/-	37.75' +/-	
REAR YARD	30'	80.25'	80.25'	
HEIGHT (Feet & Stories)	30' mean height	30' +/-	No Change	
BUILDING COVERAGE	22.5% = 3,595sf	26% = 4,144 <sub>Sf</sub>	28% = 4,412sf	Variance request
USABLE OPEN SPACE	55% = 8,787sf	67.6% = 10,803sf	66% = 10,535sf	
F.A.R.	.310 = 4,953sf	4,018sf	4,240sf	
PARKING	1	1	1	

All applications for additions to submit complete detailed finished grade and FAR calculations, and completed F.A.R. computation worksheet on reverse, submission to be stamped by the design professional of record.

Are any variances required (or were any variances approved by the ZBA) that are not listed on the table above? \_\_\_Yes X No

If yes, describe all additional variances:

Form Prepared By:

Name (Print): Brian O'Keefe Signature: Din Okale

	EXISTING	PROPOSED	SUB TOTAL
BASEMENT <sup>(b)</sup>	0	0	0
1 <sup>ST</sup> FLOOR	2,017sf	222sf	2,239sf
2 <sup>ND</sup> FLOOR	1,310sf	0	1,310sf
3 <sup>RD</sup> FLOOR <sup>(d)</sup>			
ATTIC (d)	461sf	0	461sf
GARAGE (¢)	630sf- 400sf = 230	) 0	230sf
Existing FAR	.25		
Proposed FAR		.265	
% Increase of FAR		1.5%	
АСТ	UAL TOTAL BUILDI	NG FLOOR AREA =	4,240sf
	ACT	TUAL LOT AREA =	15,977sf
PERMITTED F.A	.R. (From Table, interp	oolate if necessary) =	.31
MAXIMUM PI (ACTUAL I	ERMITTED BUILDI LOT AREA X PER	NG FLOOR AREA MITTED F.A.R). =	4,953sf

Zoning F.A.R. Calculation

### \*\*\*Please refer to the Village of Bronxville Municipal Code Section 310- 22 Supplementary Regulations.

<b>Calculations Prepared By:</b>	Name (Print): Brian O'Keefe	
	Signature: Din Office	

VILLAGE OF BRONXVILLE Department of Buildings 200 Pondfield Road (914) 337-7338 (914) 337-0158 (Fax)

### PLAN REVIEW COMMENTS

<b>APPLICATION NUMBER:</b>	ALT 059-23
DATE RECEIVED:	April 28, 2023
LOCATION:	16 Tanglewylde Avenue
SBL:	5./2/3
APPLICANT NAME:	Weismiller, Bradley
APPLICANT ADDRESS:	16 Tanglewylde Avenue Bronxville, NY 10708

**DESCRIPTION OF WORK** : Demo existing 1 story rear entry in southeast corner. Construct slightly larger 1 story rear entry addition and redo exterior steps to basement level. Also construct new 1 story addition in southwest corner to connect kitchen to living room. This work will include demo, new construction, electrical, and mechanical. No change to use, occupancy, or zoning.

### DISAPPROVED MAY 30, 2023, FOR THE FOLLOWING:

Your revised application for a permit on the above location has been reviewed and a permit may not be issued at this time for the reasons indicated below.

**ZONING CODE REVIEW** (Section Numbers refer to Village Code of 1981)

Zoning Review -

Plans dated as received 4/26/23

1) Side Yard Setback as per Village of Bronxville Municipal Code 310-10 D (2) - Required 15'; Existing - 18.7'; proposed 13'8"; variance required - 1'- 4"for side yard setback

2) Building Coverage as per Village of Bronxville Municipal Code 310-10 E Required 22.5%/ 3595 sf; Existing 4144 sf/ 25.9%; Proposed 4412 sf/ 27.99%; Building Coverage Variance required - 817 sf/ 5.5%

This document constitutes a final administrative determination by the Building Inspector denying your application for the reasons set forth above. Section 7-712(a) of the New York State Village Law provides that any appeal of this decision must be filed within 60 days of the date hereof with the Zoning Board of Appeals of the Village of Bronxville.

Paul Taft Building Inspector

CC: Weismiller, Bradley

### ROBERT BUCKLEY 20 TANGLEWYLDE AVE BRONXVILLE, NY 10708

June 7th, 2023 Bronxville Building Jepi

Village of Bronxville Department of Buildings 200 Pondfield Road Bronxville, NY 10708

JUN - 7 2023

RECEIVED

Re: Weismiller Variance Application - 16 Tanglewylde Ave

To Whom It May Concern:

I have reviewed the plans associated with the expansion of the Weismiller's house located at 16 Tanglewylde Ave, immediately to the West of our property. I understand that a variance has been requested and a hearing will be held on June 27<sup>th</sup>, 2023.

As the only neighbor with any reasonable exposure to the project and the aforementioned variance -1 have no objection to the plans as presented, and offer my full support to granting the variances.

Please contact me directly should you have any concerns.

Regards,

Surg

Robert Buckley









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# SCOPE OF WORK:

THE PROPOSED WORK FOR THE RESIDENCE AT 16 TANGLEWYLDE AVENUE INVOLVES THE DEMOLITION OF THE EXISTING BACK COVERED ENTRANCE AND STEPS UP AND THE REMOVAL OF THE EXISTING STEPS DOWN TO THE BASEMENT. A NEW LARGER BACK ENTRY FOYER WITH STORAGE CLOSETS WILL BE CONSTRUCTED AS WELL AS AN ADJOINING SITTING ROOM. ALSO A GALLERY HALLWAY OFF OF THE EXISTING LIVING ROOM (ON THE SOUTH SIDE) WILL BE BUILT. TOTAL NEW SQUARE FOOTAGE IS 219 SF. IN ADDITION, NEW STEPS DOWN TO THE BASEMENT ON THE WEST ELEVATION SIDE WILL ALSO BE CONSTRUCTED.

THE CORNER OF THE NEW BACK ENTRY FALLS WITHIN THE 15 FOOT SIDEYARD SETBACK, WHICH IS THE REASON FOR THE APPLICATION FOR VARIANCE.

ALL WORK WILL COMPLY WITH THE 2020 NEW YORK STATE BUILDING CODE AND THE 2020 NYS ENERGY CODE.

ALL ELECTRICAL WORK SHALL COMPLY WITH UL REQUIREMENTS AND THE NATIONAL ELECTRIC CODE.

A NEW SMOKE AND CARBON MONOXIDE DETECTOR WILL BE ADDED TO THE NEW BACK ENTRY.

ALL EXISTING R-VALUES ARE COMPLIANT AND WILL BE MAINTAINED.

ALL NEW LIGHTING WILL SATISFY AND COMPLY WITH 2021 IECC RESIDENTIAL PROVISIONS.

# PROJECT CONTACTS:

ARCHITECT:

BRIAN O'KEEFE ARCHITECT P.C. 445 WEST 162ND STREET NEW YORK, NY 10032 PHONE: 212.957-9790

# **DRAWING LIST**

000.00 COVER SHEET- EXISTING SITE SURVEY, LOCATION MAP, DRAWING LIST 001.00 ZONING ANALYSIS 002.00 EXISTING & PROPOSED PLOT PLANS 003.00 EXISTING & PROPOSED FIRST FLOOR PLAN 004.00 EXISTING/DEMOLITION ELEVATIONS

005.00 PROPOSED ELEVATIONS

SIMANOYBL	Zoning
Ello D	Village of Bronxville
HODE N BUD	New York
Jungo	Residence AAA 1-Family Residence, 30,000 sq ft min. lot Residence AA 1-Family Residence 15,000 sq ft min. lot Residence A 1-Family Residence 12,000 sq ft min. lot Residence B Two-Story Multiple Residence Residence C
ਸ਼ ਕ	Three-Story Multiple Residence Residence D
ARCHE	Six-Story Multiple Residence Business A
))	Central Business Business B
	Service Business
	MAP NOTE: Zoning district boundaries were compiled between 2011 and 2014 as part of a county GIS initiative to accurately map zoning in each of Westchester's 43 municipalities.
Month A A A A A A A A A A A A A A A A A A A	This map is intended for general reference purposes only. As local zoning is subject to change, inquiries regarding current status of local zoning districts, zoning designations of specific parcels, and exact use and bulk requirements should be verified at the local level by contacting the local planning, building or clerk's office.
E SUMMY	N N E S 0 250 500 1,000 Feet
n Ittalite	Westchester
	GIS ADDARCE IN THE CONTRACT OF THE CONTRACT.

### ZONING INFORMATION.

BLOCK 2 LOT: 13A

ZONING DISTRICT: RESIDENCE A

Zoning Compliance Worksheet – District 'A' District leightStories Lot Area Lot Width Lot Depth Front Yard Pard Yard Side Yard With Garage Side Yard Garage Side Yard Garage Side Yard Side Yard Corner Lot Alternative Yard Pard 1/2' a wan Bronxville District 'A' 30'<br/>Mean<br/>Height2-1/212,000<br/>SF80'100'30'a)angle<br/>of<br/>building<br/>b)<br/>average<br/>of<br/>homes<br/>within<br/>300' 15'/27' 30'/15' min opposite side principal yard/ front/ 30'/27' second opposite side second min. front 27' Lesser side yard reduced by r' 30' a lir building p Bronxville District 'A' Description of Bulk Requirements Α 5' 

 310-10 Code Section-<br/>https://ecode360.com/9450368
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 10</ 310-10 D(3) 310-10 D(4) 310-10 D(2) Property Address: 16 Tanglewylde Avenu 30'/ 27' 30' 2.50 15,977 80' 100' 30' 15' 15'27' 30'/15' 30' Allowed А 30'/15' 2.5 15,977 86' 165' 34.1' Existing 18.6' Α 40' 15,977 86' 165' 34.1' 13.66' 2.5 30'15' Proposed Α 40' Variance required = Х (proposed - allowed)

EXISTING BUILDING COVERAGE CA	ALCULATION		PROPOSED BUILDING COVERAGE CA	LCULATION	
MAIN HOUSE	2,017	SQ. FT.	MAIN HOUSE	2,017 SQ. FT.	
	<b>630</b>		ADDED AREA	222	
GARAGE	630		GARAGE	630	
γαικίνανς	908 2/13		γλη κιλίαλο	905 2/13	
PLATFORMS, STEPS	157		PLATFORM , STEPS	124	
,			ADDED STAIRS AREA	64	
STONE MASONRY WALL	90		STONE MASONRY WALL	90	
CONCRETE PAD	15		CONCRETE PAD	15	
WINDOW WELLS	24		WINDOW WELLS	24	
TOTAL EX BUILDING COVERAGE	4,144	SQ. FT.	TOTAL PROP BUILDING COVERAGE	4,412 SQ. FT.	
LOT SIZE	15,977.00		LOT SIZE	15,977.00	
IMPERVIOUS	0.26 OR 26%		IMPERVIOUS	0.28 OR 28%	
26% > 22.5% <u>NON-COMPLIANT</u>			28% > 22.5% <u>NON-COMPLIANT</u>		
EXISTING OPEN SPACE CALCULATI	ON		PROPOSED OPEN SPACE CALCULATIC	N	
LOT SIZE	15,977.00	SQ. FT.	LOT SIZE	15,977.00 SQ. FT.	
TOTAL EX BUILDING COVERAGE	4,144		TOTAL PROP BUILDING COVERAGE	4,412	
EXISTING DRIVEWAY (NO CHANGE)	1,030			1,030	
OPEN SPACE			ΙΟΙΑΙ ΥΚΟΡΟΣΕΟ ΟΡΕΝ SPACE ΟΡΕΝ SPACE	10,000 0 66 08 66%	
67.6% > 55% <u>IN COMPLIANCE</u>	0.070 01 07.070		66% > 55% <u>IN COMPLIANCE</u>	0.00 011 00/0	
SECOND FLOOR ATTIC GARAGE: 630-400	1,310 461 230		SECOND FLOOR ATTIC GARAGE	1,310 461 230	
TOTAL	4,018	SQ. FT.	TOTAL	4,240 SQ. FT.	
	15,977.30		LOT SIZE	15,977.30	
LOT SIZE			FAR	0.265 OR 26.5%	
LOT SIZE FAR <b>4,018 &lt; 4,953 SQ. FT. <u>IN COMPLIA</u></b>	0.25 OR 25%		4,240 < 4,953 SQ. FT. <u>IN COMPLIANC</u>	<u>,E</u>	
LOT SIZE FAR <b>4,018 &lt; 4,953 SQ. FT.</b> <u>IN COMPLIA</u>	0.25 OR 25%		4,240 < 4,953 SQ. FT. <u>IN COMPLIANC</u>	<u>.E</u>	
LOT SIZE FAR <b>4,018 &lt; 4,953 SQ. FT.</b> <u>IN COMPLIA</u>	0.25 OR 25%		4,240 < 4,953 SQ. FT. <u>IN COMPLIANC</u>	<u>.E</u>	
LOT SIZE FAR <b>4,018 &lt; 4,953 SQ. FT.</b> <u>IN COMPLIA</u>	0.25 OR 25%		4,240 < 4,953 SQ. FT. <u>IN COMPLIANC</u>	<u>, F</u>	
LOT SIZE FAR <b>4,018 &lt; 4,953 SQ. FT.</b> <u>IN COMPLIA</u>	0.25 OR 25%		4,240 < 4,953 SQ. FT. <u>IN COMPLIANC</u>	<u>.</u> Ε	

Paved terraces steps, and walks	ACC Building	Max Buildi ng cover age	Off street parking	FAR	Open space
15' street line, 4' property line	no nearer to to the street	22.5%	Not less than 1 spaces	31%	55%Open Space; 45% Impervious Area-
310-10 D(4)	310-10 D(5)	310- 10 E	310-10 F	310-10 G: 310- 22 E	310-10 H
15'/ 4'		22.5% 3,595	1	15,977 X 0.31= 4,953	Open space 8,787 Impervious 7,190
15'/4'		4,144 See cal below*	c 1	4,018	Open space 10,803 Impervious 5,174
15'/4'		4,412	1	4,240	Open space 10,535 Impervious
		х			5,442
	**Exist	ing Bu	Iding C	overage (	Calculation:
	House	First F	loor	2	.017 Sa. Ft.
	Garao	e		6	30
	Patios			0	68
	D: 1 0			3	00

243 157 90 15 Brick & Stone Walk Platforms & Steps Stone Masonry wall Concrete pad <u>Window wells</u> Total <u>24</u> 4,144 Sq. Ft.

Brian O'Keefe Architect, P.C.	445 West 162nd Street New York, NY 10032	Phone: 212.957.9790 Fax: 212.245.0157			
ISSUE REVIS	D: SION:	DATE: 05/17/23	DES	CRIPTI	DESIGNER:
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16 Tanglewylde Avenue	Bronxville, NY 10708				



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	16 Tanglewylde Avenue Bronxville, NY 10708 Bronxville, NY 10708 Julie, NY 10708 Bronxville, N	ISSUED: REVISION:	DATE: 05/17/23	DESCRIP	DESIGNER:
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ISSUED: REVISION: DATE: DESCRIPT 05/17/23 FILING	DESIGNER:
16	
16 Tanglewylde Avenu Bronxville, NY 10708	
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### Division 1 – General requirements

Α.	The contractor shall supervise and direct the work using his skills and attention. He shall be solely responsible for all construction means, methods, techniaues,
В.	sequence, procedure and coordination of all portions and trades of the work. All work shall confirm to all local codes and ordinances, and all other areas
C.	having jurisdiction. The contractor shall verify of mansions and field conditions. All discrepancies shall
D.	The contractor shall maintain clean and safe working conditions at all times on
E.	the job site, and will be responsible for the removal of all debris. The contractor shall be responsible for the protection and warehousing of all
F.	The contractor shall make all arrangements to maintain temporary electric,
G.	Guarantee: all work included in the contract documents shall be guaranteed
Ц	manufacturer or one — year, whichever is longer, from the occupancy date.
11.	any notes on this sheet or any other sheet in this set of contract documents.
J.	The contractor shall provide for extinguishes on the job site during all phases of construction
К.	The contractor shall submit a complete list of all subcontractors to be used on this project.
L.	The contractor is required to have a competent superintendent on the side when work is in progress.
М.	The contractor shell provide a 'port—o—san' toilet on the job site use by the construction crew.
Ν.	The contractor shall by completely represented at every weekly job meeting. The scheduling of these weekly job meeting shall be jointly agreed at the beginning of
0.	construction. The finished job shall be delivered in a finished and clean manner; including
Ρ.	polishing countertops, windows, and floors. Demolition:
1.	All debris removal and abatement to be performed in accordance with all local, state, federal, and OSHA guidelines and laws.
Q.	Contractor shall protect all materials from moisture damage and secondary mold growth during all phases of construction.
	Division 2 — excavation General: not used
	Division 3 – concrete
	General: not used
A.	No air-entraining admixtures or antifreeze compounds, such as calcium, chloride
B.	shall be added to mortar. No work shall be done subject to freezing conditions.
C.	Stucco: stucco to be applied on self-furring expanded galvanized metal lath secured to substrate. Three-coat process stucco using glass fiber reinforced
	portland cement. Finish and texture too much existing. Wait twenty—eight (28) days minimum before applying primer and two coats of paint.
H.	All stucco shall be installed with a suitable drain plan and weep screed to ensure proper drainage and wlal system integrity. Reference astm c1063-12a and astm c 926-12a.
	Division 5 — metals
А. В.	Still: shall confirm to astm specification a—36 for structural steel. Fleet beams: all steel plates shall confirm to astm specifications a—36 for
C.	structural steel. All bolt holes to be properly drilled. Torched holes not acceptable. Anchor bolts provided $1\2$ " Dia x 16" with hooked end. Bolts to be placed 2'-0" o.c. max 12-in min. From corner and 2 bolts min per sill.
	Division 6 wood/plastic
Α.	Lumber: all framing lumber to be stressed grade douglas FLR larch no. 2 or better.
Β.	Fleming: framing of the entire house shall be erected plumb, level and true securely nailed. Joists, studs and rafters shall be double above all openings. All
	flush headers shall be connected with metal joist hangers. Double frame under all portions parallel to framing. Sizes of joists, sheathing and rafters are shown on
C.	the plans. Provide solid blocking under all post. Glulam beam: shall be no. 1 douglas FLR (min. Fb-2200 p.s.i.).
D.	Laminated veneer beam: shall be "parallam" by "Macmillan" or equal minimum Fb. 2850. Install as per manufacturers specifications. (2.0 E)
E.	Sub floor: shall be $3/4$ " t & g exterior grade plywood glued and screwed to each framing member.
F. H.	Sheathing: 3/4" exterior plywood w/tyvek. Wood flooring note: all wood flooring material to be delivered and stored on the
I.	job site for one week prior to installation. Stain T.B.S. then seal coat and 2 finish coats.
	Division 7 thermal and moisture protection
A.	Provide fiberglass batt insulation as noted on the contract documents. Install with
B. C	Provide rigid extruded foam insulation as noted on the dwgs.
0.	Division 8 – doors and windows
A.	provide fire related doors and frames as indicated on the contract documents
-	and door schedule. All rated doors to carry U.L. label matching specified requirements.
В.	Wood doors to meet all specifications noted on the contract documents. Exterior doors to be complete with weathrstrip and brass saddle with sweep. Interior doors to be selected
C.	Hardware: submit samples and/cut sheets of all closets, handles, locks and accessories to the owner for approval
D.	Windows: installed glass with thermal-brake frames as noted on the contract documents.
E. F.	Mirrors if used, shall be one piece, frameless unless otherwise noted. Windows: shall be "Andersen" wood windows and screens, size and type shown on
Н.	plans. Contractor to provide tempered glass at all top/shower locations.
l.	All windows and doors shall be installed per manufacture's specifications and a portion of each type shall be water tested prior to installation of interior wall systems and insulation to ensure installation integrity.
	Division 9 - finishes
A. 1	
••	Gypsum drywall partitions: Application and finish to meet ansi standard a97.1
2. 3.	Gypsum drywall partitions: Application and finish to meet ansi standard a97.1 Would starts shall be 2x4 or 2x6 at 16" O.C. Sound insulated and fire—rated partitions shall be caulked at perimeters. Back
2. 3. 4.	Gypsum drywall partitions: Application and finish to meet ansi standard a97.1 Would starts shall be 2x4 or 2x6 at 16" O.C. Sound insulated and fire-rated partitions shall be caulked at perimeters. Back to back junction boxes are not permitted within those partitions. All drywall partitions shall be plumbed, level, true, and straight, properly braced
2. 3. 4. 5.	Gypsum drywall partitions: Application and finish to meet ansi standard a97.1 Would starts shall be 2x4 or 2x6 at 16" O.C. Sound insulated and fire-rated partitions shall be caulked at perimeters. Back to back junction boxes are not permitted within those partitions. All drywall partitions shall be plumbed, level, true, and straight, properly braced and rigid. All taping and sparkling shall be sanded, sponged down, and prepared so that location of joints and blomiches

7. Tub and shower area to receive 1/2" stone board.

- 8. All drywall and wall board shall be installed with a 1/2" capillary brake between the bottom of the drywall and the top of the finished floor to prevent wicking in the event of a moisture
- intrusion event (flooding). B. Painting
- Contractor to inspect and verify that all surfaces to be painted are properly 1. prepared.
- All painting materials shall be used only in strict conformance with the 2. manufacturer's specifications.
- Proper precautions shall be taken to protect all areas from paintdrips, splashes, overspray, etc.. contractor
- shall be responsible for cleaning and removing same. Paint shall be manufactured by either Benjamin Moore to match specified colors. All painted surfaces to receive one coat of primer paint and two coats of finish 5 paint as selected.
- Walls to be "matte" finish unless otherwise noted. C. Wall covering shell be applied matching all seams and patterns. All axcess
- adhesives are to be removed.
- D. Wood strip flooring:
- 1. Use select oak flooring 2-1/4" wide planks where specified and laminated wood flooring to be selected by
- owner where specified.
- 2. Fill all holes with material to match.
- along all walls for expansion. 4. Finish one cut sandseal, two coats satin urethane by zar or approved equal. All
- finishes to be sanded and vacuumed between each coat.

Division 10 specialties

- A. Contractor to provide and install all bathroom accessories (towel holders, toilet
- tissue holders, etc.). B. B. Contractor to provide and install tempered glass shower doors and enclosures as indicated on the contract documents.

Division 11 – equipment General: equipment to be selected by owner installed by contractor

Division 12 - furnishings General: not used

Division 13 - special construction General: not used

Division 14 – conveying systems

Division 15 - mechanical

General: not used

- A. Ducts to be fabricated of galvanized metal with max length flex duct of 6 ft each 10' of return and supply to be acoustically leaned floor grills to
- be flash wood to match flooring. B. Heating and air conditioning equipment shall be sizes to maintain 72 F indoor temperature with 0 F outdoor temperature and 70 F indoor temperature with 95
- outdoor temperature.
- C. C. All heating and air conditioning equipment and accessories shall be UL labeled and installed in accordance with same.
- D. D. All plumbing shall be done in accordance with NYSUFBC national plumbing code
- and any local plumbing codes having jurisdiction.
- E. E. Provide shot off valves at all fixtures and appliance. F. F. Insulate all hot and cold water supply lines w/1" high density polypropylene form insulation. Insulate all heating lines with sealed high density fiberglass wraps.

<u>Energy code statement</u>

To the best of my knowledge, belief, and professional judgment the attached plans are in conformance with the 2020 energy conservation code of the State of New York.

# DRAWING LIST

A - 001.00	GENERAL NOTES, EXISTING SURVEY, LOCATION MAP
A - 002.00	GENERAL NOTES
Z - 100.00	EXISTING SITE PLAN. PROPOSED SITE PLAN. ZONING CALCULATION
EX/D - 100.00	EXISTING/DEMOLITION 1ST FLOOR PLAN
EX/D - 101.00	EXISTING/DEMOLITION ROOF PLAN
EX - 200.00	EXISTING NORTH ELEVATION
EX - 201.00	EXISTING EAST & WEST ELEVATION
A - 100.00	PROPOSED BASEMENT, 1ST FL PLAN, ROOF PLAN
A - 101.00	PROPOSED 1ST FLOOR RCP/LIGHTING & POWER PLAN
A - 102.00	PROPOSED BASEMENT RCP/LIGHTING & POWER PLAN
A - 200.00	SECTION 1
A - 201.00	SECTION 2, 3
A - 300.00	PROPOSED NORTH ELEVATION
A - 301.00	PROPOSED EAST & WEST ELEVATIONS
A - 400.00	WALL SECTIONS

ZONING INFORMATION. BLOCK A LOT: 13A ZONING DISTRICT: RESIDENCE A

b. Wet area at kitchen to receive  $1/2^{"}$  water resistant gwb.

- 3. Flooring to be installed on level floor w/3/4" plywood subfloor, and 1/2" space

  - Brian O'Keefe

### Division 16 - electrical

- A. Provide and install new panels at each renovated apartment. B. Electrical installation, wiring, and equipment shall confirm to the nysfbc and the
- national electrical code. C. All work performed shall be by a licensed electrician who shall be responsible for
- obtaining permits. D. Smoke detecting alarm devices shall be single station type photoelectric, and shall be directly connected to a power circuit (unswitched) or to the integral alarm
- system. E. Telephone and communication wiring to be category 5e cable.
- F. Provide electrical service and control wiring for new central a/c units and boiler. G. Provide temporary electrical service and lighting as required during the construction period for all trades. I. Audio - video wiring by others.
- J. Full House security and fire protection by others.
- <u>Notes</u> 1. Licensed electrician to file electric permit.
- 2. Licensed plumber to file plumbing permit.
- 3. Architect to inspect and certify all steel column and beam installations prior to framing.
- 4. All connectors to be used for pressure treated lumber to be approved for use with ACQ pressure treated lumber. 5. Minimum 3500 PCI concrete compressive strength to be used for horizontal
- surfaces exposed to the weather including porches, steps, walks, and garage floor slabs for compliance with table R 402.2 for sever weather explosure. 6. Design soil bearing capacity to be 2000 PCI.
- 7. Fireplaces and stoves to be in compliance with the requirements of chapter 10 of the NYC residential code.
- 8. Architect to inspect and certify foundation walls prior to framing. 9. Specifications for cold weather concrete construction to be in compliance with ACI 318.
- 10. All windows are in compliance with required emergency escapes and recue openings as per section R310. R310.1.1- openings operable from inside the room without the use of keys, tools or special knowledge per astm f 2090 recue openings as per section R310.2.1 - min 5.7 sq.ft. (1st flr & above)\5.0 sq.ft (basement) opening. R310.1.2 - min hight of opening 24" clear R310.13 - min width of opening 20" clear. 310.2.2 - window seal height to be no more than 4 4 inches above the finished floor.
- 11. Approved stamped set of building plans must be present on site at all times. 12. Current Westchester county license and insurance contractor must be on file with current building permit until certificate of occupancy is issued. If contractor of record has been removed from the project stop work order will be issued until a new Westchester county licensed and insured contractor is retained property and grade elevation around the perimeter of dwelling. 13. Architect / engineer of record services must be retained until certificate of
- occupancy is issued. 14. Use of power or motorized equipment: mon- fri between 8:00 a.m. - 9:00 p.m.
- 15. Architect / engineer of record for shoring prior to framing. 16. Architect / engineer of record to inspect and certify insulation.
- 17. Code for inspection of drywalls prior to backfill
- 18. All construction sites shall confirm to the 2010 New York State property maintenance code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stocked in a orderly fashion. The Village right of way must be kept clear and maintained at all times.
- 19. If blown or spread insulation used, installer of insulation to submit insulation certification to include the installed thickness of the area covered and re-value of the installed thickness shall be listed on certificate. The insulation installer shell sign, date, and post the certificate in a conspicious location on the job site per N1101.5 of the 2020 residential code of New York State and submit an original signed copy for the village of Bronxville Building Department records.







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DESCRIPTION:

FILING

A-001.00

SECTION R903
WEATHER PROTECTION

R903.2.1. LOCATIONS FLASHING SHALL BE INSTALL AT WALL AND ROOF INTERSECTIONS: WHEREVER THERE IS A CHANCE IN ROOF SLOPE OR DIRECTION; AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION-RESIDENT WITH A THICKNESS OF NOT LESS THAN 0.019 INCH (#26 GALVANIZED SHEET).

**R905.2. ASPHALT SHINGLES** 

**R905.2.1. SHEATHING REQUIREMENTS** 

ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS

R905.2.3. UNDERLAYMENT.

UNLESS OTHERWISE NOTED, REQUIRED UNDERLAYMENT PER SECTION R905.1.1 - UNDERLAYMENT TYPES PER TABLE R905.1.1(1)

- UNDERLAYMENT APPLICATION PER PORTABLE R905.1.1(2)
- UNDERLAYMENT ATTACHMENT PER PORTABLE R905.1.1(3)

R905.2.4. ASPHALT SHINGLES

ASPHALT SHINGLES SHALL HAVE SELF-SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH D 3462.

R905.2.5. FASTENERS

FASTENERS FOR ASPHALT SHINGLE SHALL BE GALVANIZED STEEL. ALUMINUM OR COPPER ROOFING NAILS, MINIMUM 12 GAGE (0.105 INCH(2.67MM)) SHANK WITH A MINIMUM 3/8" (9.5MM) DIAMETER HEAD, ASTM F 1667, OF A LENGTH TO PENTRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF 3/4 INCH (19.1MM) INTO THE ROOF SITTINGS, WHERE THE ROOF SHEATHINGS IS LESS THAN 3/4 INCH (19.1MM) THICK, THE FASTENERS SHELL PENETRATE THROUGH THE SHEATHINGS. FASTENERS SHALL COMPLY WITH ASTM F 1667.

R905.2.6. ATTACHMENT

ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER FOR NORMAL APPLICATION, ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN 4 FASTENERS PER STRIP SHINGLE OR 2 FASTENERS PER INDIVIDUAL SINGLE. WHERE THE ROOF SLOPE EXCEEDS 21 UNITS VERTICAL IN 12 UNITS HORIZONTAL (20:12). SPECIAL METHODS OF FASTING ARE REQUIRED PER MANUFACTURER.

### EXCEPTION:

ASPHALT STRIP SHINGLES SHALL HAVE A MINIMUM OF 6 FASTENERS FOR SHINGLE WERE THE ROOF IS IN ONE OF THE FOLLOWING CATEGORIES

- 1. THE BASIC THE BASIC WIND SPEED FOR FIGURE R301.2(4) IS 110 MILES PER HOUR (177KM/H) OR GREATER AND THE EAVE IS 20' (6096MM) OR HIGHER ABOUT GRADE.
- THE BASIC WIND SPEED PER FIGURE R301.2(4) IS 120 MILES PER HOUR 2. (193KM/H) OR GREATER.
- SPECIAL WIND ZONE PER FIGURE R301.2(4). 3.

R905.2.7. ICE PROTECTION.

IN AREAS WHERE THE AVERAGE DAILY TEMPERATURE IN JANUARY IS 25F (-4C) OR LESS OR PER SECTION R905.1.2 CRITERIA SO DESIGNATES AN ICE BARRIER THAT CONSISTS OF A LEAST 2 SELF-ADHERING POLYMER MODIFIED BITUMEN SHEETS, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE EAVE'S EDGE TO A APPOINT AT LEAST 24" (610MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

R905.2.8 FLASHING

R905.2.8.1 BASE AND CAP FLASHING.

BASE AND CAP FLASHING SHALL BE INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. BASE FLASHING SHALL BE OF EITHER CORROSION-RESISTANT METAL OF MINIMUM NORMAL 0.019" (0.483MM) THICKNESS

OR MINERAL SURFACE ROLL ROOFING WEIGHING A MINIMUM OF 77 POUNDS PER 100 FT<sup>2</sup> (3.76KG/M2) CAP FLASHING SHALL BE CORROSION-RESIDENT METAL OF MINIMUM NORMAL 0.019" (0.483MM) THICKNESS.

R905.2.8.2. VALLEYS.

VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED.

- 1. FOR OPEN VALLEY (VALLEY LINING EXPOSED) LINED WITH METAL, THE VALLEY LINING SHALL BE AT LEAST 24" (610MM) WIDE AND OF ANY OF THE CORROSION-RESISTANT METALS IN TABLE R 905.2.8.2.
- FOR OPEN VALLEYS, VALLEY LINING OF 2 PLIES OFF MINERAL SURFACE ROLL ROOFING, COMPLYING WITH ASTM 3909 OR D 6380, SHALL BE PERMITTED. THE BOTTOM LAYER SHALL BE 18" (457MM) AND THE TOP LAYER A MINIMUM OF 36" (914MM) WIDE.
- 3. FOR CLOSED VALLEYS (VALLEYS COVERED WITH SHINGLES), VALLEY LINING OF ONE PLY OF SMOOTH ROLL ROOFING COMPLYING WITH ASTM D 224 TYPE II OR TYPE III AND AT LEAST 36" (914MM) WIDE OR VALLEY LININGS AS DESCRIBED IN ITEMS 1 AND 2 ABOVE SHALL BE PERMITTED. SPECIALTY UNDERLAYMENT COMPLYING WITH ASTM D 1970 MAY BE USED IN LIEU OF THE LINING MATERIAL

R303.1 HABITABLE ROOMS

ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHELL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.

EXCEPTIONS.

1. THE GLAZED AREA NEED NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED BY SECTION R310 AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.55 AIR CHANGE PER HOUR IN THE ROOM OR WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CUBIC FEET PER MINUTE (CFM)(7.08 L/S) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM 2. THE GLAZED AREA NEED NOT BE PROVIDED IN ROOMS WHERE EXCEPTION 1 ABOVE IS SATISFIED AND ARTIFICIAL LIGHT PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES (4.46 LUX) OVER THE AREA PF THE ROOM AT A

HEIGHT OF 30" (762) ABOVE THE FLOOR AREA

INTERIOR STAIRWAYS SHALL BE PROVIDED WITH ARTIFICIAL LIGHT SOURCE LOCATED IN THE IN IMMEDIATE VICINITY OFF EACH LANDING OF THE STAIRWAY. ILLUMINATE TREADS AND LANDINGS TO LEVELS NOT LESS THAN 10 FOOT-CANDLES (108 LX). EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GARAGE LEVEL SHALL BE PROVIDED WITH ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDINGS OF THE STAIRWAY.

R303.4.1 LIGHT ACTIVATION

THE CONTROL FOR ACTIVATION OF THE REQUIRED INTERIOR STAIRWAY LIGHTING SHALL BE ACCESSIBLE AT THE TOP AND BOTTOM OF EACH STAIRWAY WITHOUT TRAVERSING ANY STEPS. THE ELIMINATION OF EXTERIOR STAIRWAYS SHALL BE CONTROLLED FROM INSIDE THE DWELLING UNIT

MATERIAL

COLD ROLLE COPPER ALUMINUM

STAINLESS STI

GALVANIZED ST

ZINC ALLOY

LEAD

PAINTED TERI

LIMAT ZONE	FENESTRA U-FACTO
4A	0.32
R- \	/ALUE ARE
COI	MPRESSED
THE	E FENESTRA
THE	E FIRST R-V
FRA	MING CAVI
R-5	SHALL BE
- HE	EATED SLAE
THI	S SECOND
INT	ERIOR OF 1
THE	E FIRST VAL
	LIMAT CONE 4A R- \ COI THE FRA R-5 - HE THI INT THE

### SECTION R303 PER OF THE 2020 NEW YORK STATE RESIDENTIAL CODE LIGHT, VENTILATION, AND HEATING

### R303.4 STAIRWAY ILLUMINATION

	TABLE R VALLEY LININ	905.2.8.2 NG MATERIAL	
	MATERIAL THICKNESS (INCHES)	MATERIAL	MATERIAL WEIGHT
ED	0.0216		1602
1	0.024		
EEL		28	
TEEL	0.0179	26 (ZINC COATED G90)	
Y	0.0216		
			$2\frac{1}{2}$
NE			20
	FOR SI: 1 INCH = 25.4m	m, 1 POUND = 0.454 kg.	

SITE NOTES:

- IMMEDIATELY AFTER BACKFILLING.

- ARCHITECT
- ACTIVITIES.
- PROPERTY LINES.
- 6 DEBRIS
- 7 PERMIT BEING ISSUED.



INSTALLATION NOTES

- 1. EXCAVATE A 4" X 4" TRENCH ALONG THE LOWER PERIMETER OF THE SITE
- 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
- 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2" FROM THE TRENCH BOTTOM
- 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TRENCH.
- 5. JOIN SECTIONS AS SHOWN ABOVE.

				TABLE 40	2.1(1)				
INS	ULAT	ION AND F	ENESTF	RATION REC		TS BY C	OMPONEN	IT (a.)	
STRATION ACTOR	HSGC	SKYLIGHT (b.) U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL (h) R-VALUE	MASS WALL R-VALUE (g.)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE	SLAB (d) R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE

8/13

19

ARE MINIMUMS. U- FACTOR. R-20 INSULATION SHALL BE PERMITTED TO BE SSED IN 2X6 CAVITY.

49

20 OR 13+5

ESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS.

0.55

0.40

ST R-VALUE APPLIES TO CONTINUOUS INSULATION, THE SECOND TO

G CAVITY INSULATION; EITHER INSTALLATION MEETS THE REQUIREMENTS. LL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. SLAB = CONTINUOUS R-5

COND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE R OF THE MASS WALL.

ST VALUE IS CAVITY. THE INTERIOR OF BASEMENT WALL.

Applicability Statement:

in height with a separate means of egress.

APPLICAE	ILITY STA	TEMEN	<u>[</u>											
SCOPE							2016 INT							
RESIDEN	AL CODE	IN THAT	THIS IS	A SINGLE	FAMILY R-3	OCCUPAN	CY NOT	MORE THE	N 3 STORI	ES				LOI AREA = 15,977.3 SQ.FT.
CONSTRU	CTION CL	ASSIFIC	ATION - 1	YPE V B										MAXIMUM BUILDING COVERAGE ALLOWED = (15,977.3 x 0.225) =
WORK CL	ASSIFICA	TION												BUILDING COVERAGE- STRUCTURES
THE ROO	US CONT.	AINS WC	RK ARE I DANCE V	ISTED BE	ELOW WITH	THE APPRO		WORK	VED.					AREA- "A"
	_													HOUSE, GARAGE
NEW BAC	<u>k</u> Kentry Ing Rooi	Л	ADDITI ADDITI	NC NC										TOTAL BUILDING COVERAGE
NEW GAL	ERY		ADDITI	JN										BUILDING COVERAGE
DESIGN C	RITERIA:	TABLE R (WESTC	301.2(1) ( HESTER	COUNTY	AND GEOGF - CLIMATE Z	RAPHIC DE ONE 4A)	SIGN CR	RITERIA						DESIGNATION AREA
		WIND	DESIGN			SUBJ	ECT TO I	DAMAGE			FLOOD HAZARDS			AREA "A" HOUSE, GARAGE
GROUND					SEISMIC		ROOM	1	WINTER	ICE BARRIEF	a.3/11/96, b. 9/28/01	AIR	MEAN	AREA "B" DRIVEWAY
SNOW LOAD	WIND	TOPO.	SPECIA	WIND-B ORNE	DESIGN CATEGORY	WEATHE	FROST	TEDMITE	DESIGN TEMP.	UNDER -LAYMEN	FLOOD INSUR ST`DY, c. PANEL	FREEZIN G INDEX	ANNUAL TEMP.	AREA "C" PATIOS, WALKWAYS
	(MPH)	EFFECT	ZONE	DEBRIS ZONE		RING	DEPTH	TERMITE		Т	NOMBERS AT DATES OF			AREA "E" PLATFORM, STEPS
											CURRENT FIRMS AT FBFM`S	r		AREA "F" STONE MASONRY WALL
30 DSE	115	NO	NO	NO		SEVE	3' 6"	MOD/H	15°	VES	AMENDMENTS 36119CO329F-9-28-0	618	522	AREA "G" CONCRETE PAD
301 31	115	NO		NO		RE	5-0	VY	15		T, 36119CO33TF-9-28-0		522	AREA "H" WINDOW WELLS
FIRM MA		FEN	IA FLOO	) MAP Z	ONE			]						TOTAL COVERED AREA
36119CO	323F	ZON	IE "X"											OPEN SPACE CALCULATIONS
STRUCTU	RAL DESI	GN CRIT	ERIA											LOT AREA = 15,977.3 SQ. FT.
TABLE R3 MINIMUM	01.5 UNIFORM	LY DIST	RIBUTED	LIVE LOA	DS (IN POUN	IDS PER S	QUARE F	-00T)						MINIMUM OPEN SPACE REQUIRED = 15,977.3 X 0.55 =
USE					LIV	E LOAD		USE				LIVE L	.OAD	TOTAL OPEN AREA
EXTERIO	R BALCO	NIES &	BALCON	IIES	40			ROOMS O	THER TH	EN SLEE	EPING	40		
								-				+		
ATTICS V	VITHOUT	STORA	GE		10			SLEEPING	NNTORAL METHEN 3 STORIES       BUILDING COVERAGE         JPR (NOLVED.       LOT AREA = 15.977.3 SQ.FT.         NAMUUM BUILDING COVERAGE ALLOWED = (15.977.3 X 0.225) =       BUILDING COVERAGE         NOLVED.       AREA * 14"         AGE       IOO MAZAROS         INTER PARTIER       ATTACK TO MARKAN         MUNTRE PARTIER       ATTACK TO MARKAN         INDUCER       FLOOD MAZAROS         INTER PARTIER       ATTACK TO MARKAN         INDUCER       FLOOD MAZAROS         INTER PARTIER       ATTACK TO MARKAN         INDUCER       FLOOD MAZAROS         INTER PARTIER       ATTACK TO MARKAN         INDUCER       FLOOD MAZAROS         INT TO CHARGE ALLOWED = (15.977.3 X 0.257.5         INDUCER       FLOOD MAZAROS         INTER PARTIER       BUILDING COVERAGE         INTER PARTIER       STOR (NORER TE AND MANUAL         INDERS ALL       MEAN         STOR (NORER TE AND MANUAL       AREA *C*         INDUCER TE AND MARKAN       BUILDING COVERAGE         INDUCER TE AND MANUAL       AREA *C*         INDERS ALL       MEAN         INDUCER TE AND MANUAL       AREA *C*         INDUCER TE AND MANUAL       AREA *C*         INDUCER TE AND MANUAL	PROPOSED BUTI DING C				
ATTICS V	VITH STO	RAGE			20			STAIRS				40		
HABITAB FIXED ST	LE ATTIC	S & ATT	TICS SEF	VED WI	ГН <sub>30</sub>			GUARDRA	ILS & HA	NDRAILS	3	200		

FIXED STAIRS SOIL BEARING CAPACITY IS ESTIMATED AT 1500 PSF.



## ULATION



# OVERAGE CULATION

	LENGTH IN FT.	WIDTH IN FT.	EXISTING	PROPOSED	FAR T
BASEMENT*					
BASEME	NT TOTAL		0	0	0
FIRST FLOOR					
1	46.6	28.1	1309.5		
2	14.6	22.9	334.0		
3	9.9	24.9	246.5		
NEW ADDITION					
4	11.1	22.9		254.0	
5	17.8	4.9		87.0	
GARAGE					
6	27.5	22.0	605		
7	1.1	15.3	17		
8	0.6	6.9	4		
GARAGE	CREDIT				-40
FIRST FLC	OR TOTAL				245
SECOND FLOOR					
1	46.6	28.1	1309.5		
SECOND FL	OOR TOTAL				1309
ATTIC					
1	46.6	9.9	461		
ATTIC	TOTAL				461
		TOTAL S	Q.FT. FOR FAR CON	IPARISON	4227
			LOT SIZE		1597
			MAXIMUM FAR		0.31
		MAXIMUM	GROSS FLOOR ARE	A ALLOWED	4,95

FLOOR AREA RATIO (F.A.R.) CALCULATION (2)







SCALE: 1/16" = 1'-0"

		SIDE SETBACK
	PLAN SYMBOL LEGEND	
SYMBOL	DESCRIPTION	
	PARTITION FOR DEMO	



FIRST FLOOR PLAN

Brian O'Keefe Architect, P.C. 445 West 162nd Street New York, NY 10032 Phone: 212.957.9790 Fax: 212.245.0157	
ISSUED: REVISION: DATE: DESCRIPTI 04/21/23 FILING	DESIGNER:
16 Tanglewylde Avenue Bronxville, NY 10708	OR PLAN
NOTE: These Architectural Drawings were prepared by, and are the sole property of, Brian O'Keefe Architect, P.C. Unauthorized use or duplication of these drawings is prohibited by law and will subject the violator to damages under Title 17, United States Code and other applicable Law. Copyright by Brian O'Keefe Architect, P.C.	EXISTING/DEMO FIRST FLO
DRAWING NO.: of <b>EX/D-100.00</b>	

			SIDE SETBAC	/ K	
SYMBOL	PLAN SYMBOL LEGEND         DESCRIPTION         EXISTING PARTITION         PARTITION FOR DEMO		FS	REMOVE EXISTING STRICTURE & ROOF	
			       		CHIN PITCH PI DN
				Scale: 1	/4" = 1'-0"



G/DEMO ROOF PLAN

Brian O'Keefe Architect, P.C. 445 West 162nd Street	New York, NY 10032 Phone: 212.957.9790 Fax: 212.245.0157		
ISSUED: REVISION:	DATE: 04/21/23	DESCRIPTI	DESIGNER:
16 Tanglewylde Avenue Bronxville, NY 10708	ctural Drawings were le property of, Brian of Unauthorized use of	prepared by, O'Keefe or duplication	JF PLAN
Architect, P.C. of these drawin subject the viol United States ( Copyright by B CONSULTA CONSULTA START DAT DRAWN BY SCALE: PLOT DATE FILE: DRAWING N	Unauthorized use of higs is prohibited by la lator to damages und Code and other appli rian O'Keefe Archite NTS: NTS: TE: 03/30/2023 : BOKA AS SHOWN ::	or duplication aw and will der Title 17, cable Law. ct, P.C.	EXISTING/DEMO ROOF





SAVE ROOF SLATES

OMIT STUCCO FACE AS NEEDED FOR NEW ADDITION

DEMO RAILING

OMIT RAILING &

	Brian O'Keefe Architect, P.C. 445 West 162nd Street	New York, NY 10032 Phone: 212.957.9790 Fax: 212.245.0157		
anglewylde Avenue ville, NY 10708 TION	ISSUED: REVISION:	DATE: 04/21/23	DESCRIPT FILING	DESIGNER:







# PLAN SYMBOL LEGEND

SYMBOL

DESCRIPTION

EXISTING PARTITION

NEW PARTITION. TO MATCH EXISTING IN KIND.

	LIGHTING LEGEND
SYMBOL	DESCRIPTION
\$	NEW SINGLE POLE WALL SWITCH: SET AT 48" AFF UNLESS OTHERWISE NOTED
Ś	NEW THREE WAY WALL SWITCH: SET @ 48" AFF UNLESS OTHERWISE NOTED
	NEW JUNCTION BOX
	NEW WALL SCONCE FIXTURE

## ELECTRIC LEGEND

DESCRIPTION

NEW DUPLEX OUTLET: 120 VOLT, 20AMP.,SET@15" AFF, UNLESS NOTED

WP - MEANS WATERPROOF

SYMBOL



P.C Brian O'Keefe Architect, 212.957.9790 212.245.0157 445 West 162nd Street New York, NY 10032 Phor Fax: ISSUED: REVISION: DATE: DESCRIPTION: 04/21/23 FILING AN venue ٦ POWER A nxville, NY 10708 Tanglewylde  $\infty$ LIGHTING 16 Br NOTE: These Architectural Drawings were prepared by, and are the sole property of, Brian O'Keefe Architect, P.C. Unauthorized use or duplication  $\Delta$ 00 of these drawings is prohibited by law and will subject the violator to damages under Title 17, United States Code and other applicable Law. Copyright by Brian O'Keefe Architect, P.C. © Ē Ś CONSULTANTS:  $\overline{}$ SED PROPO! START DATE: <u>03/30/2023</u> DRAWN BY: <u>BO</u>KA SCALE: AS SHOWN SCALE: PLOT DATE: FILE: DRAWING NO .: of A-101.00

## PLAN SYMBOL LEGEND

SYMBOL

DESCRIPTION

EXISTING PARTITION

NEW PARTITION. TO MATCH EXISTING IN KIND.

	LIGHTING LEGEND
SYMBOL	DESCRIPTION
\$	NEW SINGLE POLE WALL SWITCH: SET AT 48" AFF UNLESS OTHERWISE NOTED
Ś	NEW THREE WAY WALL SWITCH: SET @ 48" AFF UNLESS OTHERWISE NOTED
	NEW JUNCTION BOX
	NEW WALL SCONCE FIXTURE

## ELECTRIC LEGEND

DESCRIPTION

NEW DUPLEX OUTLET: 120 VOLT, 20AMP.,SET@15" AFF, UNLESS NOTED

WP - MEANS WATERPROOF

SYMBOL



Scale: 1/4" = 1'-0"

DRAWING NO .: of

A-102.00

DESCRIPTION:

PLAN

POWER

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LIGHTING

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SEMEN<sup>-</sup>

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SSUED: REVISION: DATE: DESCRIPTION: 04/21/23 FILING	Brian O'Keefe Architect, P.C. 445 West 162nd Street New York, NY 10032	Phone: 212.957.9790 Fax: 212.245.0157		
anglewylde Avenue xville, NY 10708	ISSUED: REVISION:	DATE: 04/21/23	DESCRIPTIO	DESIGNER:
	nglewylde Avenue ille, NY 10708			





# -WORK AREA

NEW SLATE ROOF TO

NEW GUTTER & DOWNSPOUT TO MATCH EXISTING

NEW STUCCO FINISH

NEW LOW WALL & RAILING

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View of Southeast existing

Weismiller Residence

16 Tanglewylde Ave

Bronxville, NY 10708



View of Southwest existing

Weismiller Residence

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Bronxville, NY 10708