

**ZONING BOARD OF APPEALS APPLICATION**

**Project Name, If Applicable:** Weismiller Residence

**Project Street Address:** 16 Tanglewylde Ave, Bronxville, NY 10708

**Section:** 5 **Block:** 2 **Lot(s):** 3 **Zone:** \_\_\_\_\_

**Applicant:** Brian O'Keefe Architect, P.C.

**Address:** 445 W 162 St

**City:** New York **State:** NY **Zip:** 10032

**Phone #:** (917)402-6774 **Email:** b.okeefe@bokapc.com

**Owner:** Bradley Weismiller

**Address:** 16 Tanglewylde Ave

**City:** Bronxville **State:** NY **Zip:** 10708

**Phone #:** (917)239-8934 **Email:** bweismiller@gmail.com

**Application is for:**

\_\_\_\_\_ An interpretation of the Zoning Law or a determination by the Superintendent of Buildings

X Area variance(s) 310-10.D.2 (Side yard setback); 310-10.E (Max Building Coverage)  
List Sections

\_\_\_\_\_ Use Variance \_\_\_\_\_  
List Sections

\_\_\_\_\_ Special Permit Use \_\_\_\_\_  
List Sections

**Description of the proposed project and nature of the interpretation, variance(s) and/or special permit being**

**sought:** Demo existing 1 story rear entry in southeast corner. Construct new slightly larger 1 story rear entry addition and redo exterior steps down to Basement level (Side yard setback variance request). Also construct new 1 story addition in southwest corner to connect Kitchen to the Living Room. The existing conditions of the property are non-conforming (exceed) the Maximum Building Coverage for Residence A district. Any proposed expansion or addition requires a Coverage variance. The proposed additions/expansions are minimal in nature and located in the rear of the house with negligible visual impact as well negligible impact to water runoff. No Change to Use, Occupancy, or Zoning.

When did present owner acquire title? June 2020

Was the title acquired by purchase: ( Yes or No ), If so from whom? Jay & Erin Fraser

Are you seeking a variance from the provisions of the ordinance? ( Yes or No )

If so, from which ordinance, from which provision thereof and to what extent? \_\_\_\_\_

310-10.D.2 - Variance from 15' Side Yard Yard setback. The corner of the new proposed 1 story addition would be approximately 13'-8" from the side property line. The corner of the new proposed steps down to Basement level would be approximately 12' from side property line.

310-10.E - Variance from Maximum Building Coverage. The existing property is non-conforming calculated at 26% which is 3.5% over the allowed 22.5%. The proposed additions would increase the coverage to 28% which is 5.5% over the allowed 22.5%.

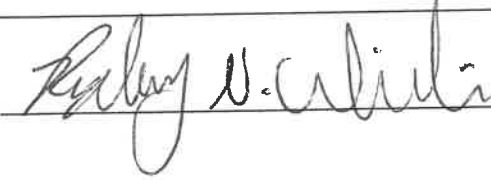
If you are seeking a variance from the provisions of the ordinance, do you contend that the effect of the ordinance on the property to which this appeal pertains is different from its effect on other properties in the same zoning district? (Yes or  No ) If so, in what respect and what is the cause of the difference?

I do not know for certain the effect of the ordinance on similar properties in the district, but my guess is that if the ordinance is such that it makes this particular existing property non-conforming with respect to Building Coverage then there are probably numerous properties with this same issue that will require a Building Coverage variance for any proposed new addition or outdoor structure.

Does the owner of the premises involved in this application own any contiguous property? (Yes or No)

If so, in what respect and what is the cause of the difference? \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Owners Signature:  Date: 5/30/23

### Zoning Compliance Analysis

Property Address: 16 Tanglewylde Ave, Bronxville, NY

Zoning District: Residence A

Flood Zone: Yes:  No:

ZONING STANDARD	REQUIRED	EXISTING	PROPOSED	STATUS
BUILDING USE	Single Family	Single Family	Single Family	
LOT AREA	12,000	15,973.3	15,973.3	
LOT WIDTH	80'	86' to 117'	No Change	
LOT DEPTH	100'	165'	No Change	
FRONT YARD	30'	29.1' to portico	No Change	
SIDE YARD #1	15'	18.6'	13.67' to addition 12' to Basement steps	Variance request
SIDE YARD #2	30'	25.5' +/-	37.75' +/-	
REAR YARD	30'	80.25'	80.25'	
HEIGHT (Feet & Stories)	30' mean height	30' +/-	No Change	
BUILDING COVERAGE	22.5% = 3,595sf	26% = 4,144 sf	28% = 4,412sf	Variance request
USABLE OPEN SPACE	55% = 8,787sf	67.6% = 10,803sf	66% = 10,535sf	
F.A.R.	.310 = 4,953sf	4,018sf	4,240sf	
PARKING	1	1	1	

All applications for additions to submit complete detailed finished grade and FAR calculations, and completed F.A.R. computation worksheet on reverse, submission to be stamped by the design professional of record.

Are any variances required (or were any variances approved by the ZBA) that are not listed on the table above?  Yes  No

If yes, describe all additional variances: \_\_\_\_\_

Form Prepared By:

Name (Print): Brian O'Keefe

Signature: \_\_\_\_\_



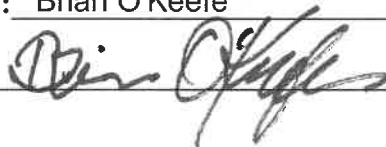
**Zoning F.A.R. Calculation**

	<b>EXISTING</b>	<b>PROPOSED</b>	<b>SUB TOTAL</b>
BASEMENT <sup>(b)</sup>	0	0	0
1 <sup>ST</sup> FLOOR	2,017sf	222sf	2,239sf
2 <sup>ND</sup> FLOOR	1,310sf	0	1,310sf
3 <sup>RD</sup> FLOOR <sup>(d)</sup>			
ATTIC <sup>(d)</sup>	461sf	0	461sf
GARAGE <sup>(c)</sup>	630sf - 400sf = 230	0	230sf
Existing FAR	.25		
Proposed FAR		.265	
% Increase of FAR		1.5%	
<b>ACTUAL TOTAL BUILDING FLOOR AREA =</b>			4,240sf
<b>ACTUAL LOT AREA =</b>			15,977sf
<b>PERMITTED F.A.R. (From Table, interpolate if necessary) =</b>			.31
<b>MAXIMUM PERMITTED BUILDING FLOOR AREA (ACTUAL LOT AREA X PERMITTED F.A.R.) =</b>			4,953sf

**\*\*\*Please refer to the Village of Bronxville Municipal Code Section 310- 22  
Supplementary Regulations.**

Calculations Prepared By: Name (Print): Brian O'Keefe

Signature: \_\_\_\_\_



VILLAGE OF BRONXVILLE  
Department of Buildings  
200 Pondfield Road  
(914) 337-7338  
(914) 337-0158 (Fax)

**PLAN REVIEW COMMENTS**

**APPLICATION NUMBER:** ALT 059-23  
**DATE RECEIVED:** April 28, 2023  
**LOCATION:** 16 Tanglewylde Avenue  
**SBL:** 5./2/3  
**APPLICANT NAME:** Weismiller, Bradley  
**APPLICANT ADDRESS:** 16 Tanglewylde Avenue  
Bronxville, NY 10708

**DESCRIPTION OF WORK :** Demo existing 1 story rear entry in southeast corner. Construct slightly larger 1 story rear entry addition and redo exterior steps to basement level. Also construct new 1 story addition in southwest corner to connect kitchen to living room. This work will include demo, new construction, electrical, and mechanical. No change to use, occupancy, or zoning.

**DISAPPROVED MAY 30, 2023, FOR THE FOLLOWING:**

Your revised application for a permit on the above location has been reviewed and a permit may not be issued at this time for the reasons indicated below.

**ZONING CODE REVIEW** (Section Numbers refer to Village Code of 1981)

Zoning Review -

Plans dated as received 4/26/23

- 1) Side Yard Setback as per Village of Bronxville Municipal Code 310-10 D (2) - Required 15'; Existing - 18.7'; proposed 13'8"; variance required - 1'- 4"for side yard setback
- 2) Building Coverage as per Village of Bronxville Municipal Code 310-10 E Required 22.5%/ 3595 sf; Existing 4144 sf/ 25.9%; Proposed 4412 sf/ 27.99%; Building Coverage Variance required - 817 sf/ 5.5%

This document constitutes a final administrative determination by the Building Inspector denying your application for the reasons set forth above. Section 7-712(a) of the New York State Village Law provides that any appeal of this decision must be filed within 60 days of the date hereof with the Zoning Board of Appeals of the Village of Bronxville.

  
\_\_\_\_\_  
Paul Taft  
Building Inspector

CC: Weismiller, Bradley

ROBERT BUCKLEY  
20 TANGLEWYLDE AVE  
BRONXVILLE, NY 10708

June 7<sup>th</sup>, 2023

Bronxville Building Dept

Village of Bronxville  
Department of Buildings  
200 Pondfield Road  
Bronxville, NY 10708

JUN - 7 2023

RECEIVED

Re: Weismiller Variance Application - 16 Tanglewylde Ave

To Whom It May Concern:

I have reviewed the plans associated with the expansion of the Weismiller's house located at 16 Tanglewylde Ave, immediately to the West of our property. I understand that a variance has been requested and a hearing will be held on June 27<sup>th</sup>, 2023.

As the only neighbor with any reasonable exposure to the project and the aforementioned variance – I have no objection to the plans as presented, and offer my full support to granting the variances.

Please contact me directly should you have any concerns.

Regards,

  
Robert Buckley

Survey of plot situate in the Village of Bronxville, County of Westchester and State of New York, known and designated as Lot No. 13A in Block A on a certain map entitled, "Map No.2 of Lawrence Park and Associated Properties situated at Bronxville, Westchester County, N.Y.", dated February 17, 1920 and filed in the Office of the County Clerk of Westchester County, Division of Land Records on May 10, 1957 as Map No. 2237.

**RONALD PERSAUD, L.S.**  
**LAND SURVEYOR**  
 15 South Tenth Ave  
 MOUNT VERNON, N.Y. 10550  
 Tele : (914) 523-5808  
 Email: ronaldpersaud1510@gmail.com

Blk.2 Tax Lot 3 : 15,977.3 sq.ft.(0.367 Acre)  
 Surveyed : July 10, 2021 Map Drafted : July 13, 2021  
 Survey Updated (New Patio): January 22, 2023

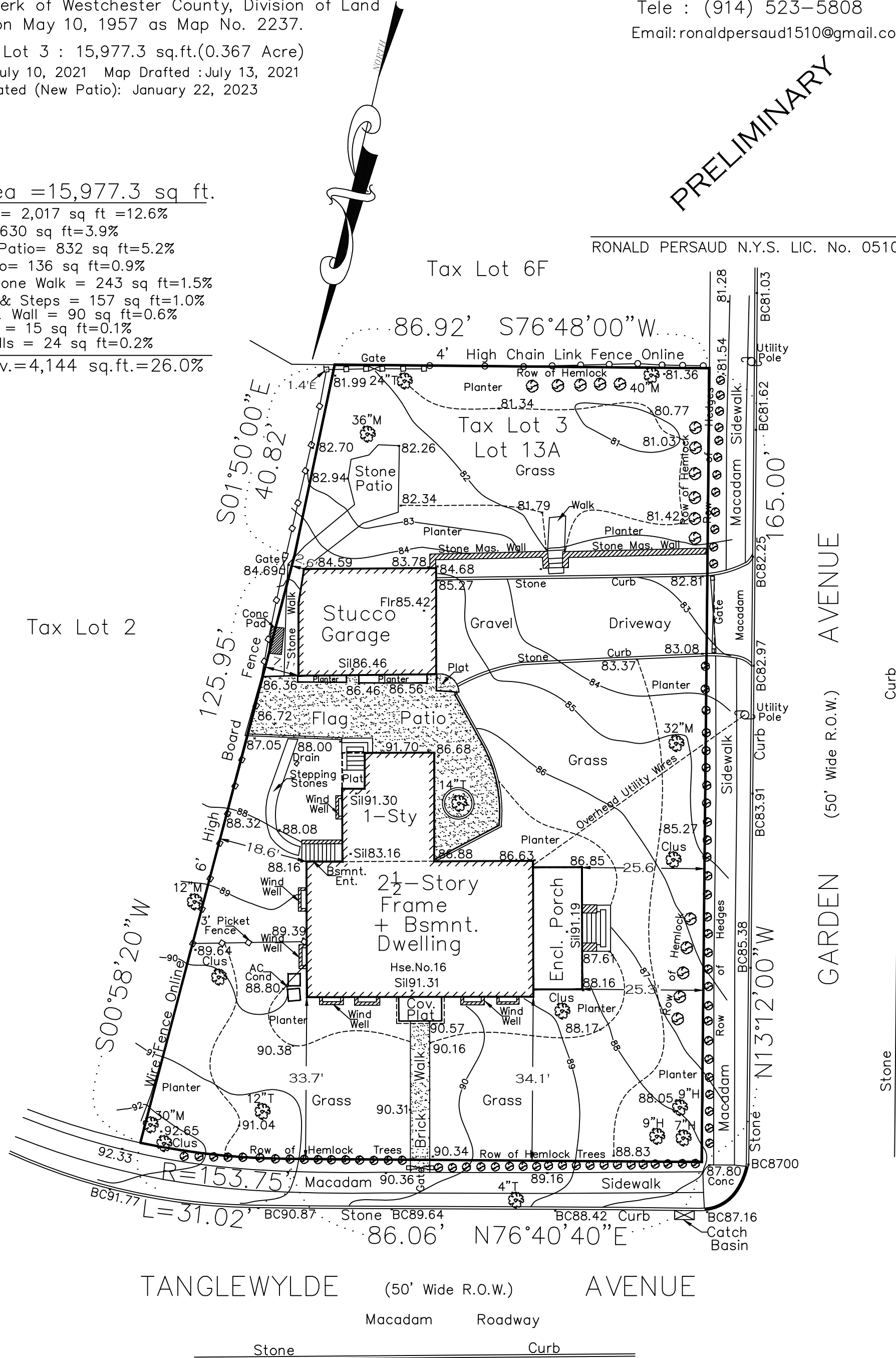
Lot Area = 15,977.3 sq ft.

Main Bldg = 2,017 sq ft = 12.6%  
 Garage = 630 sq ft = 3.9%  
 Flagstone Patio = 832 sq ft = 5.2%  
 Stone Patio = 136 sq ft = 0.9%  
 Brick & Stone Walk = 243 sq ft = 1.5%  
 Platforms & Steps = 157 sq ft = 1.0%  
 Stone Mas. Wall = 90 sq ft = 0.6%  
 Conc. Pad = 15 sq ft = 0.1%  
 Window Wells = 24 sq ft = 0.2%

Total Cov. = 4,144 sq.ft. = 26.0%

RONALD PERSAUD N.Y.S. LIC. No. 051087

PRELIMINARY



All Elevations referenced to the North American Vertical Datum of 1988. .91.04 Denotes Elevation value in feet.  
 Unauthorized alteration or addition to this survey map is a violation of Section 7209 Subsection 2, of the New York State Education Law.  
 No guarantee is implied by this map as to the existence or non-existence of any easements of record that would affect subject property, unless surveyor has been furnished a complete copy of the title report.  
 Dimensions shown from structures to property lines are not intended to be used for construction of fences, structures or other improvements.

"Surveyed As In Possession"

SCALE : 1" = 20'

INDEX: COO-079

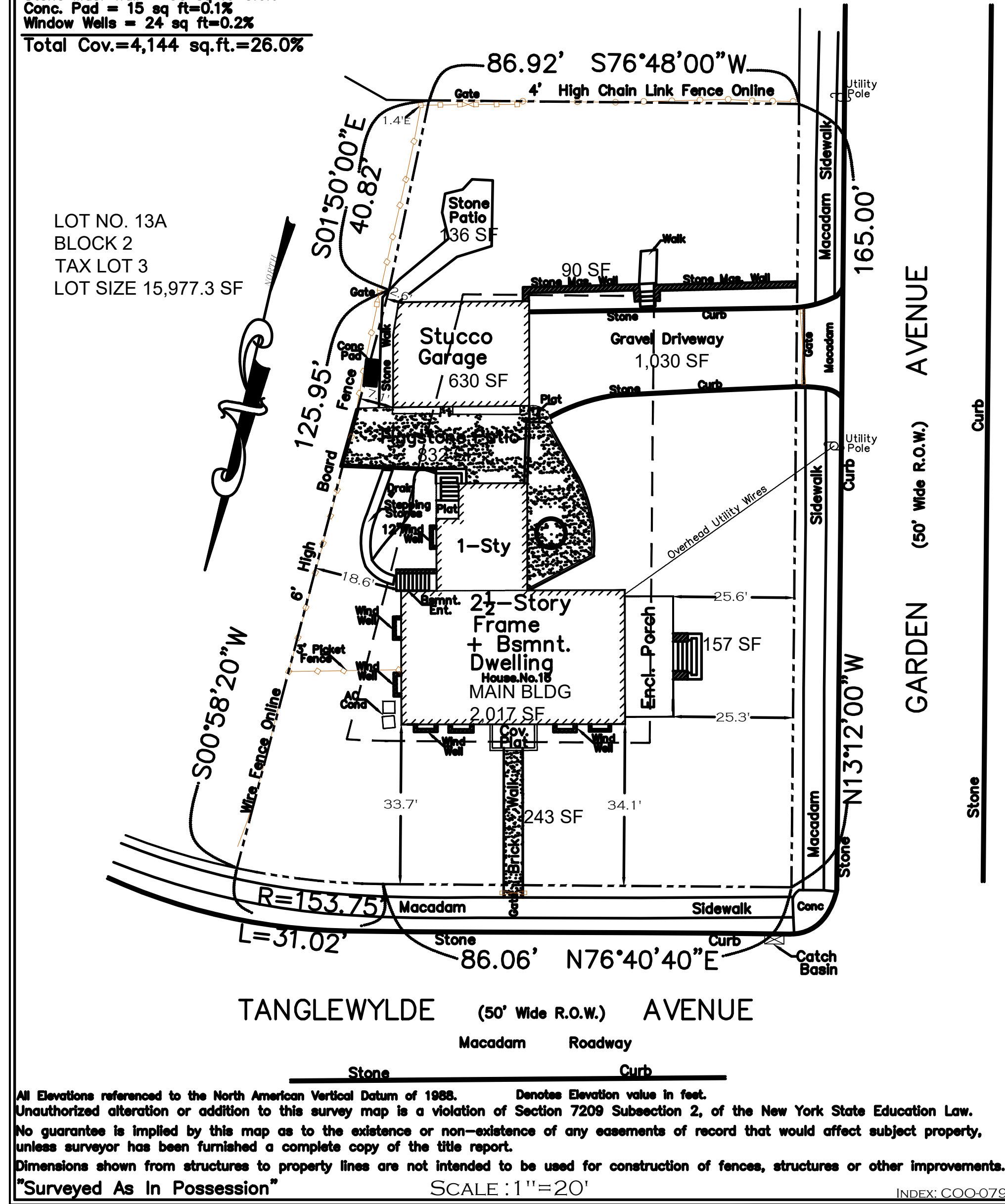
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**RONALD PERSAUD, L.S.**  
 LAND SURVEYOR  
 15 South Tenth Ave  
 MOUNT VERNON, N.Y. 10550  
 Tele : (914) 523-5808  
 Email: ronaldpersaud1510@gmail.com

Blk.2 Tax Lot 3 : 15,977.3 sq.ft.(0.367 Acre)  
 Surveyed : July 10, 2021 Map Drafted : July 13, 2021  
 Survey Updated (New Patio): January 22, 2023

Lot Area = 15,977.3 sq. ft.  
 Main Bldg = 2,017 sq ft = 12.6%  
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 Conc. Pad = 15 sq ft = 0.1%  
 Window Walls = 24 sq ft = 0.2%  
 Total Cov. = 4,144 sq.ft. = 26.0%

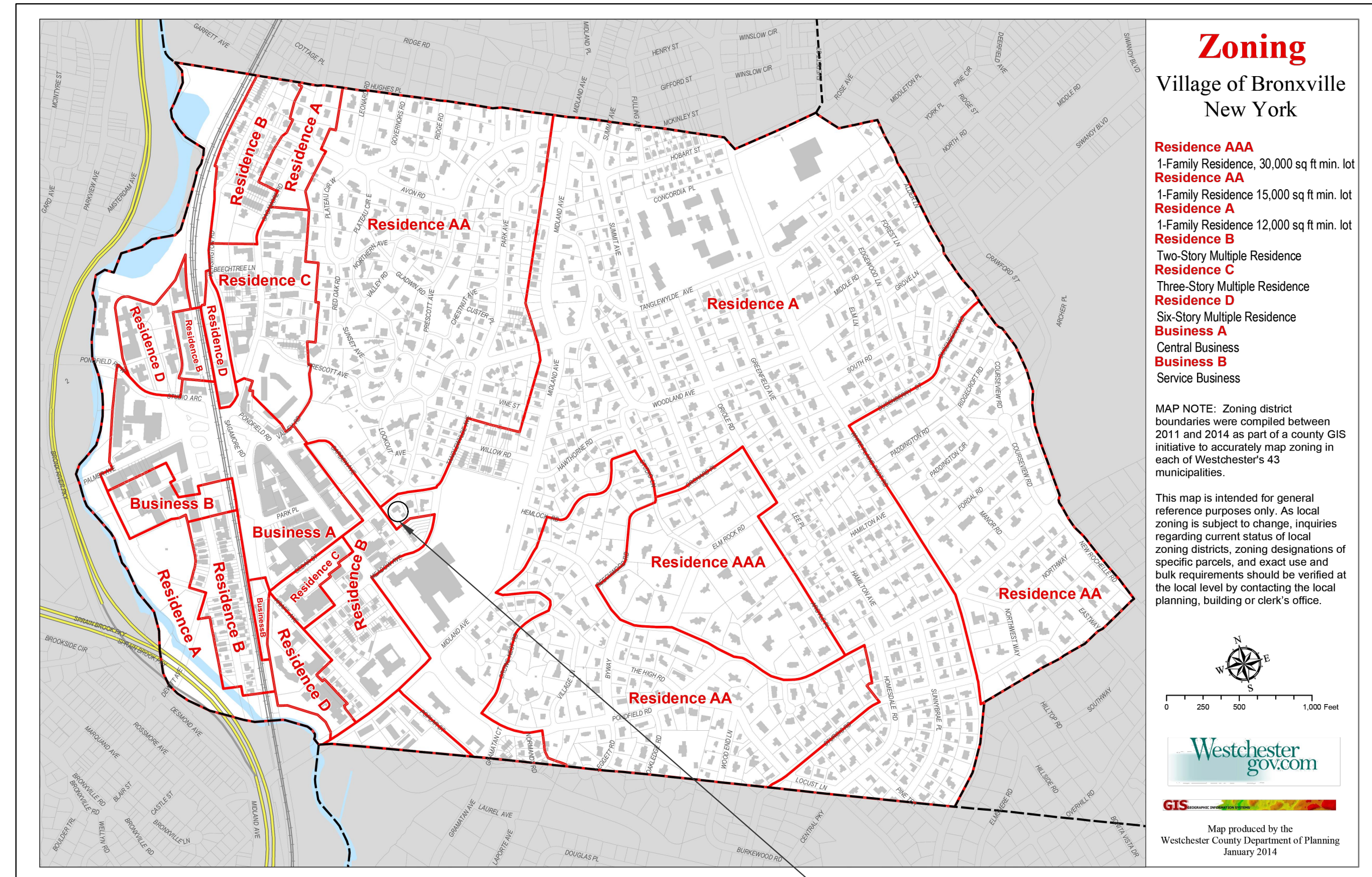
RONALD PERSAUD N.Y.S. LIC. No. 051087



1 SITE SURVEY  
 SCALE: 1:20



2 SATELLITE MAP  
 SCALE: NTS



3 LOCATION MAP  
 SCALE: NTS

**SCOPE OF WORK:**

THE PROPOSED WORK FOR THE RESIDENCE AT 16 TANGLEWYLDE AVENUE INVOLVES THE DEMOLITION OF THE EXISTING BACK COVERED ENTRANCE AND STEPS UP AND THE REMOVAL OF THE EXISTING STEPS DOWN TO THE BASEMENT. A NEW LARGER BACK ENTRY FOYER WITH STORAGE CLOSETS WILL BE CONSTRUCTED AS WELL AS AN ADJOINING SITTING ROOM. ALSO A GALLERY HALLWAY OFF OF THE EXISTING LIVING ROOM (ON THE SOUTH SIDE) WILL BE BUILT. TOTAL NEW SQUARE FOOTAGE IS 219 SF. IN ADDITION, NEW STEPS DOWN TO THE BASEMENT ON THE WEST ELEVATION SIDE WILL ALSO BE CONSTRUCTED.

THE CORNER OF THE NEW BACK ENTRY FALLS WITHIN THE 15 FOOT SIDEYARD SETBACK, WHICH IS THE REASON FOR THE APPLICATION FOR VARIANCE.

ALL WORK WILL COMPLY WITH THE 2020 NEW YORK STATE BUILDING CODE AND THE 2020 NYS ENERGY CODE.

ALL ELECTRICAL WORK SHALL COMPLY WITH UL REQUIREMENTS AND THE NATIONAL ELECTRIC CODE.

A NEW SMOKE AND CARBON MONOXIDE DETECTOR WILL BE ADDED TO THE NEW BACK ENTRY.

ALL EXISTING R-VALUES ARE COMPLIANT AND WILL BE MAINTAINED.

ALL NEW LIGHTING WILL SATISFY AND COMPLY WITH 2021 IECC RESIDENTIAL PROVISIONS.

**PROJECT CONTACTS:**

ARCHITECT:  
 BRIAN O'KEEFE ARCHITECT P.C.  
 445 WEST 162ND STREET  
 NEW YORK, NY 10032  
 PHONE: 212.957-9790

DRAWING LIST	
A - 000.00	COVER SHEET- EXISTING SITE SURVEY, LOCATION MAP, DRAWING LIST
A - 001.00	ZONING ANALYSIS
A - 002.00	EXISTING & PROPOSED PLOT PLANS
A - 003.00	EXISTING & PROPOSED FIRST FLOOR PLAN
A - 004.00	EXISTING/DEMOLITION ELEVATIONS
A - 005.00	PROPOSED ELEVATIONS

Brian O'Keefe Architect, P.C.

445 West 162nd Street  
 New York, NY 10032

Phone: 212.957.9790  
 Fax: 212.245.0157

16 Tanglewylde Avenue  
 Bronxville, NY 10708

NOTE:  
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CONSULTANTS:

START DATE: 03/30/2023  
 DRAWN BY: BOKA  
 SCALE: AS SHOWN  
 PLOT DATE:  
 FILE:

DRAWING NO.: of

**A-000.00**

DESIGNER:

DRAWING TITLE:  
 COVER SHEET



ZONING INFORMATION.

BLOCK 2 LOT: 13A  
ZONING DISTRICT: RESIDENCE A

Zoning Compliance Worksheet – District 'A'

Bronxville District 'A'	District	Height	Stories	Lot Area	Lot Width	Lot Depth	Front Yard	Alt. Front Yard	Side Yard with Garage	Side Yard without Garage	Side Yard corner lot with garage	Side Yard Alternative	Rear Yard	Fence > than 6-1/2'	Paved terraces, steps, and walks	ACC Building	Max Building coverage	Off street parking	FAR	Open space	
Bronxville District 'A' Description of Bulk Requirements	A	30' Mean Height	2-1/2	12,000 SF	80'	100'	30'	a) angle of building b) average of homes within 300'	15'	15'/27' min side yard/ second side min.	30'/15' opposite principal front/ opposite second front	30'/27' Lesser side yard reduced by 5'	30'	same as a building	15' street line, 4' property line	no nearer to the street	22.5%	Not less than 1 spaces	31%	55% Open Space 45% Impervious Area-	
310-10 Code Section- https://ecode360.com/9450368	310-10 A	310-10 B	310-10 C	310-10 C	310-10 C	310-10 C	310-10 D(1)	310-10 D(1)	310-10 D(2)	310-10 D(2)	310-10 D(2)	310-10 D(2)	310-10 D(3)	310-10 D(4)	310-10 D(4)	310-10 D(5)	310-10 E	310-10 F	310-10 G, 310-22 E	310-10 H	
Property Address: 16 Tanglewylde Avenue																					
Allowed	A	30'	2.50	15,977	80'	100'	30'		15'	15'27'	30'/15'	30'/27'	30'		15/4'		22.5% X 0.31= 3,595	1	15,977 X 0.31= 4,953	8,787 Impervious 7,190	
Existing	A		2.5	15,977	86'	165'	34.1'		18.6'		30'/15'		40'		15/4'		4,144 See calc below*	1	4,018	Open space 10,803 Impervious 5,174	
Proposed	A		2.5	15,977	86'	165'	34.1'		13.66'		30'/15'		40'		15/4'		4,412	1	4,240	Open space 10,535 Impervious 5,442	
Variance required = (proposed - allowed)									X												

\*\*Existing Building Coverage Calculation:

House First Floor	2,017 Sq. Ft.
Garage	630
Patios	968
Brick & Stone Walk	243
Platforms & Steps	157
Stone Masonry wall	90
Concrete pad	15
Window wells	24
Total	4,144 Sq. Ft.

16 TANGLEWYLDE AVENUE  
BRONXVILLE, NY 10708

ZONING ANALYSIS  
DISTRICT RESIDENCE A

EXISTING BUILDING COVERAGE CALCULATION

MAIN HOUSE	2,017	SQ. FT.
GARAGE	630	
PATIOS	968	
WALKWAYS	243	
PLATFORMS, STEPS	157	
STONE MASONRY WALL	90	
CONCRETE PAD	15	
WINDOW WELLS	24	

TOTAL EX BUILDING COVERAGE	4,144	SQ. FT.
LOT SIZE	15,977.00	
IMPERVIOUS	0.26 OR 26%	
<b>26% &gt; 22.5% NON-COMPLIANT</b>		

EXISTING OPEN SPACE CALCULATION

LOT SIZE	15,977.00	SQ. FT.
TOTAL EX BUILDING COVERAGE	4,144	
EXISTING DRIVEWAY (NO CHANGE)	1,030	
TOTAL EXISTING OPEN SPACE	10,803	
OPEN SPACE	0.676 OR 67.6%	
<b>67.6% &gt; 55% IN COMPLIANCE</b>		

EXISTING FAR CALCS

ALLOWED FAR: 0.31 X 15,977 LOT SIZE = 4,953 SQ. FT. MAX ALLOWABLE

BASEMENT	NIC	
FIRST FLOOR	2,017	SQ. FT.
SECOND FLOOR	1,310	
ATTIC	461	
GARAGE: 630-400	230	
TOTAL	4,018	SQ. FT.
LOT SIZE	15,977.30	
FAR	0.25 OR 25%	
<b>4,018 &lt; 4,953 SQ. FT. IN COMPLIANCE</b>		

PROPOSED BUILDING COVERAGE CALCULATION

MAIN HOUSE	2,017	SQ. FT.
ADDED AREA	222	
GARAGE	630	
PATIOS	983	
WALKWAYS	243	
PLATFORM , STEPS	124	
ADDED STAIRS AREA	64	
STONE MASONRY WALL	90	
CONCRETE PAD	15	
WINDOW WELLS	24	

TOTAL PROP BUILDING COVERAGE	4,412	SQ. FT.
LOT SIZE	15,977.00	
IMPERVIOUS	0.28 OR 28%	
<b>28% &gt; 22.5% NON-COMPLIANT</b>		

PROPOSED OPEN SPACE CALCULATION

LOT SIZE	15,977.00	SQ. FT.
TOTAL PROP BUILDING COVERAGE	4,412	
EXISTING DRIVEWAY (NO CHANGE)	1,030	
TOTAL PROPOSED OPEN SPACE	10,535	
OPEN SPACE	0.66 OR 66%	
<b>66% &gt; 55% IN COMPLIANCE</b>		

PROPOSED FAR CALCS

ALLOWED FAR: 0.31 X 15,977 LOT SIZE = 4,953 SQ. FT. MAX ALLOWABLE

BASEMENT	NIC	
FIRST FLOOR	2,017	SQ. FT.
SECOND FLOOR	1,310	
ATTIC	461	
GARAGE	230	
TOTAL	4,240	SQ. FT.
LOT SIZE	15,977.30	
FAR	0.265 OR 26.5%	
<b>4,240 &lt; 4,953 SQ. FT. IN COMPLIANCE</b>		

Brian O'Keefe Architect, P.C.

445 West 162nd Street  
New York, NY 10032

Phone: 212.957.9790  
Fax: 212.245.0157

ISSUED:

REVISION:	DATE:	DESCRIPTION:
	05/17/23	FILING

16 Tanglewylde Avenue  
Bronxville, NY 10708

NOTE:

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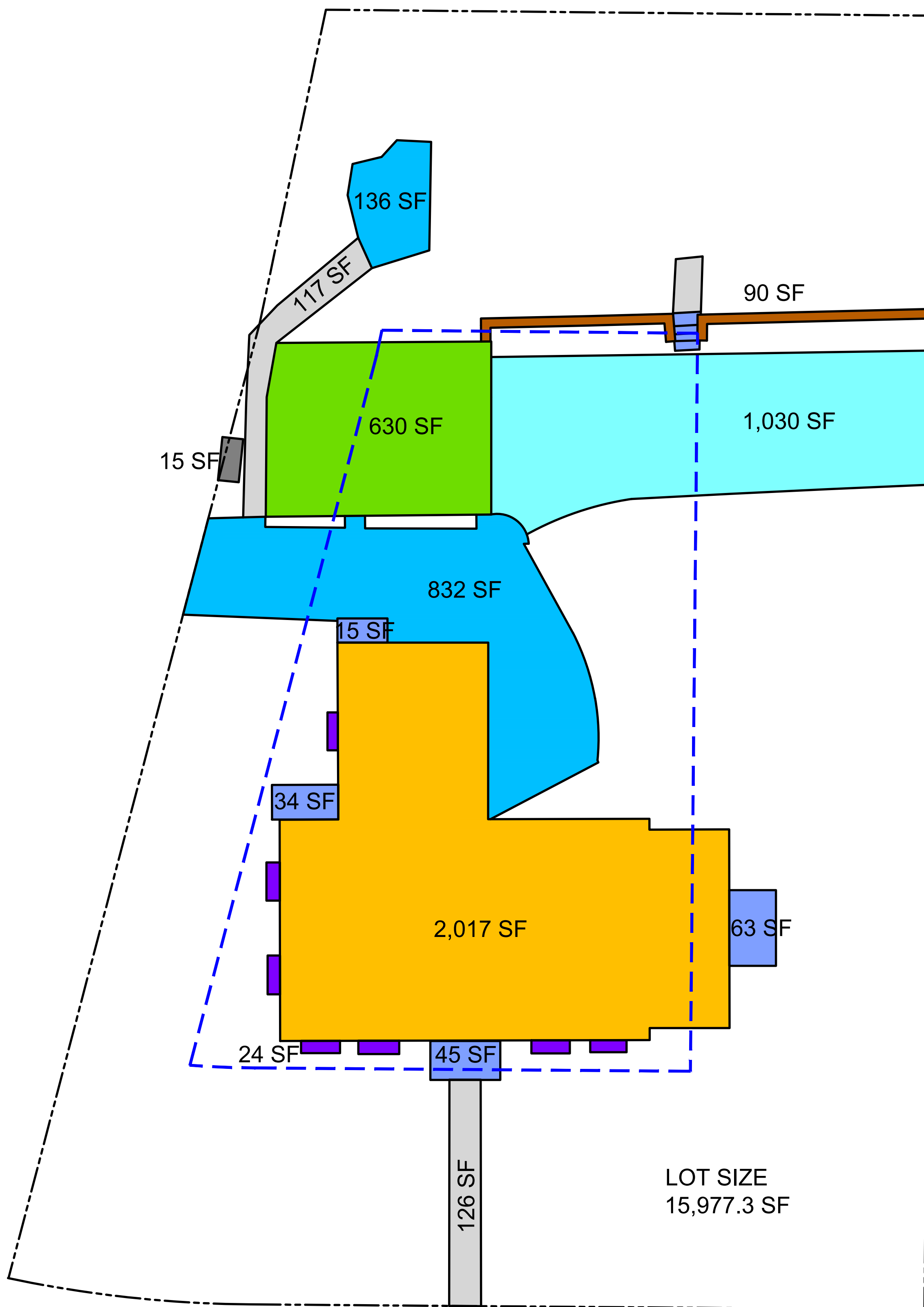
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START DATE: 03/30/2023  
DRAWN BY: BOKA  
SCALE: AS SHOWN  
PLOT DATE:  
FILE:

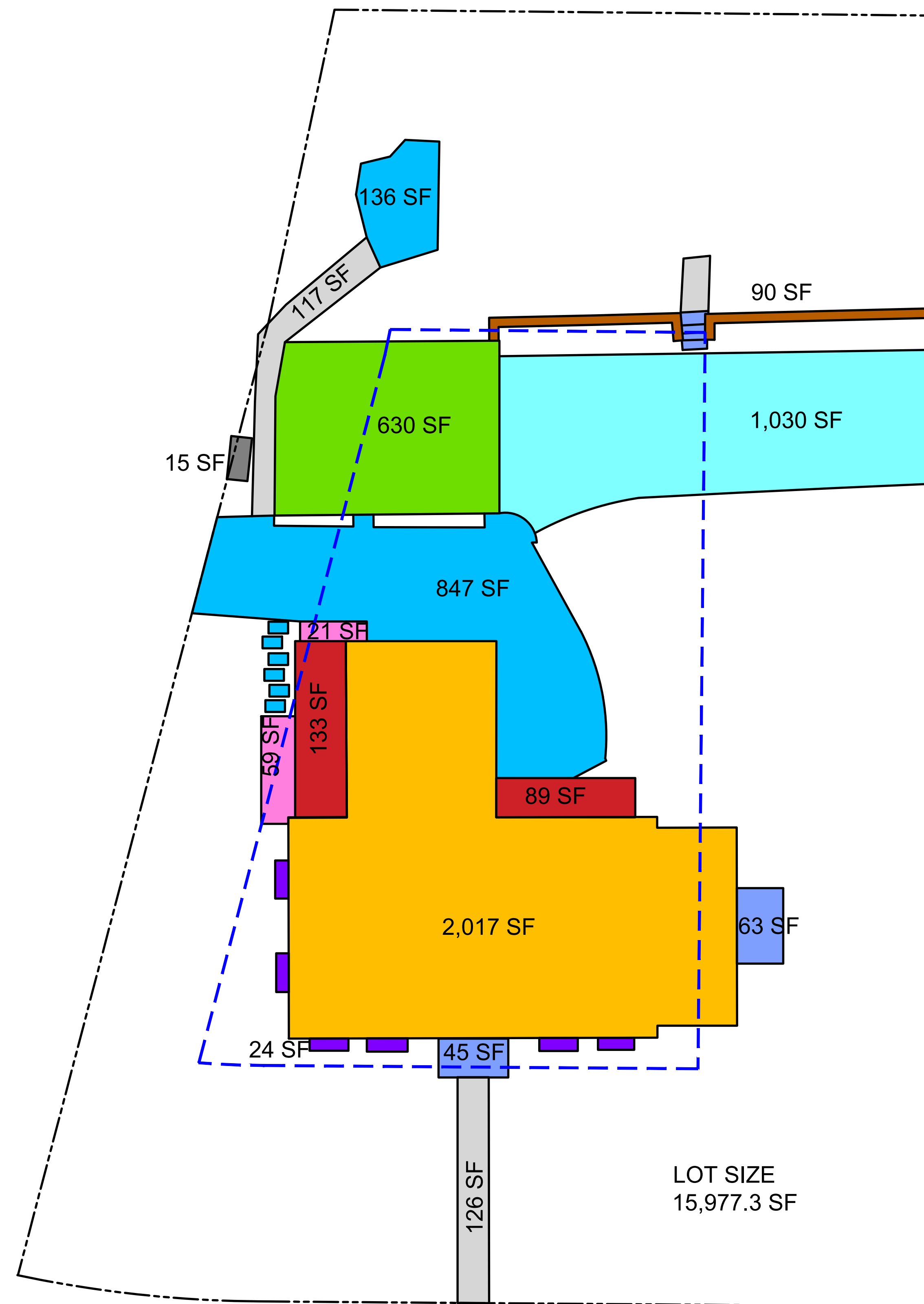
DRAWING NO.: of

A-001.00

DRAWING TITLE:  
ZONING ANALYSIS



1 EXISTING PLOT PLAN  
SCALE: 1" = 10'-0"



2 PROPOSED PLOT PLAN  
SCALE: 1" = 10'-0"

Brian O'Keefe Architect, P.C.

445 West 162nd Street  
New York, NY 10032

Phone: 212.957.9790  
Fax: 212.245.0157

DESIGNER:

ISSUED:

REVISION:	DATE:	DESCRIPTION:
	05/17/23	FILING

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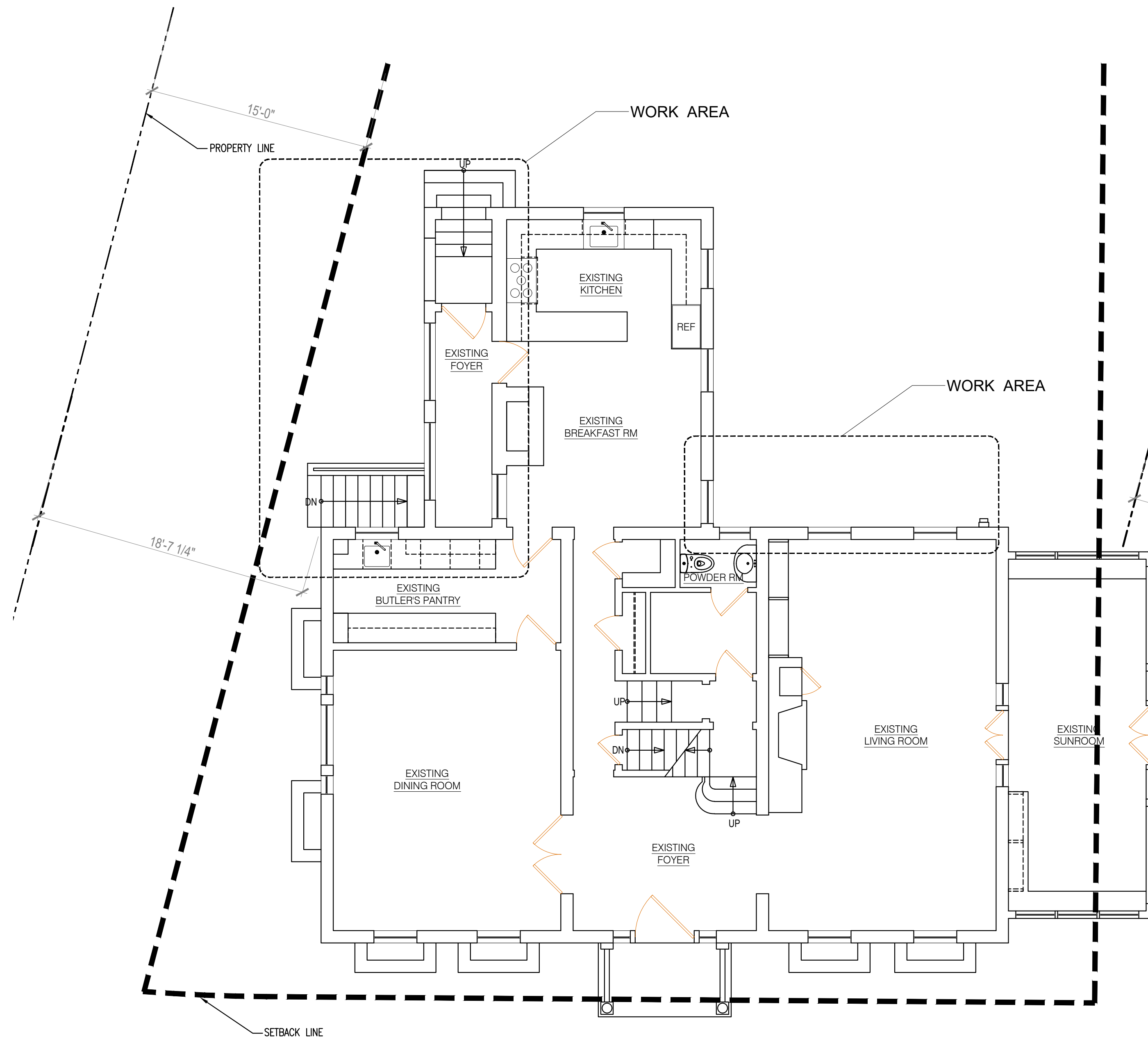
CONSULTANTS:

START DATE: 03/30/2023  
DRAWN BY: BOKA  
SCALE: AS SHOWN  
PLOT DATE:  
FILE:

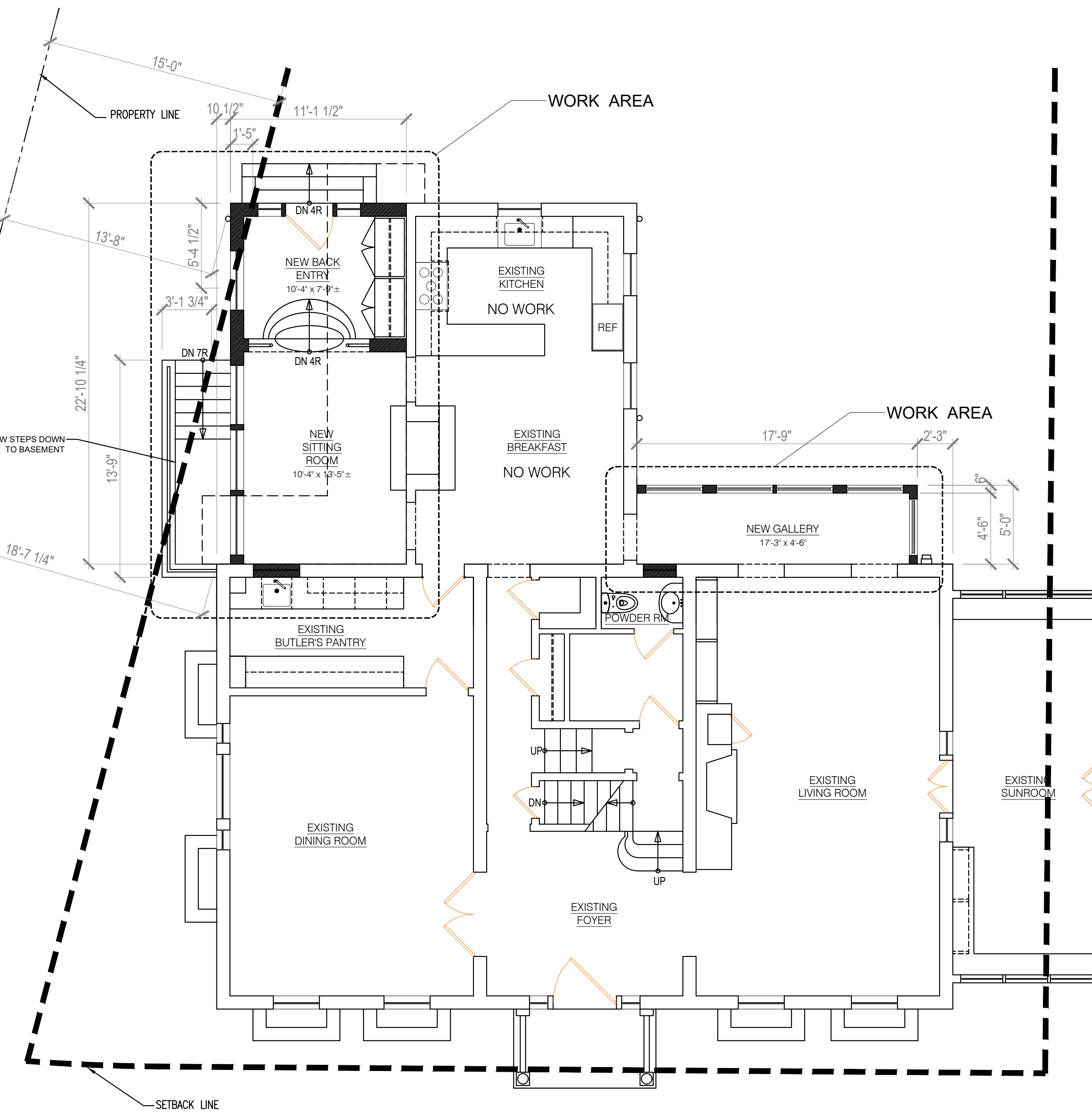
DRAWING NO.: of

A-002.00

DRAWING TITLE:  
EXISTING & PROPOSED PLOT PLANS



1 EXISTING FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"

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New York, NY 10032

Phone: 212.957.9790  
Fax: 212.245.0157

ISSUED:	REVISION:	DATE:	DESCRIPTION:
		05/17/23	FILING

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CONSULTANTS:

START DATE: 03/30/2023  
DRAWN BY: BOKA  
SCALE: AS SHOWN  
PLOT DATE:  
FILE:

DRAWING NO.: of

A-003.00

DRAWING TITLE:  
EXISTING & PROPOSED FLOOR PLANS

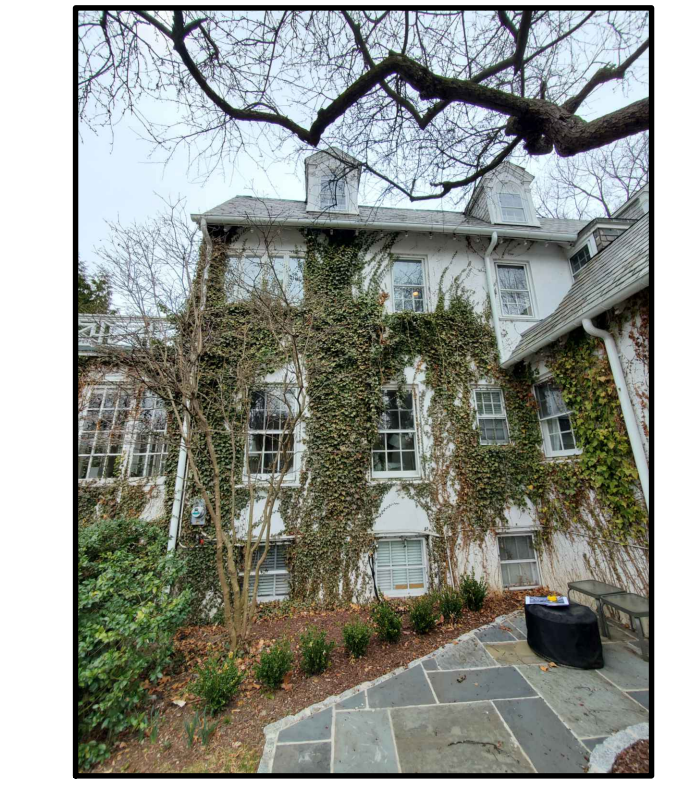
DESIGNER:



**1** EXISTING/DEMO SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



**4** EXISTING RESIDENCE (SOUTH)  
SCALE: NTS



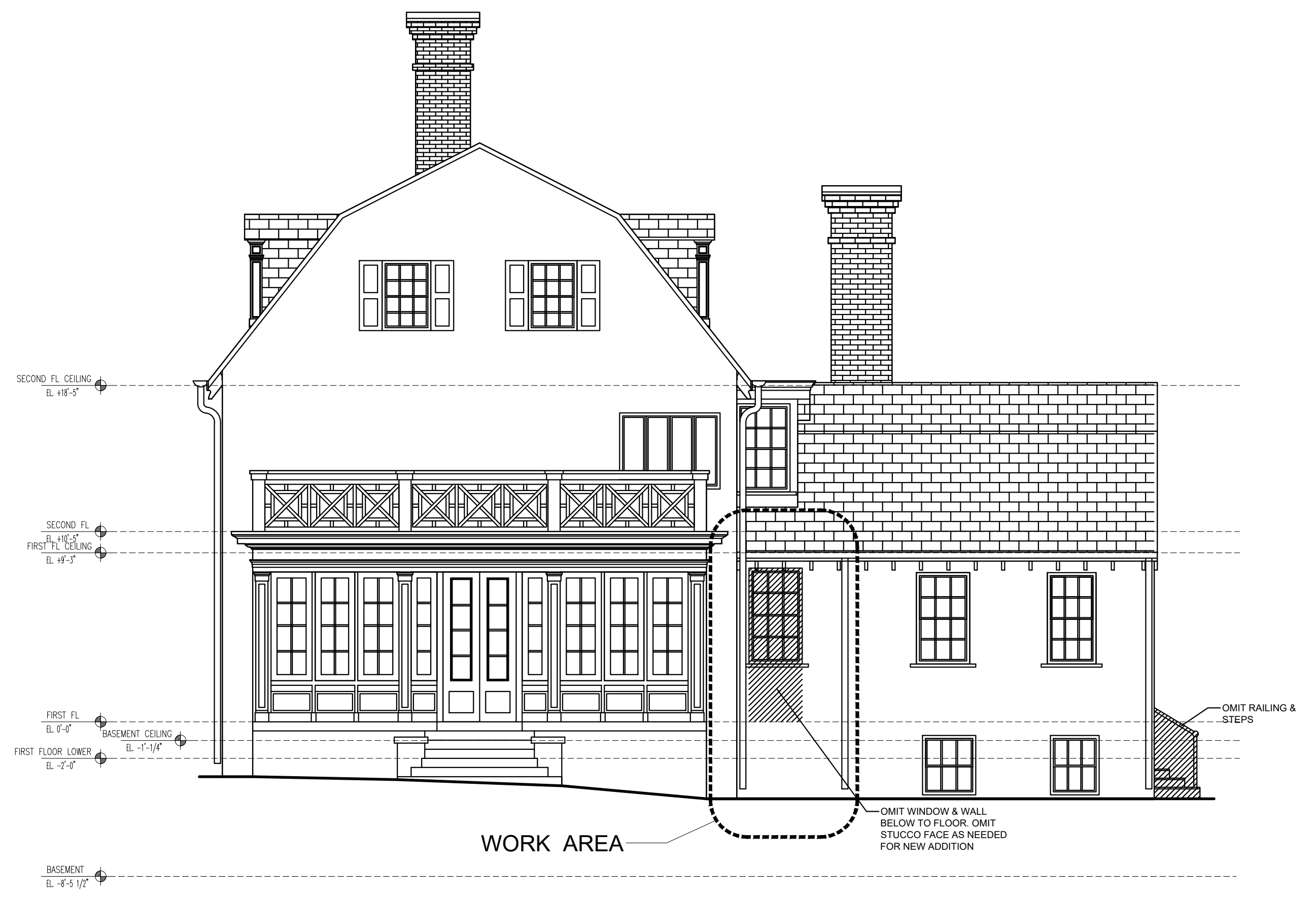
**5** EXISTING RESIDENCE (SOUTH)  
SCALE: NTS



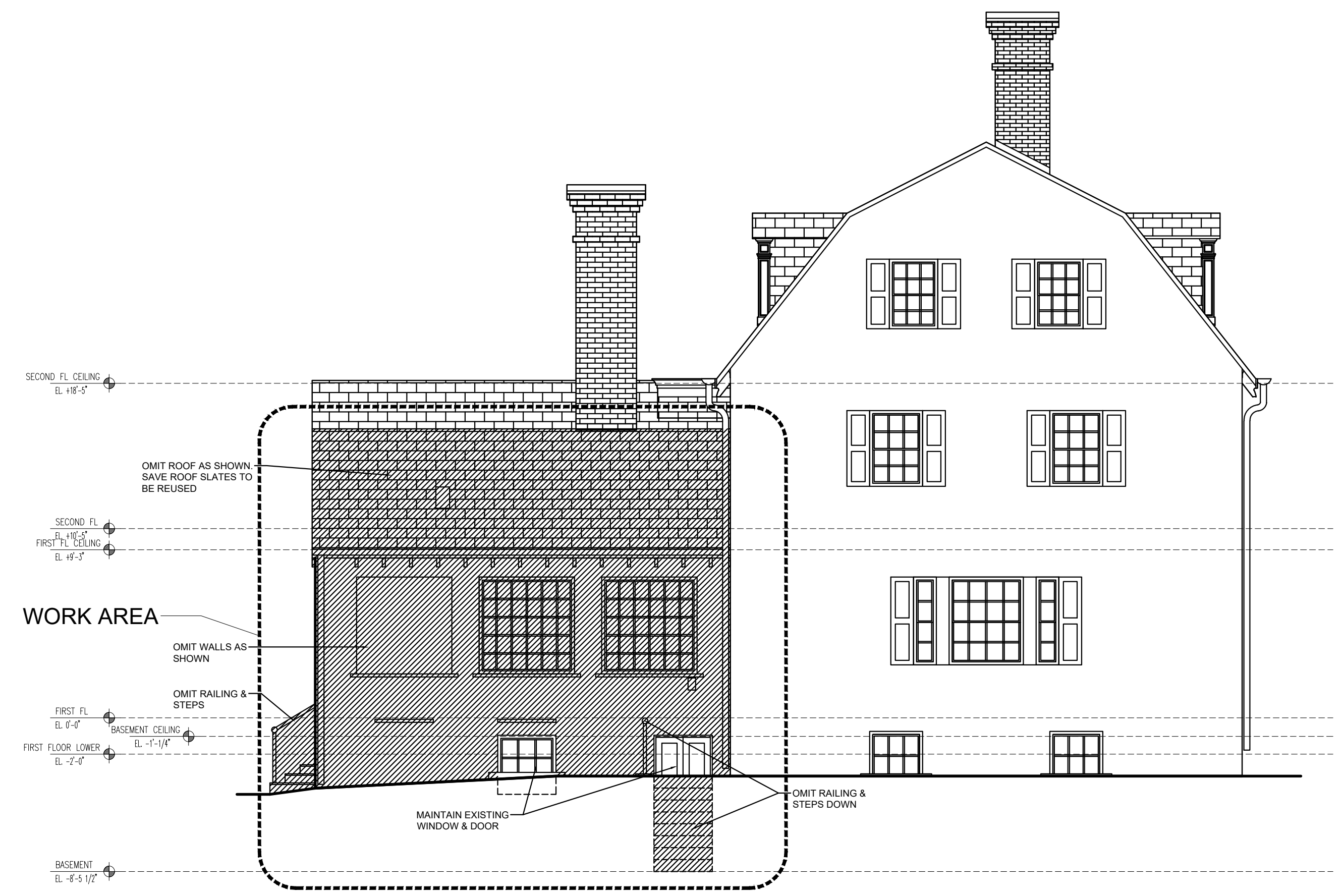
**6** EXISTING BACK ENTRY  
SCALE: NTS



**7** EXISTING EAST SUNROOM  
SCALE: NTS



**2** EXISTING/DEMO EAST ELEVATION  
SCALE: 3/16" = 1'-0"



**3** EXISTING/DEMO WEST ELEVATION  
SCALE: 3/16" = 1'-0"

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FILE:

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**A-004.00**

DESIGNER:

DRAWING TITLE:  
EXISTING ELEVATIONS



1 PROPOSED SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



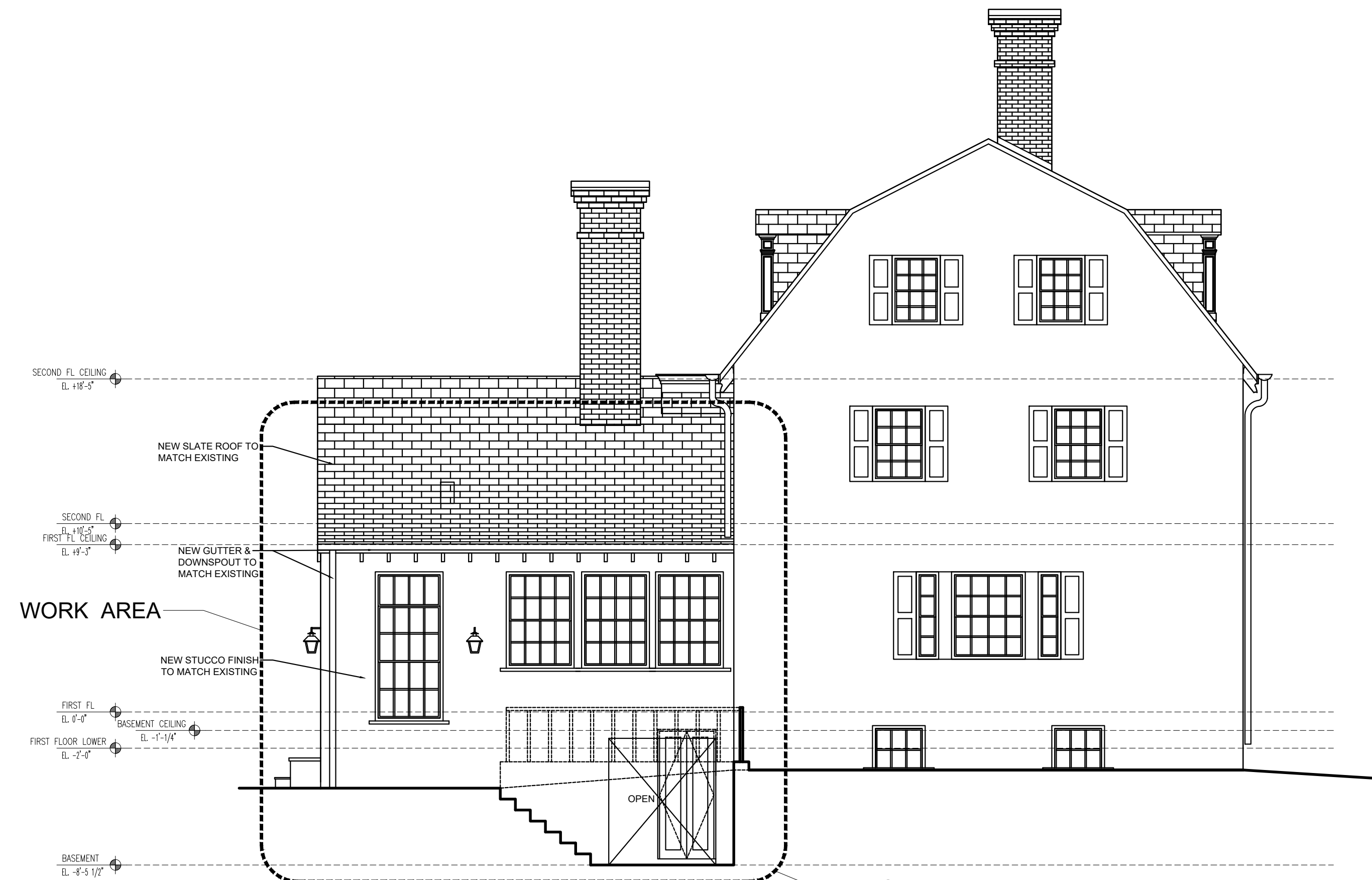
4 PROPOSED NEW BACK ENTRY (RENDERING)  
SCALE: NTS



5 PROPOSED NEW GALLERY (RENDERING)  
SCALE: NTS



2 PROPOSED EAST ELEVATION  
SCALE: 3/16" = 1'-0"



3 PROPOSED WEST ELEVATION  
SCALE: 3/16" = 1'-0"

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DRAWING NO.: of

A-005.00

DRAWING TITLE: PROPOSED ELEVATIONS



SECTION R903  
WEATHER PROTECTION

R903.2.1. LOCATIONS  
FLASHING SHALL BE INSTALL AT WALL AND ROOF INTERSECTIONS: WHEREVER THERE IS A CHANCE IN ROOF SLOPE OR DIRECTION; AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION-RESIDENT WITH A THICKNESS OF NOT LESS THAN 0.019 INCH (#26 GALVANIZED SHEET).

R905.2. ASPHALT SHINGLES

R905.2.1. SHEATHING REQUIREMENTS.  
ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.

R905.2.3. UNDERLAYMENT.  
UNLESS OTHERWISE NOTED, REQUIRED UNDERLAYMENT PER SECTION R905.1.1  
- UNDERLAYMENT TYPES PER TABLE R905.1.1(1)  
- UNDERLAYMENT APPLICATION PER PORTABLE R905.1.1(2)  
- UNDERLAYMENT ATTACHMENT PER PORTABLE R905.1.1(3)

R905.2.4. ASPHALT SHINGLES.  
ASPHALT SHINGLES SHALL HAVE SELF-SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH D 3462.

R905.2.5. FASTENERS.  
FASTENERS FOR ASPHALT SHINGLE SHALL BE GALVANIZED STEEL. ALUMINUM OR COPPER ROOFING NAILS, MINIMUM 12 GAGE (0.105 INCH(2.67MM)) SHANK WITH A MINIMUM 3/8" (9.5MM) DIAMETER HEAD, ASTM F 1667, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF 3/4 INCH (19.1MM) INTO THE ROOF SITTINGS, WHERE THE ROOF SHEATHINGS IS LESS THAN 3/4 INCH (19.1MM) THICK, THE FASTENERS SHELL PENETRATE THROUGH THE SHEATHINGS. FASTENERS SHALL COMPLY WITH ASTM F 1667.

R905.2.6. ATTACHMENT.  
ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER FOR NORMAL APPLICATION, ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN 4 FASTENERS PER STRIP SHINGLE OR 2 FASTENERS PER INDIVIDUAL SINGLE. WHERE THE ROOF SLOPE EXCEEDS 21 UNITS VERTICAL IN 12 UNITS HORIZONTAL (20:12). SPECIAL METHODS OF FASTING ARE REQUIRED PER MANUFACTURER.

EXCEPTION:  
ASPHALT STRIP SHINGLES SHALL HAVE A MINIMUM OF 6 FASTENERS FOR SHINGLE WERE THE ROOF IS IN ONE OF THE FOLLOWING CATEGORIES:  
1. THE BASIC THE BASIC WIND SPEED FOR FIGURE R301.2(4) IS 110 MILES PER HOUR (177KM/H) OR GREATER AND THE EAVE IS 20' (6096MM) OR HIGHER ABOUT GRADE.  
2. THE BASIC WIND SPEED PER FIGURE R301.2(4) IS 120 MILES PER HOUR (193KM/H) OR GREATER.  
3. SPECIAL WIND ZONE PER FIGURE R301.2(4).

R905.2.7. ICE PROTECTION.  
IN AREAS WHERE THE AVERAGE DAILY TEMPERATURE IN JANUARY IS 25F (-4C) OR LESS OR PER SECTION R905.1.2 CRITERIA SO DESIGNATES AN ICE BARRIER THAT CONSISTS OF A LEAST 2 SELF-ADHERING POLYMER MODIFIED BITUMEN SHEETS, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE EAVE'S EDGE TO A APPOINT AT LEAST 24" (610MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

R905.2.8 FLASHING.

R905.2.8.1 BASE AND CAP FLASHING.  
BASE AND CAP FLASHING SHALL BE INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. BASE FLASHING SHALL BE OF EITHER CORROSION-RESISTANT METAL OF MINIMUM NORMAL 0.019" (0.483MM) THICKNESS OR MINERAL SURFACE ROLL ROOFING WEIGHING A MINIMUM OF 77 POUNDS PER 100 FT² (3.76KG/M2) CAP FLASHING SHALL BE CORROSION-RESIDENT METAL OF MINIMUM NORMAL 0.019" (0.483MM) THICKNESS.

R905.2.8.2. VALLEYS.  
VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED.  
1. FOR OPEN VALLEY (VALLEY LINING EXPOSED) LINED WITH METAL, THE VALLEY LINING SHALL BE AT LEAST 24" (610MM) WIDE AND OF ANY OF THE CORROSION-RESISTANT METALS IN TABLE R 905.2.8.2.  
2. FOR OPEN VALLEYS, VALLEY LINING OF 2 PLYS OFF MINERAL SURFACE ROLL ROOFING, COMPLYING WITH ASTM 3909 OR D 6380, SHALL BE PERMITTED. THE BOTTOM LAYER SHALL BE 18" (457MM) AND THE TOP LAYER A MINIMUM OF 36" (914MM) WIDE.  
3. FOR CLOSED VALLEYS (VALLEYS COVERED WITH SHINGLES), VALLEY LINING OF ONE PLY OF SMOOTH ROLL ROOFING COMPLYING WITH ASTM D 224 TYPE II OR TYPE III AND AT LEAST 36" (914MM) WIDE OR VALLEY LININGS AS DESCRIBED IN ITEMS 1 AND 2 ABOVE SHALL BE PERMITTED. SPECIALTY UNDERLAYMENT COMPLYING WITH ASTM D 1970 MAY BE USED IN LIEU OF THE LINING MATERIAL.

SECTION R303 PER OF THE 2020 NEW YORK STATE RESIDENTIAL CODE  
LIGHT, VENTILATION, AND HEATING

R303.1 HABITABLE ROOMS  
ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHELL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READLY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.

EXCEPTIONS.  
1. THE GLAZED AREA NEED NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED BY SECTION R310 AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.55 AIR CHANGE PER HOUR IN THE ROOM OR WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CUBIC FEET PER MINUTE (CFM)(7.08 L/S) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM.  
2. THE GLAZED AREA NEED NOT BE PROVIDED IN ROOMS WHERE EXCEPTION 1 ABOVE IS SATISFIED AND ARTIFICIAL LIGHT PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES (4.46 LUX) OVER THE AREA PF THE ROOM AT A HEIGHT OF 30" (762) ABOVE THE FLOOR AREA.

R303.4 STAIRWAY ILLUMINATION  
INTERIOR STAIRWAYS SHALL BE PROVIDED WITH ARTIFICIAL LIGHT SOURCE LOCATED IN THE IN IMMEDIATE VICINITY OFF EACH LANDING OF THE STAIRWAY. ILLUMINATE TREADS AND LANDINGS TO LEVELS NOT LESS THAN 10 FOOT-CANDLES (108 LX). EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GARAGE LEVEL SHALL BE PROVIDED WITH ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDINGS OF THE STAIRWAY.

R303.4.1 LIGHT ACTIVATION  
THE CONTROL FOR ACTIVATION OF THE REQUIRED INTERIOR STAIRWAY LIGHTING SHALL BE ACCESSIBLE AT THE TOP AND BOTTOM OF EACH STAIRWAY WITHOUT TRAVERSING ANY STEPS. THE ELIMINATION OF EXTERIOR STAIRWAYS SHALL BE CONTROLLED FROM INSIDE THE DWELLING UNIT.

TABLE R 905.2.8.2  
VALLEY LINING MATERIAL

MATERIAL	MATERIAL THICKNESS (INCHES)	MATERIAL	MATERIAL WEIGHT
COLD ROLLED COPPER	0.0216	-----	1602
ALUMINUM	0.024	-----	-----
STAINLESS STEEL	-----	28	-----
GALVANIZED STEEL	0.0179	26 (ZINC COATED G90)	-----
ZINC ALLOY	0.0216	-----	-----
LEAD	-----	-----	2 1/2
PAINTED TERNE	-----	-----	20

FOR SI: 1 INCH = 25.4mm, 1 POUND = 0.454 kg.

TABLE 402.1(1)  
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT (a.)

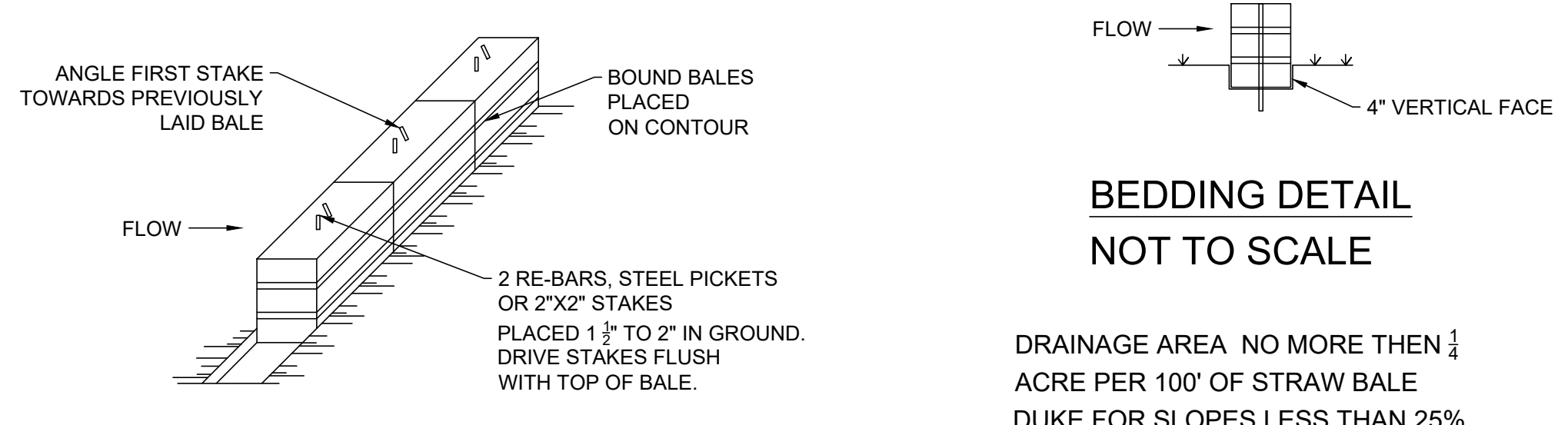
CLIMAT ZONE	FENESTRATION U-FACTOR	HSGC	SKYLIGHT (b.) U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL (h) R-VALUE	MASS WALL R-VALUE (g.)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE	SLAB (d) R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
4A	0.32	0.40	0.55	49	20 OR 13+5	8 / 13	19	10 / 13	10.2 FT	10 / 13

A. R- VALUE ARE MINIMUMS. U- FACTOR. R-20 INSULATION SHALL BE PERMITTED TO BE COMPRESSED IN 2X6 CAVITY.  
B. THE FENESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS.  
C. THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION, THE SECOND TO FRAMING CAVITY INSULATION; EITHER INSTALLATION MEETS THE REQUIREMENTS.  
D. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. - HEATED SLAB = CONTINUOUS R-5  
G. THIS SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.  
H. THE FIRST VALUE IS CAVITY. THE INTERIOR OF BASEMENT WALL.

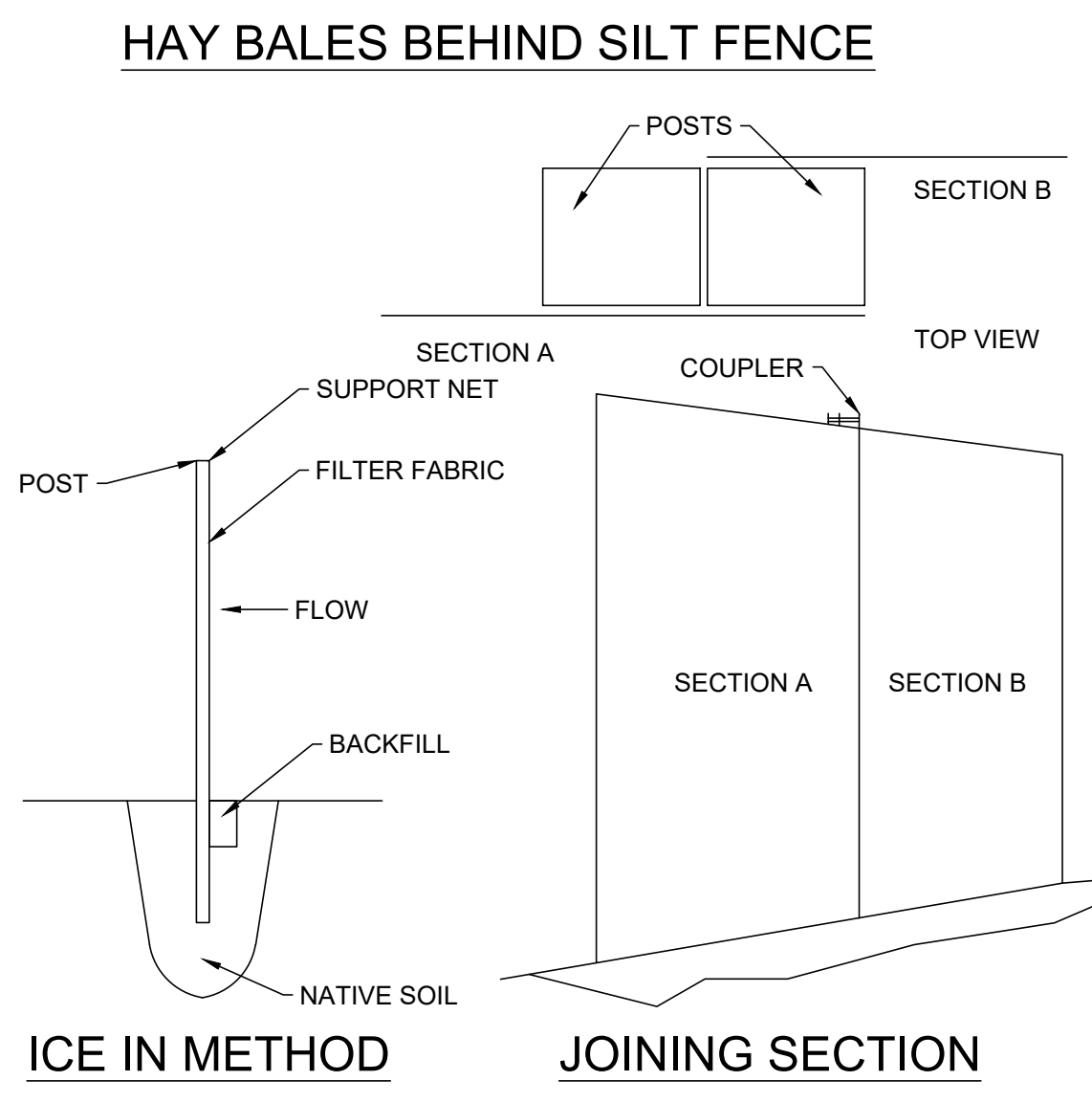
NO CHANGE OF USE, OCCUPANCY, OR ZONING IN THIS APPLICATION.

- SITE NOTES:
- DURING CONSTRUCTION / GRADING, THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES - CONSISTING OF A SILT FENCE OR HAY BALES AS REQUIRED TO PREVENT SOIL EROSION AND IN ACCORDANCE WITH PLANS APPROVED BY THE VILLAGE OF BRONXVILLE.
  - ALL REGRETTED SLOPES TO BE PLANTED OR RESEEDED AND STABILIZED IMMEDIATELY AFTER BACKFILLING.

- SEDIMENTATION AND EROSION CONTROL AND GENERAL NOTES.
- ALL WORK AND MATERIAL SHALL CONFORM TO THE LOCAL LAWS OF THE VILLAGE OF BRONXVILLE AND THE 2020 RESIDENTIAL CODE OF NY.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO STARTING WORK. HE SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER OR THE ARCHITECT.
  - AT THE VERY BEGINNING OF THE WORK, BEFORE CONSTRUCTING MACHINERY IS BROUGHT TO THE SITE, THE CONTRACTOR SHALL INSTALL ALL SILT FENCING AND HAY BALES AS SHOWN ON THE PLAN AND MAINTAIN IT IN GOOD CONDITION FOR THE DURATION OF THE WORLD AS DIRECTED BY THE INSPECTOR.
  - IT IS THE RESPONSIBILITY OF THE CONSTRUCTOR TO KEEP THE ADJACENT STREETS CLEAN OF DEBRIS RESULTING FROM THE EXCAVATION AND CONSTRUCTION ACTIVITIES.
  - ALL DRYWELLS SHALL BE LOCATED IN MINIMUM OF 10' FROM THE HOUSE AND ALL PROPERTY LINES.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS.
  - THE EXISTING PROPERTY SHALL BE CLEANED OF ALL EXISTING DEBRIS AND EXISTING OVERGROWN VEGETATION WILL BE CUT AND TRIMMED PRIOR TO THE PERMIT BEING ISSUED.
  - THE PROPOSED WORK DOES NOT INCLUDE EXTERIOR LANDSCAPE LIGHTING.
  - NO ENCROACHMENT BEYOND THE PROPERTY LINE IS PERMITTED.



- ANCHORING DETAIL NOT TO SCALE
- INSTALLATION NOTES
- EXCAVATE A 4" X 4" TRENCH ALONG THE LOWER PERIMETER OF THE SITE
  - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
  - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2" FROM THE TRENCH BOTTOM.
  - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
  - JOIN SECTIONS AS SHOWN ABOVE.



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DRAWING TITLE: GENERAL NOTES 2

A-002.00

**APPLICABILITY STATEMENT**

THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE IN THAT THIS IS A SINGLE FAMILY R-3 OCCUPANCY NOT MORE THAN 3 STORES IN HEIGHT WITH A SEPARATE MEANS OF EGRESS.  
 CONSTRUCTION CLASSIFICATION - TYPE V-B  
 WORK CLASSIFICATION  
 THE ROOMS CONTAINING WORK ARE LISTED BELOW WITH THE APPROPRIATE WORK CLASSIFICATION IN ACCORDANCE WITH APPENDIX J FOR THE SCOPE OF WORK INVOLVED.

**1ST FLOOR**

NEW BACK ENTRY  
 NEW SITTING ROOM  
 NEW GALLERY

ADDITION  
 ADDITION  
 ADDITION

**DESIGN CRITERIA** TABLE R501.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (WESTCHESTER COUNTY - CLIMATE ZONE III)

GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE ROOM		ICE WINTER DESIGN UNDER LAYMEN T	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
	WIND SPEED (MPH)	TOPO EFFECT		WIND OR ONE DOORS ZONE	WEATHER LINE					TERMINATE
30 PSF	115	NO	NO	C	SEVE RE	MODH VY	1'	YES	618	522

FIRM MAP	FEMA FLOOD MAP ZONE
30119C0323F	ZONE "X"

**STRUCTURAL DESIGN CRITERIA**

TABLE R201.1 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD	USE	LIVE LOAD
EXTERIOR BALCONIES & BALCONIES	40	ROOMS OTHER THEN SLEEPING	40
ATTICS WITHOUT STORAGE	10	SLEEPING ROOMS	30
ATTICS WITH STORAGE	20	STAIRS	40
HABITABLE ATTICS & ATTICS SERVED WITH FIXED STAIRS	30	GUARDRAILS & HANDRAILS	200

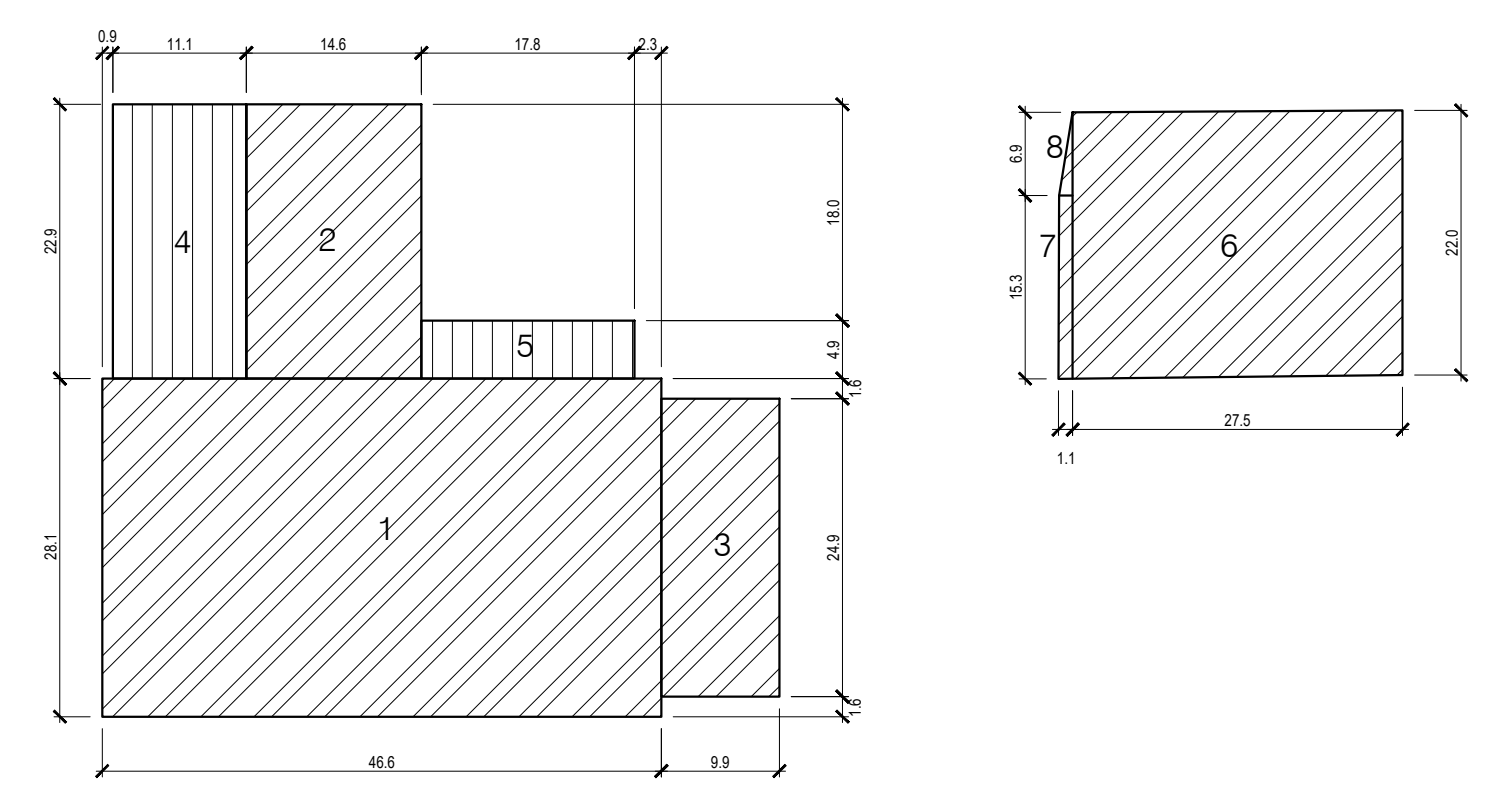
SOIL BEARING CAPACITY IS ESTIMATED AT 1500 PSF.

BUILDING COVERAGE CALCULATION			
LOT AREA = 15,977.3 SQ. FT.		MAXIMUM BUILDING COVERAGE ALLOWED = (15,977.3 x 0.225) = 3,595 SQ. FT.	
BUILDING COVERAGE - STRUCTURES			
AREA - "A"	EXISTING	PROPOSED	
HOUSE GARAGE	2,847	2,987	
TOTAL BUILDING COVERAGE	2,847 SQ. FT. OR 18.5%	3,193 SQ. FT. OR 19.9%	
BUILDING COVERAGE			
DESIGNATION	AREA	EXISTING	PROPOSED
AREA "A"	HOUSE GARAGE	2,847	2,987
AREA "B"	DRIVEWAY	1,030	1,030
AREA "C"	PATIOS, WALKWAYS	1,211	1,211
AREA "E"	PLATFORM, STEPS	157	157
AREA "F"	STONE MASONRY WALL	90	90
AREA "G"	CONCRETE PAD	15	15
AREA "H"	WINDOW WELLS	24	24
TOTAL COVERED AREA		5,174 SQ. FT. OR 32.3%	5,514 SQ. FT. OR 34.5%
OPEN SPACE CALCULATIONS			
LOT AREA = 15,977.3 SQ. FT.		MINIMUM OPEN SPACE REQUIRED = 15,977.3 x 0.55 = 8,787 SQ. FT.	
TOTAL OPEN AREA		10,803.3 SQ. FT. OR 67.7%	10,463.3 SQ. FT. OR 65.5%

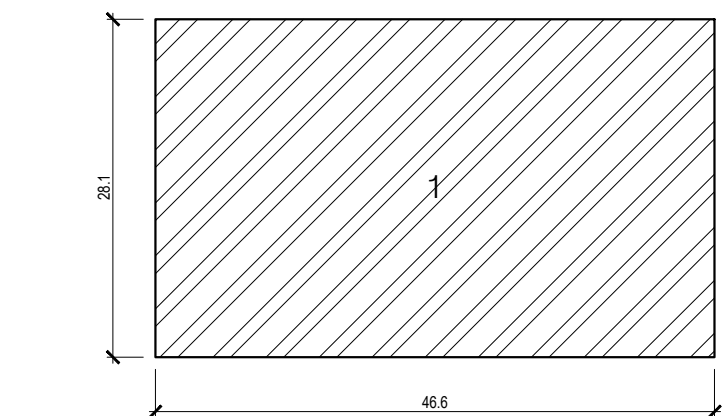
1 PROPOSED BUILDING COVERAGE & OPEN SPACE CALCULATION

HOUSE SQUARE FOOTAGE CALCULATIONS FOR F.A.R.					
	LENGTH IN FT.	WIDTH IN FT.	EXISTING	PROPOSED	FAR TOTAL
BASEMENT					
BASEMENT TOTAL			0	0	0
FIRST FLOOR					
1	46.6	28.1	1309.5		
2	14.6	22.9	334.0		
3	9.9	24.9	246.5		
NEW ADDITION					
4	11.1	22.9		254.0	
5	17.8	4.9		87.0	
GARAGE					
6	27.5	22.0	605		
7	1.1	15.3	17		
8	0.6	6.9	4		
GARAGE CREDIT					
FIRST FLOOR TOTAL				2457	
SECOND FLOOR					
1	46.6	28.1	1309.5		
SECOND FLOOR TOTAL					
ATTIC					
1	46.6	9.9	461		
ATTIC TOTAL					
					461.0
TOTAL SQ.FT. FOR FAR COMPARISON					4227.5
LOT SIZE					15977.3
MAXIMUM FAR					0.310
MAXIMUM GROSS FLOOR AREA ALLOWED					4,963

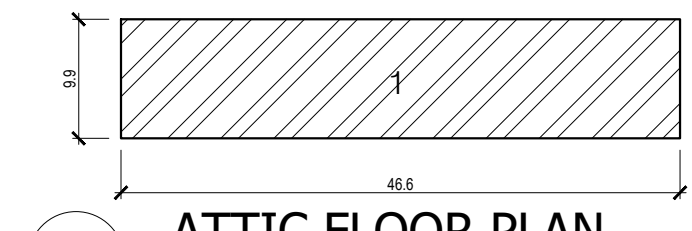
2 FLOOR AREA RATIO (F.A.R.) CALCULATION



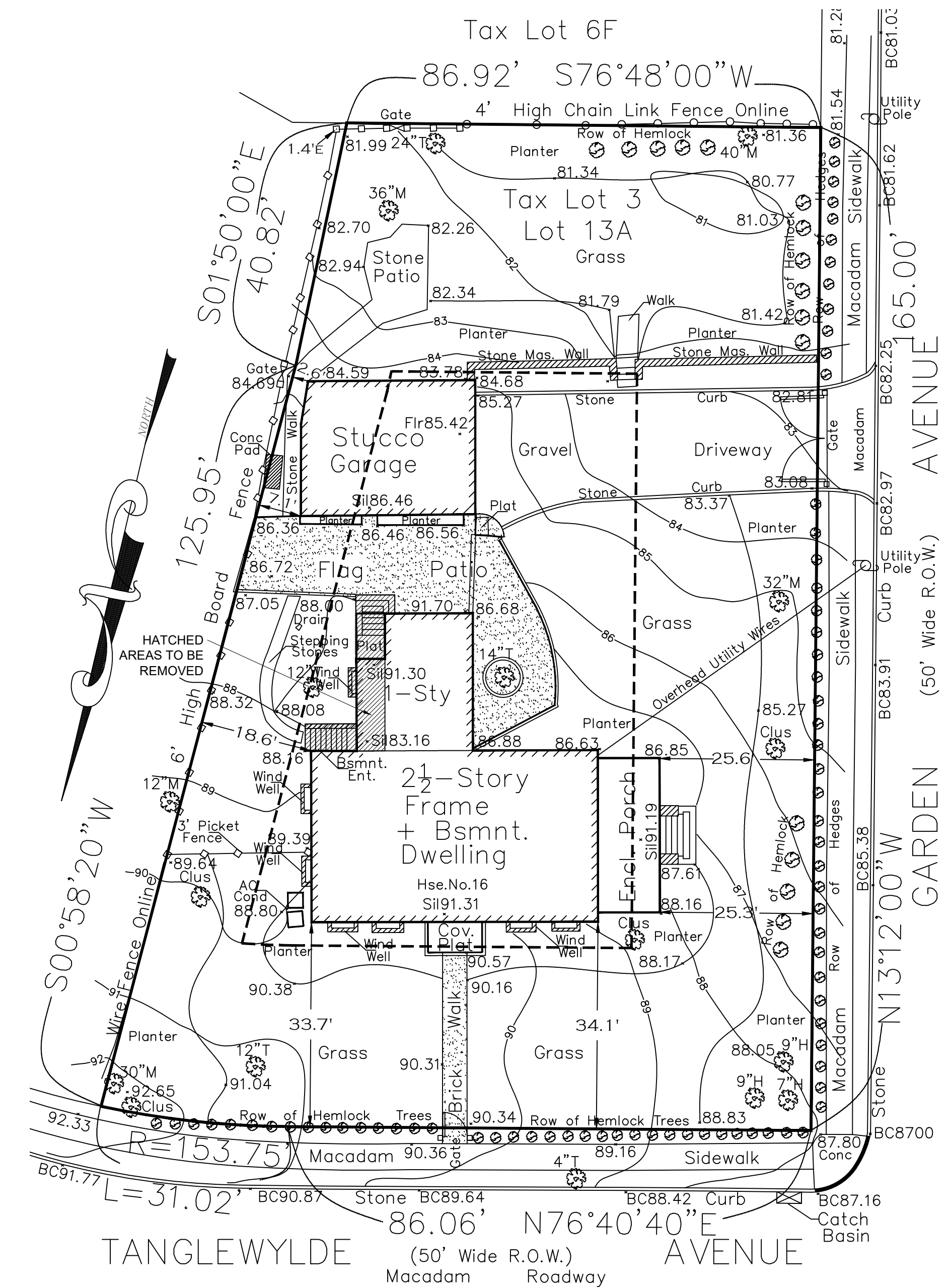
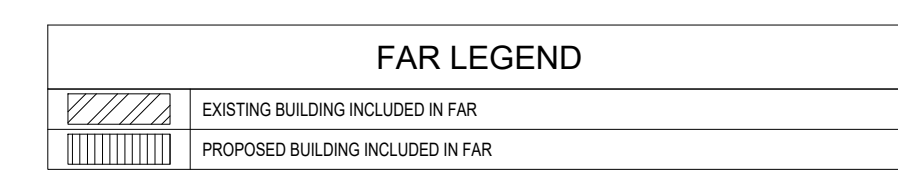
3 FIRST FLOOR PLAN SCALE: 1/16" = 1'-0"



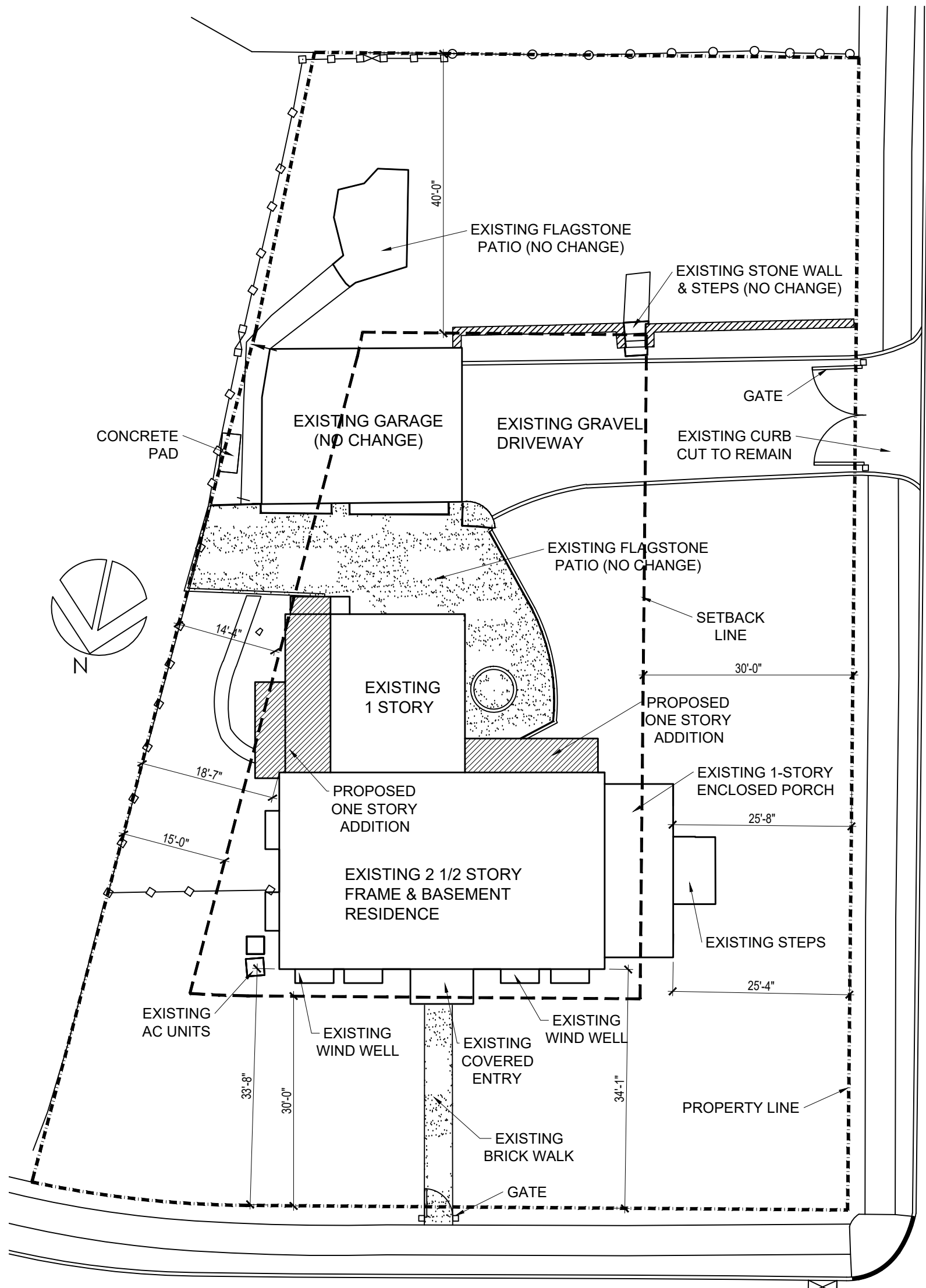
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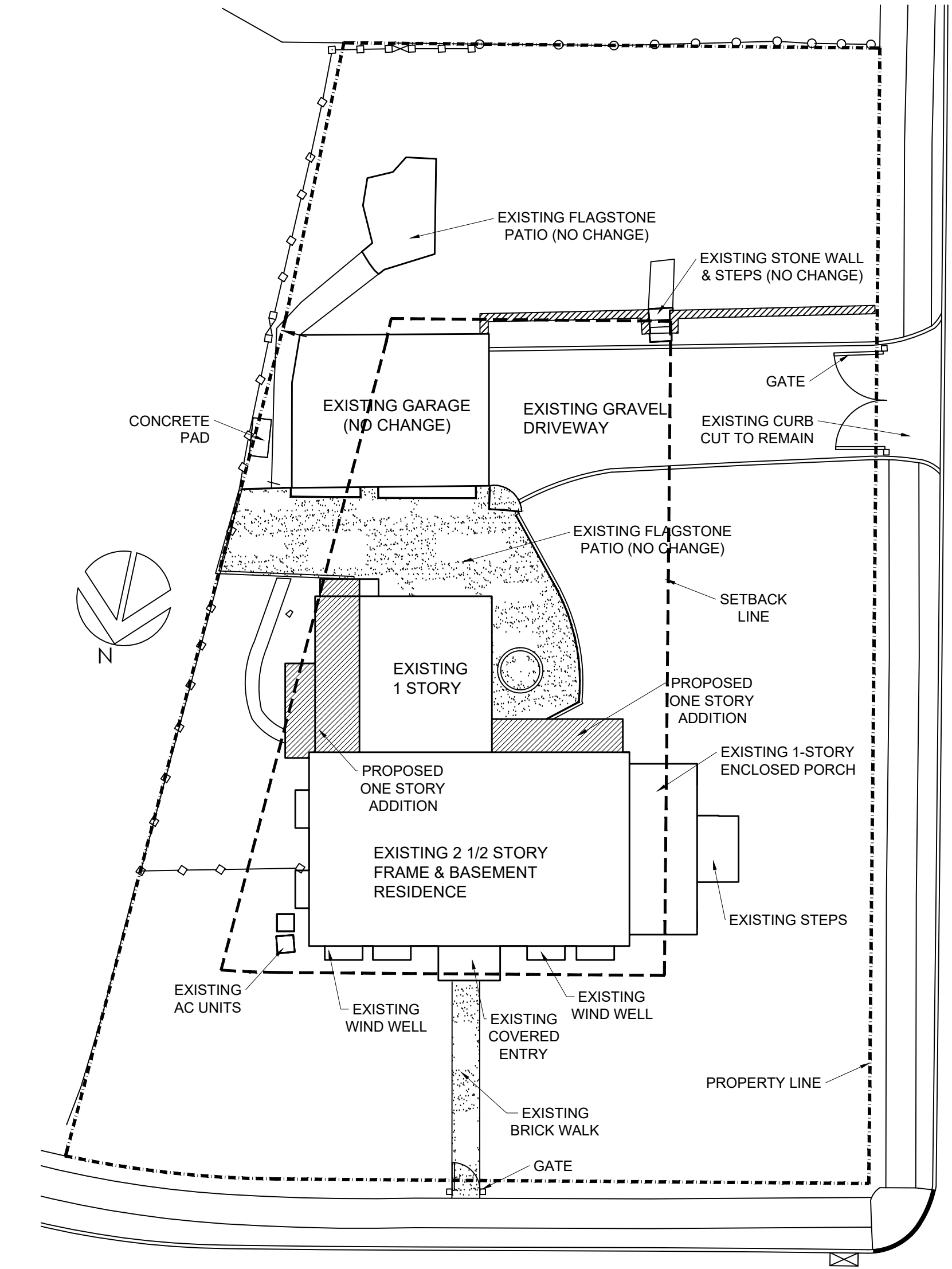
5 ATTIC FLOOR PLAN SCALE: 1/16" = 1'-0"



6 EXISTING/DEMO SITE PLAN SCALE: 1/16" = 1'-0"



7 PROPOSED SITE PLAN SCALE: 1/16" = 1'-0"



8 PROPOSED BUILDING COVERAGE & OPEN SPACE PLAN SCALE: 1/16" = 1'-0"

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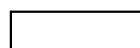

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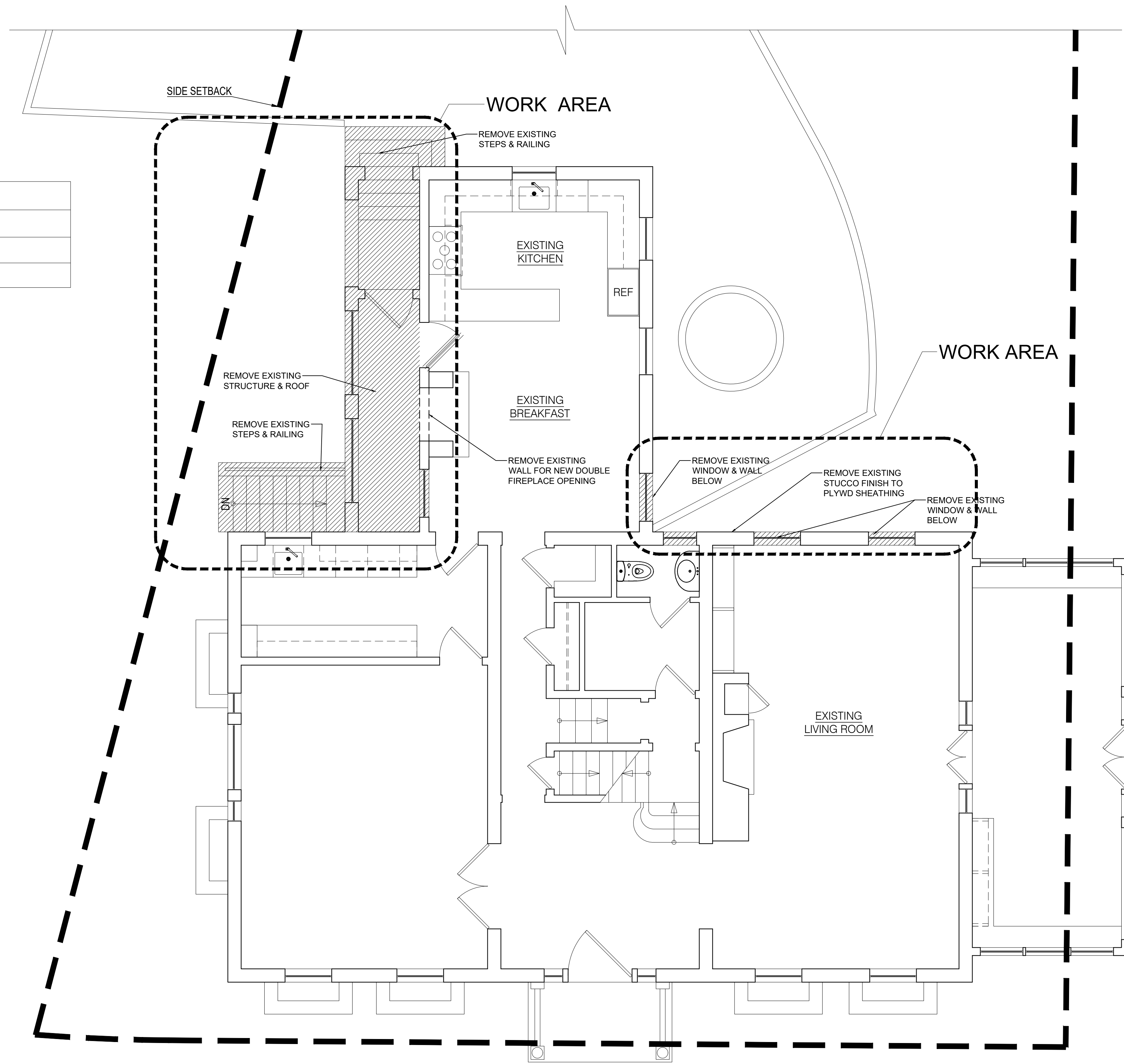
**Z-100.00**

DRAWING TITLE: Z - 100.00 SITE PLAN. ZONING CALCULATION

DESIGNER:



PLAN SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PARTITION
	PARTITION FOR DEMO



1 EXISTING/DEMO FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

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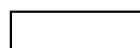

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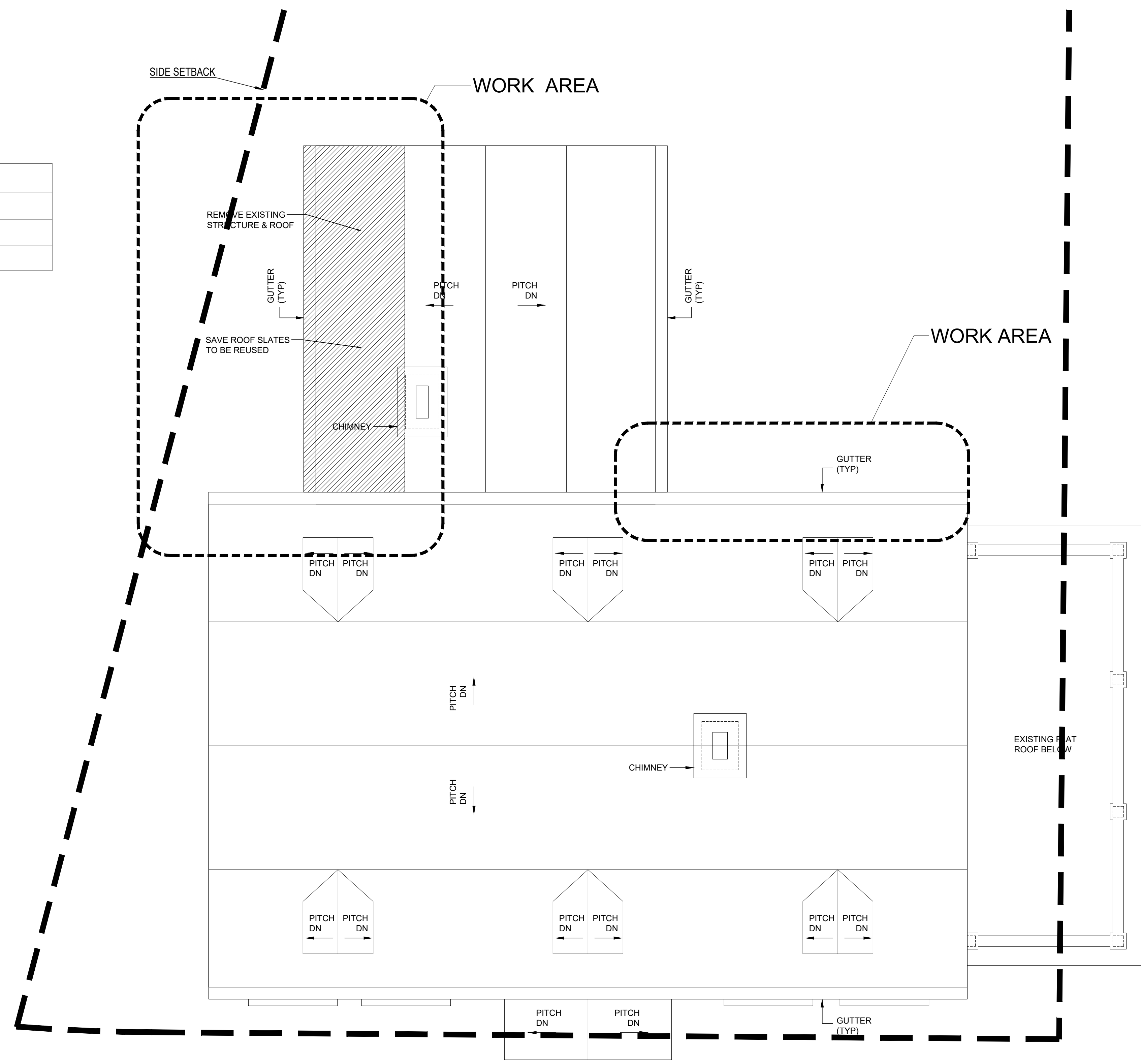
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FILE:

DRAWING NO.: of

DRAWING TITLE:  
EXISTING/DEMO FIRST FLOOR PLAN

EX/D-100.00

PLAN SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PARTITION
	PARTITION FOR DEMO



1 EXISTING/DEMO ROOF PLAN  
Scale: 1/4" = 1'-0"

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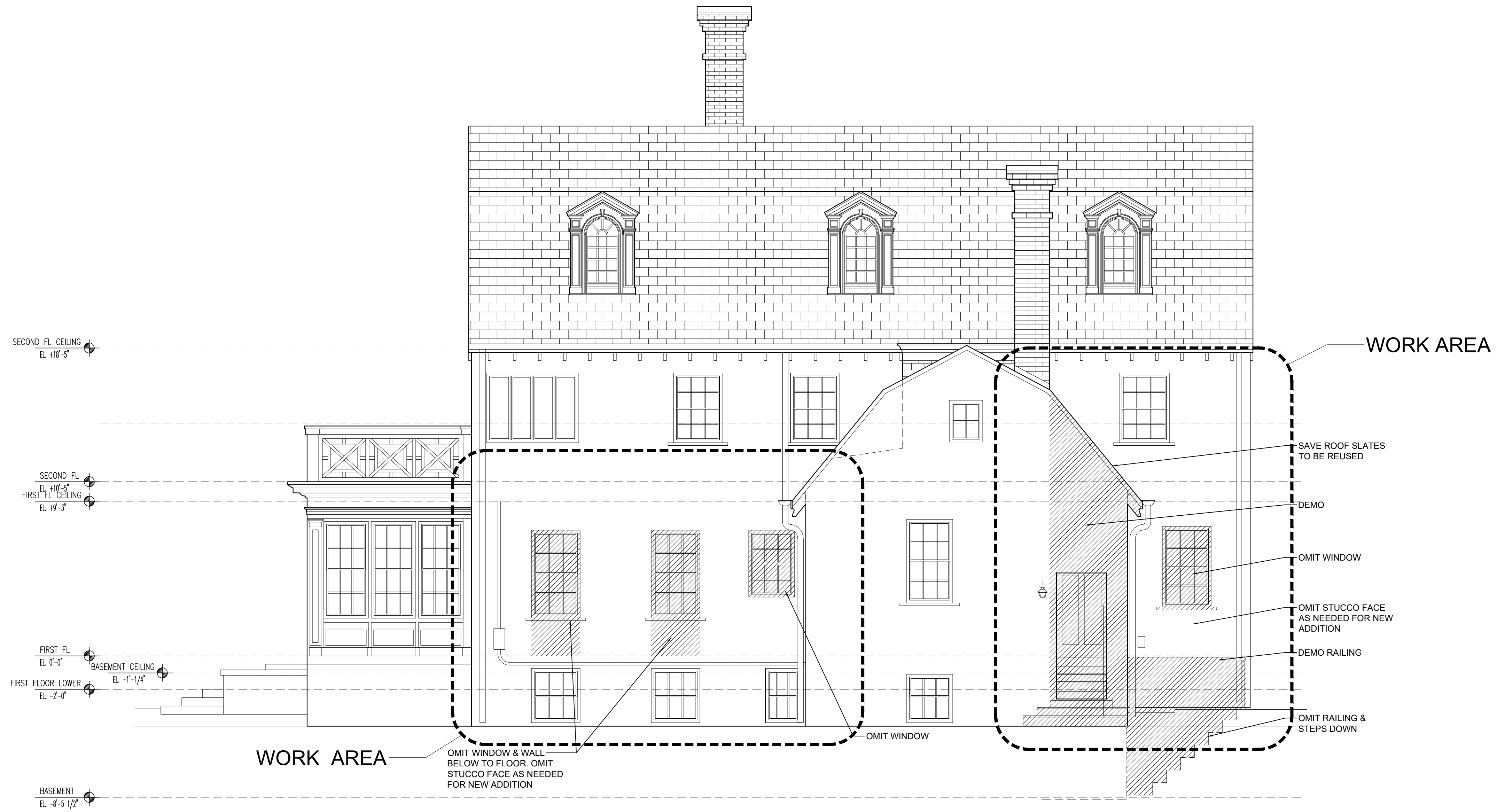
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DRAWING NO.: of

DRAWING TITLE:  
EXISTING/DEMO ROOF PLAN

EX/D-101.00



1 EXISTING/DEMO NORTH ELEVATION  
Scale: 1/4" = 1'-0"

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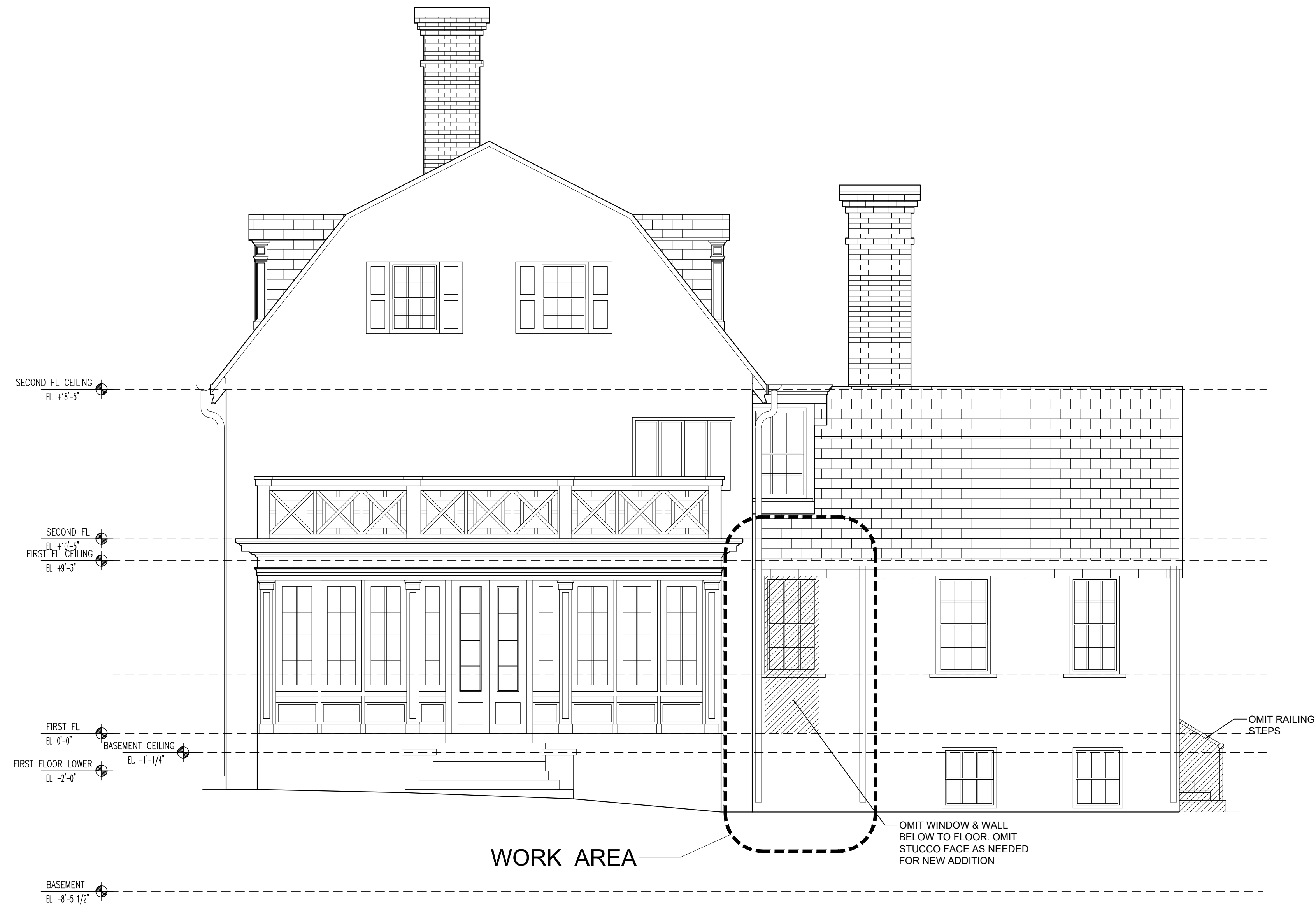
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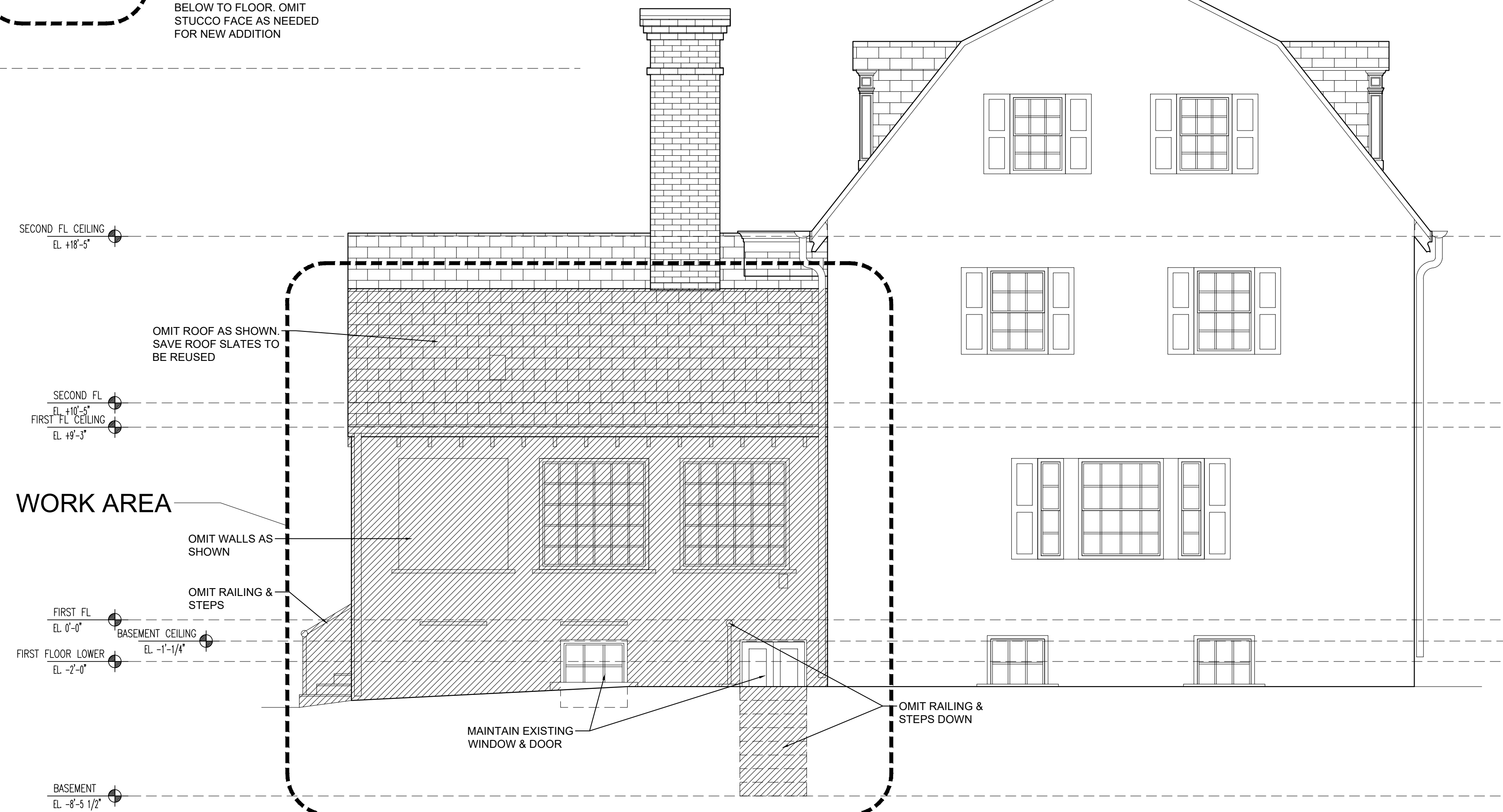
DRAWING NO.: of

DRAWING TITLE: EXISTING/DEMO NORTH ELEVATION

EX-200.00



1 EXISTING/DEMO EAST ELEVATION  
Scale: 1/4" = 1'-0"



2 EXISTING/DEMO WEST ELEVATION  
Scale: 1/4" = 1'-0"

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FILE:

DRAWING NO.: of

DRAWING TITLE:

EXISTING/DEMO EAST & WEST ELEVATION

EX-201.00

**DOOR SCHEDULE**

DOOR #	ROOM NAME	SIZE (WIDTH x HEIGHT x THICK)	TYPE	MFG'R	MODEL	REMARKS
1	NEW BACK ENTRY / PORCH	3'-0" x 7'-0" x 0'-1 3/4"	SOLIDCORE	T.B.S.	T.B.S.	INSULATED, FULL WEATHER STRIP, TRIPLE LOCK SET
2	BASEMENT STORAGE RM	3'-0" X 5'-6" X 1 3/4"	SOLIDCORE	T.B.S.	T.B.S.	
3	BASEMENT STORAGE RM	3'-0" X 5'-6" X 1 3/4"	SOLIDCORE	T.B.S.	T.B.S.	INSULATED, FULL WEATHER STRIP, TRIPLE LOCK SET

NOTE: EX DOOR SYMBOL INDICATES EXISTING DOOR, NO CHANGE

**WINDOW SCHEDULE**

DOOR #	LOCATION	OPERATION	W	H	MATERIAL	FINISH	PRODUCTION	COMMENTS
A	NEW BACK ENTRY	DOUBLE HUNG	3'-9"	8'-3"	WD	PTD	MARVIN	
B	NEW SITTING ROOM	DOUBLE HUNG	3'-9"	5'-4"	WD	PTD	MARVIN	
C	NEW GALLERY	CASEMENT	3'-7 3/4"	5'-0 3/4"	WD	PTD	MARVIN	
D	OMIT							
E	NEW BACK ENTRY	FIXED	1'-6"	4'-8"	WD	PTD	MARVIN	

1. SUBMITTALS AND ARCHITECT'S APPROVAL REQUIRED BEFORE PROCEEDING WITH ORDER
2. CONFIRM ALL DIMENSIONS IN FIELD

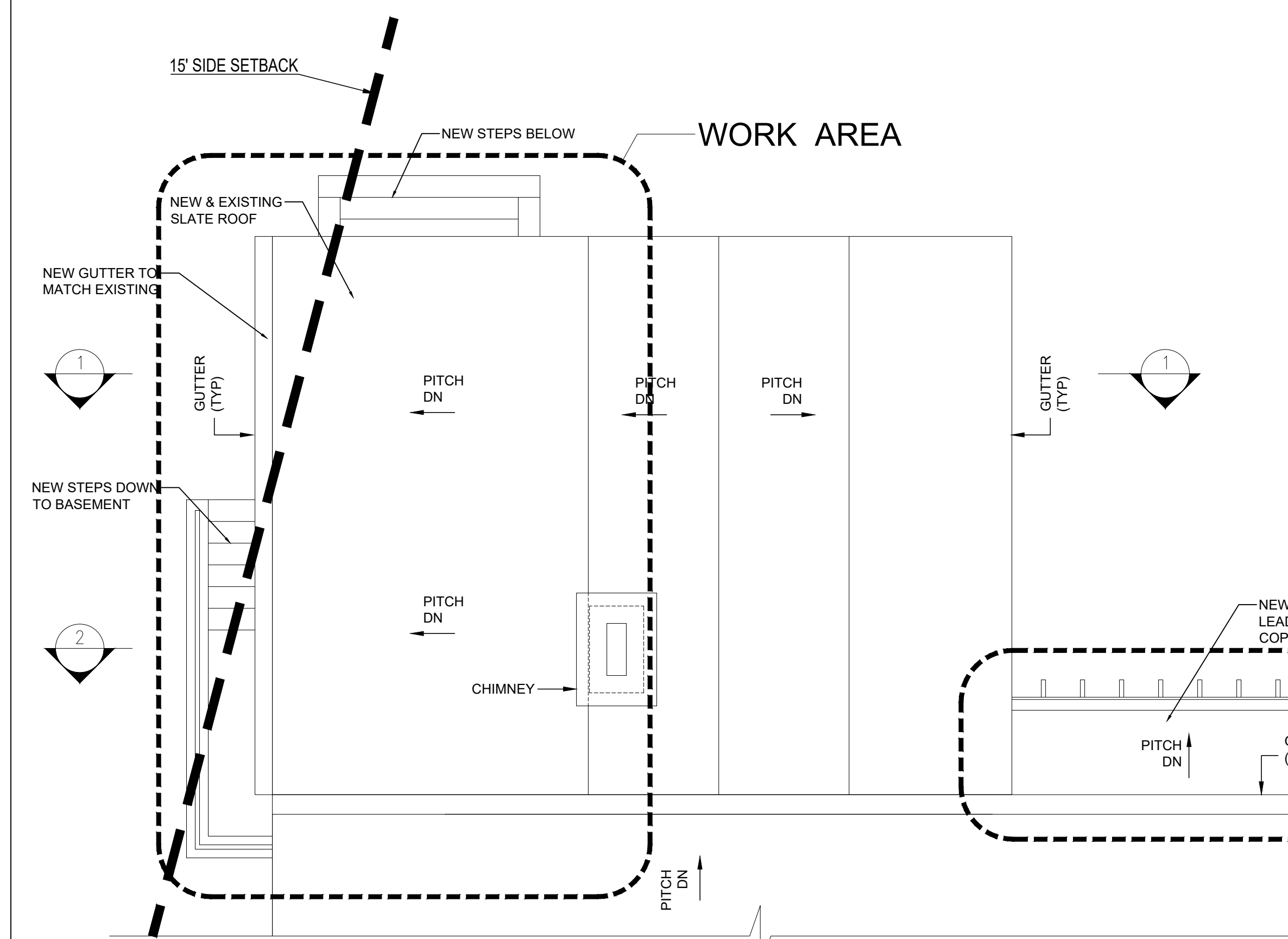
**FINISH SCHEDULE**

ROOM	FLOOR	DOOR TRIM	BASE	CROWN	WALL	CEILING	REMARKS
NEW BACK ENTRY	TILE	PNTD WOOD	PNTD WOOD	N/A	PNTD GYP BD	PNTD GYP BD	
NEW SITTING ROOM	WOOD	PNTD WOOD	PNTD WOOD	N/A	PNTD GYP BD	PNTD GYP BD	
NEW GALLERY	WOOD	PNTD WOOD	PNTD WOOD	N/A	PNTD GYP BD	PNTD GYP BD	

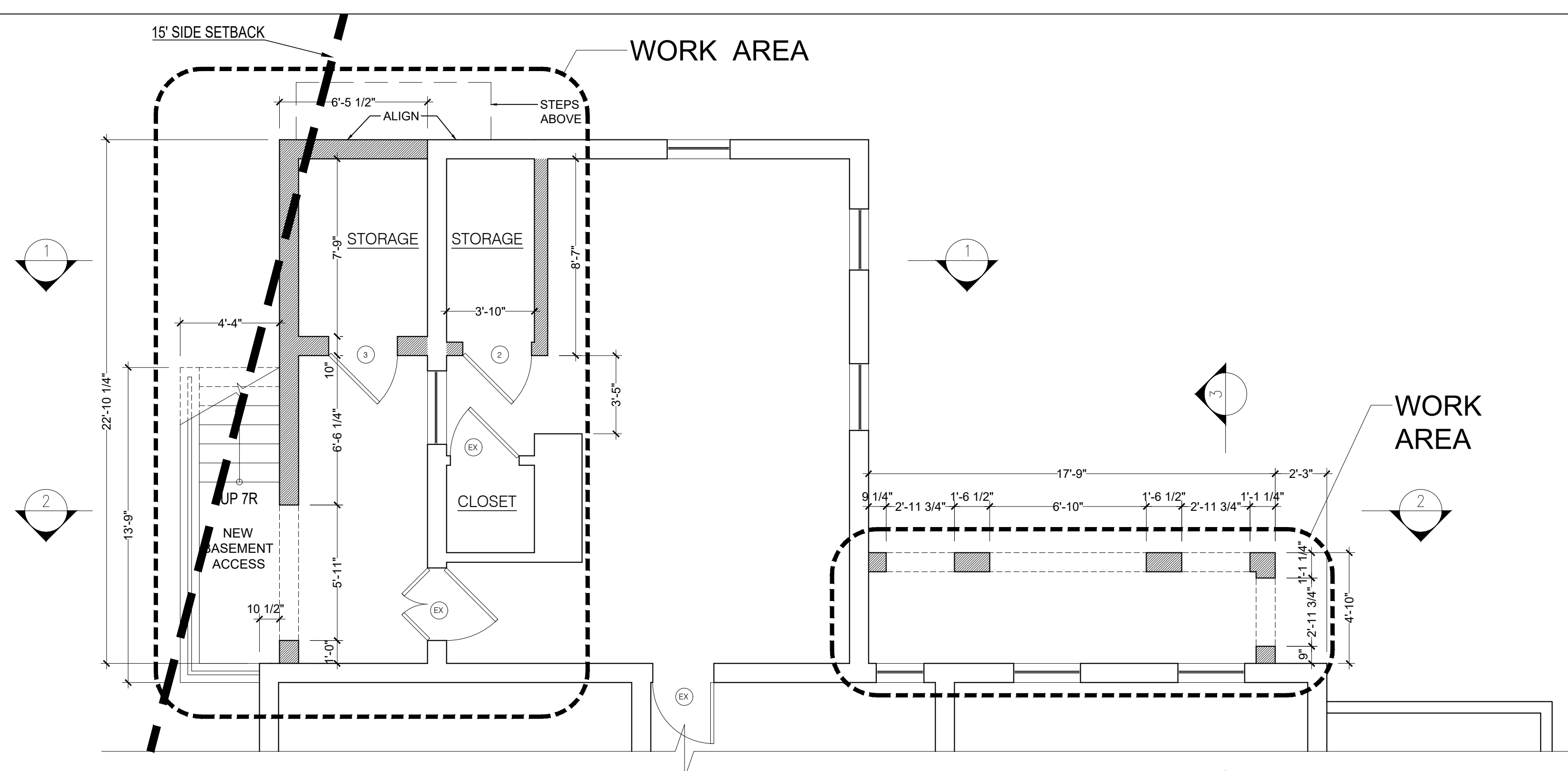
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**PLAN SYMBOL LEGEND**

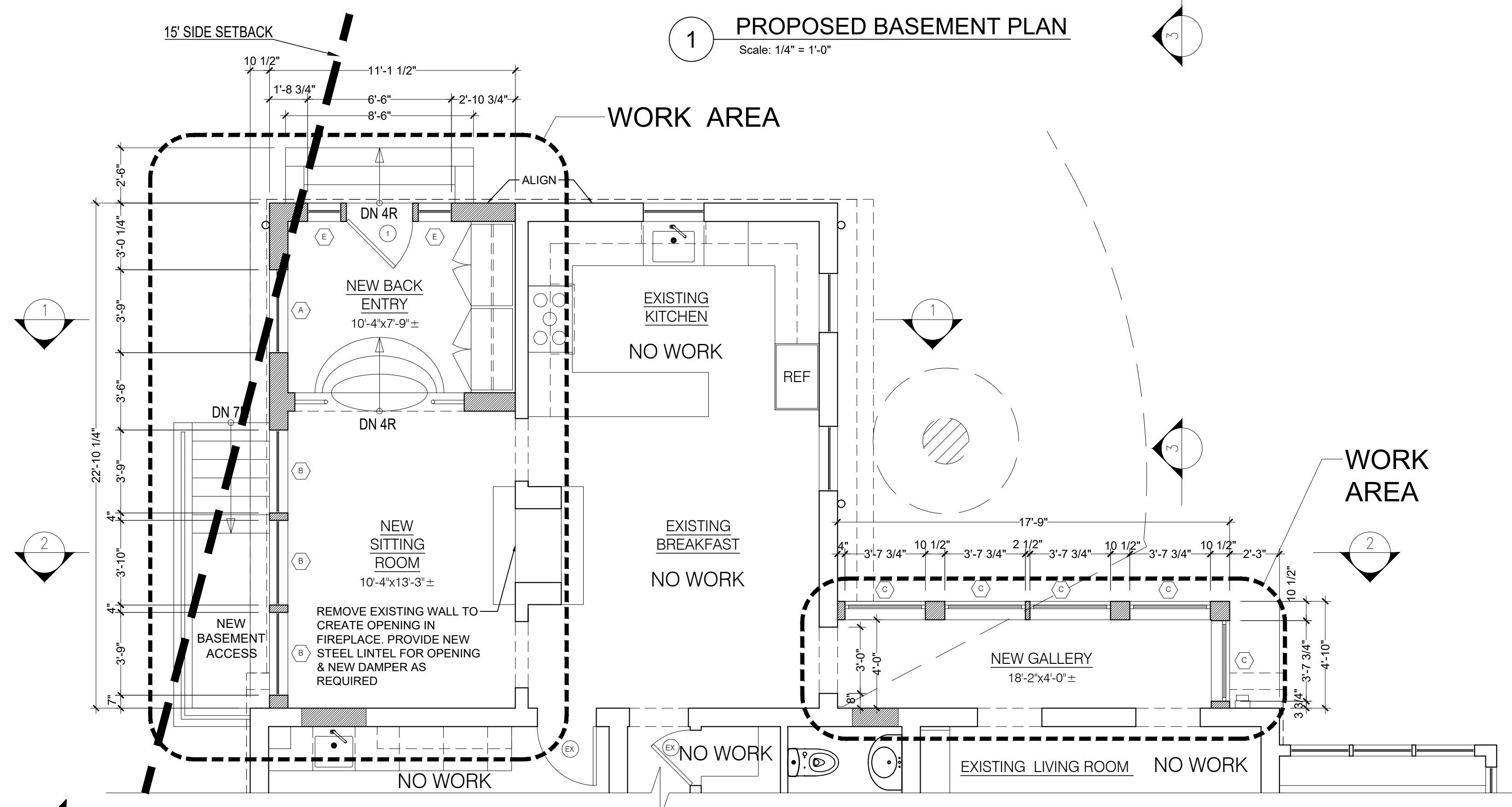
SYMBOL	DESCRIPTION
	EXISTING PARTITION
	NEW PARTITION. TO MATCH EXISTING IN KIND.



**3 PROPOSED ROOF PLAN**  
Scale: 1/4" = 1'-0"



**1 PROPOSED BASEMENT PLAN**  
Scale: 1/4" = 1'-0"



**2 PROPOSED 1ST FLOOR PLAN**  
Scale: 1/4" = 1'-0"

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FILE:

DRAWING NO.: of

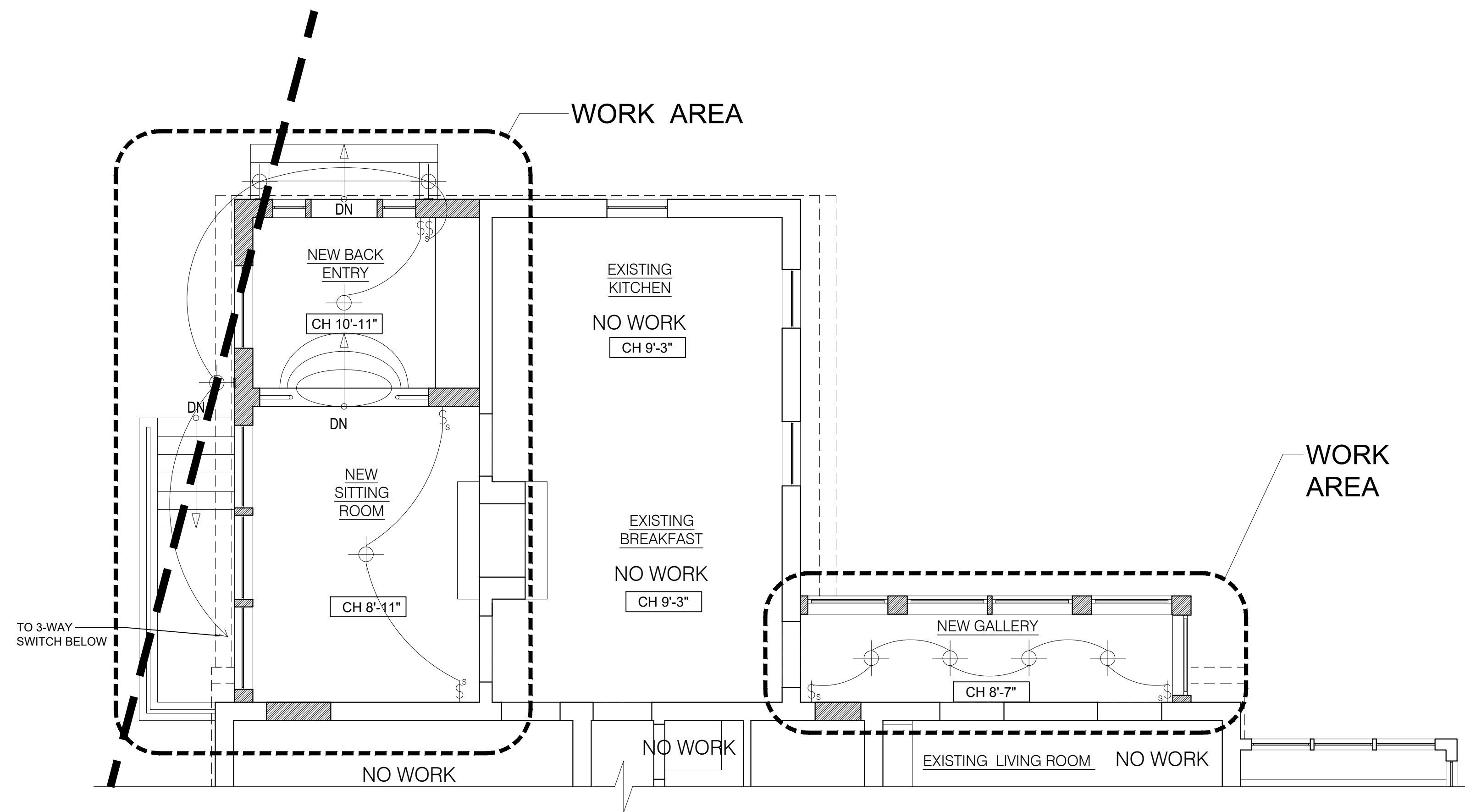
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DRAWING TITLE: PROPOSED BASEMENT, 1ST FL PLAN, ROOF PLAN

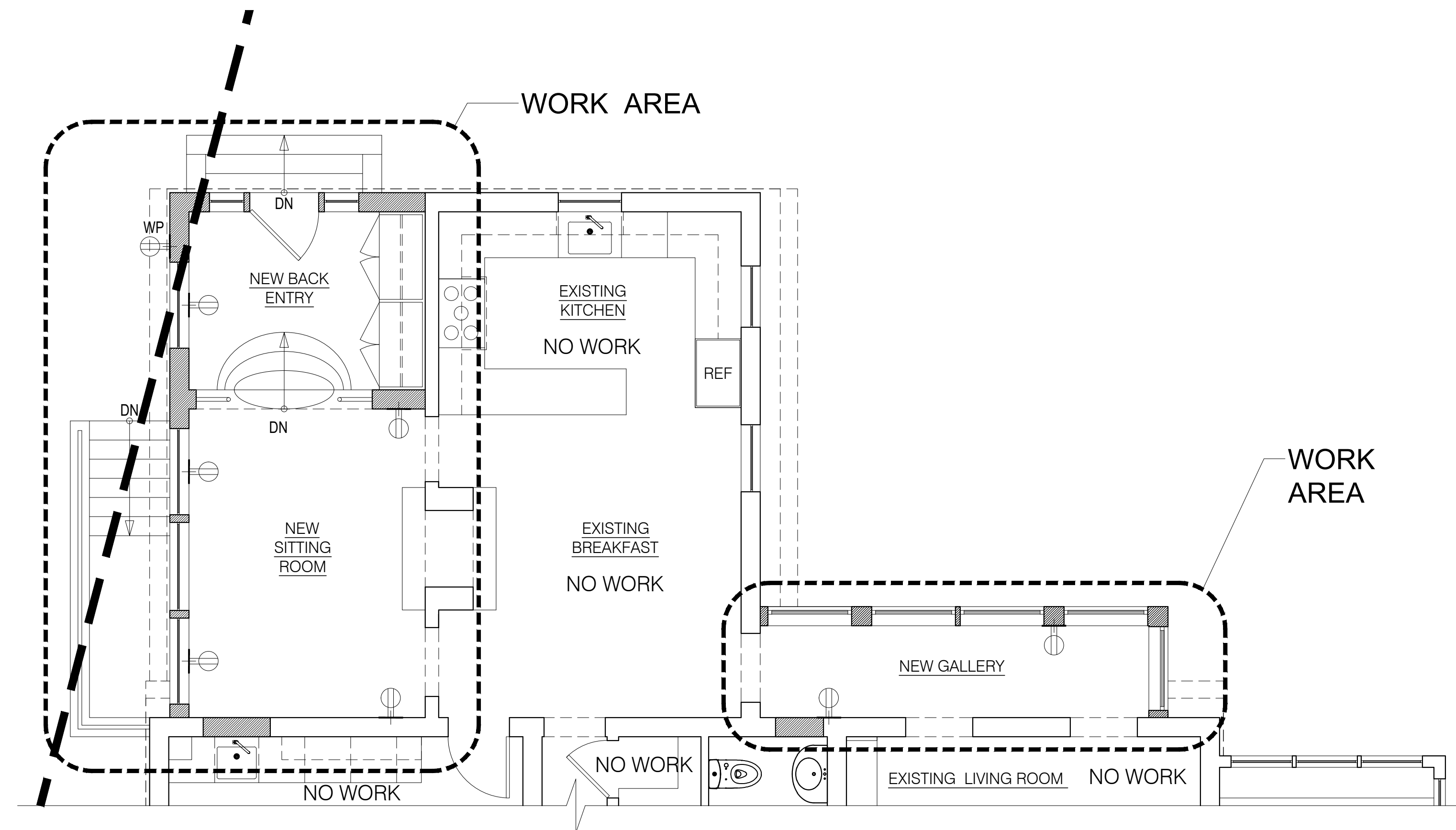
PLAN SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PARTITION
	NEW PARTITION, TO MATCH EXISTING IN KIND.

LIGHTING LEGEND	
SYMBOL	DESCRIPTION
	NEW SINGLE POLE WALL SWITCH: SET AT 48" AFF UNLESS OTHERWISE NOTED
	NEW THREE WAY WALL SWITCH: SET @ 48" AFF UNLESS OTHERWISE NOTED
	NEW JUNCTION BOX
	NEW WALL SCONCE FIXTURE

ELECTRIC LEGEND	
SYMBOL	DESCRIPTION
	NEW DUPLEX OUTLET: 120 VOLT, 20AMP, SET@15" AFF, UNLESS NOTED
WP - MEANS WATERPROOF	



1 PROPOSED 1ST FLOOR RCP & LIGHTING PLAN  
Scale: 1/4" = 1'-0"



2 PROPOSED 1ST FLOOR POWER PLAN  
Scale: 1/4" = 1'-0"

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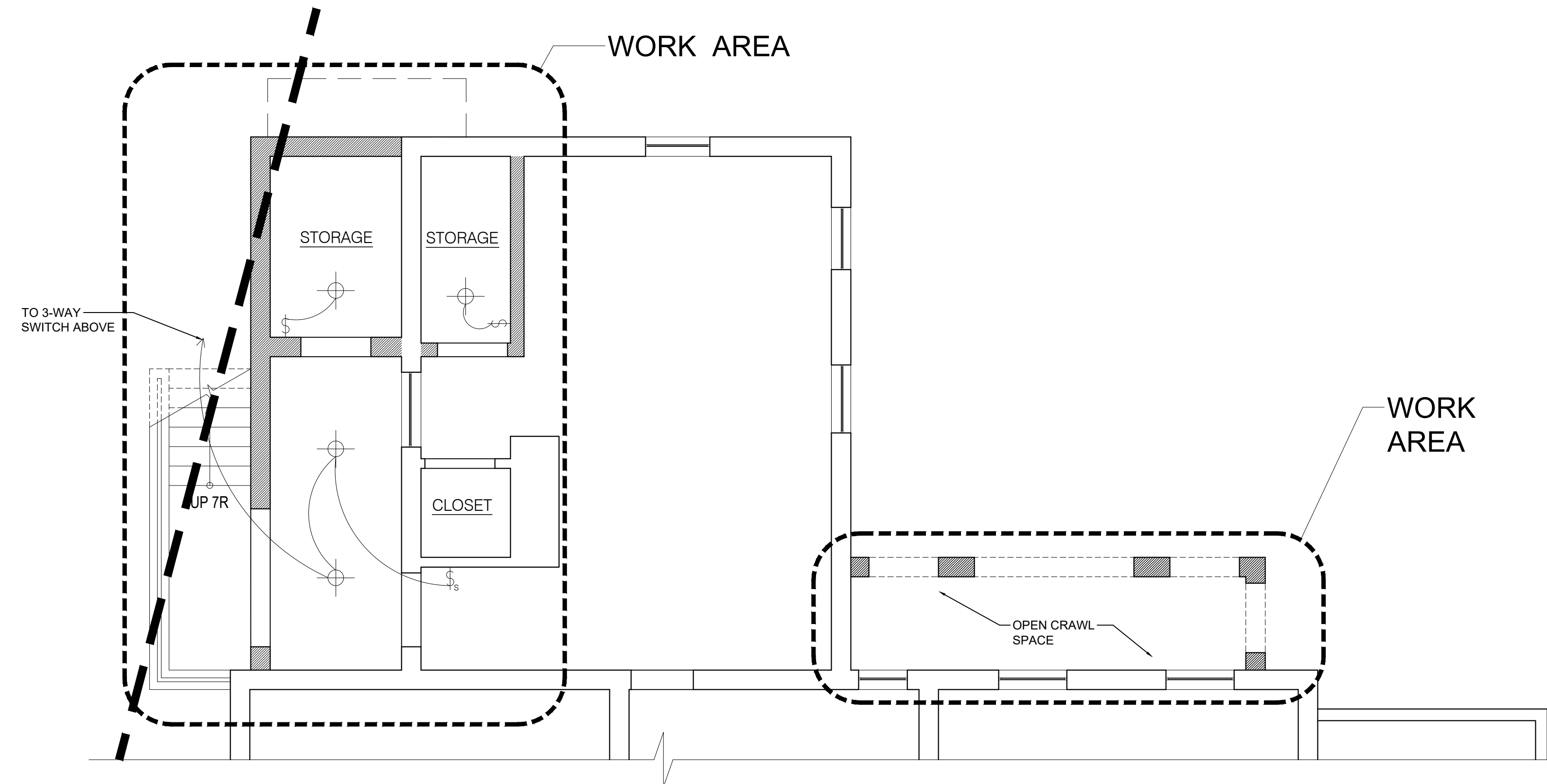
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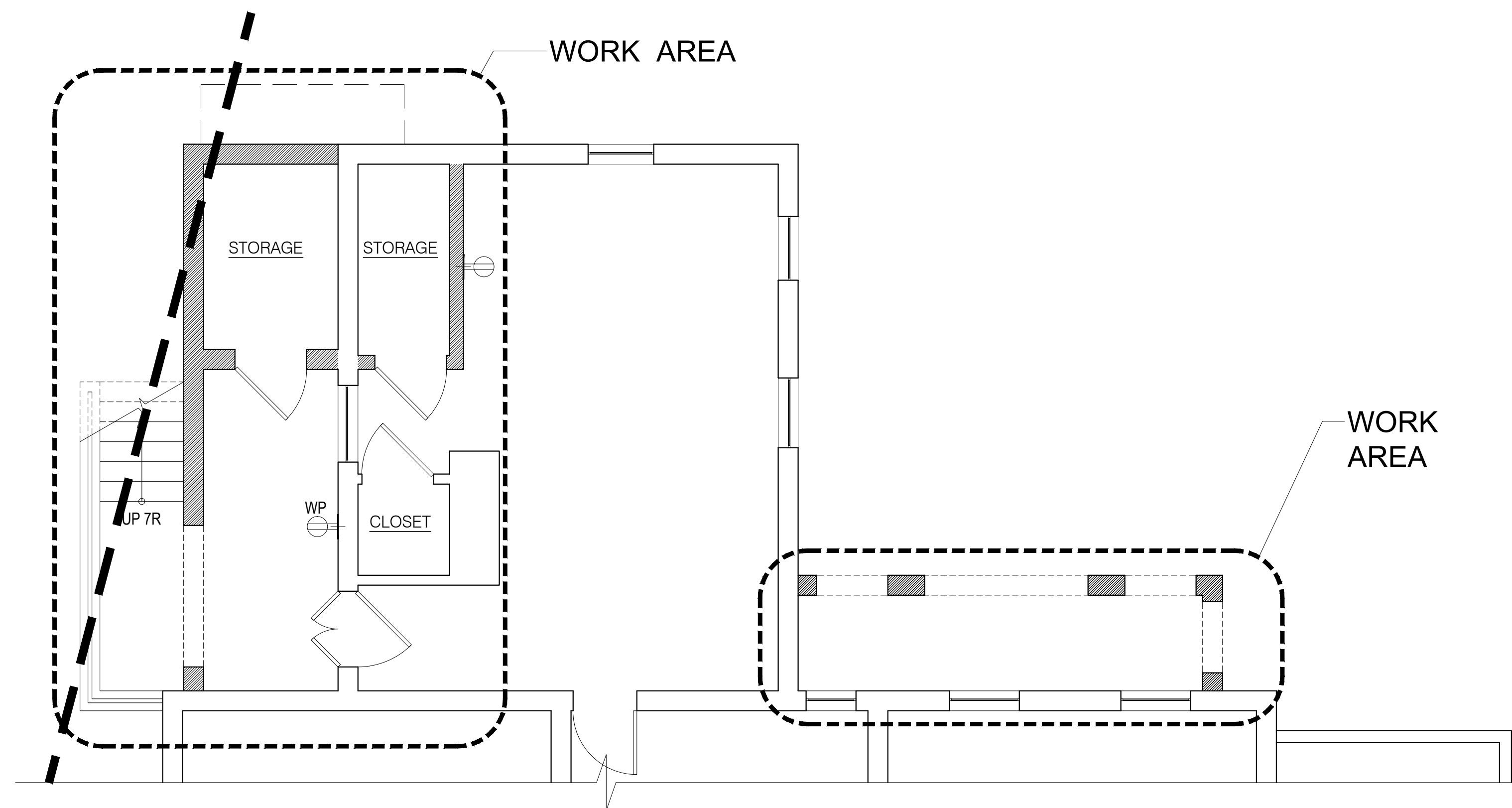
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SYMBOL	DESCRIPTION
	EXISTING PARTITION
	NEW PARTITION, TO MATCH EXISTING IN KIND.

LIGHTING LEGEND	
SYMBOL	DESCRIPTION
	NEW SINGLE POLE WALL SWITCH: SET AT 48" AFF UNLESS OTHERWISE NOTED
	NEW THREE WAY WALL SWITCH: SET @ 48" AFF UNLESS OTHERWISE NOTED
	NEW JUNCTION BOX
	NEW WALL SCONCE FIXTURE

ELECTRIC LEGEND	
SYMBOL	DESCRIPTION
	NEW DUPLEX OUTLET: 120 VOLT, 20AMP, SET@15" AFF, UNLESS NOTED
WP - MEANS WATERPROOF	



1 PROPOSED BASEMENT RCP & LIGHTING PLAN  
Scale: 1/4" = 1'-0"



2 PROPOSED BASEMENT POWER PLAN  
Scale: 1/4" = 1'-0"

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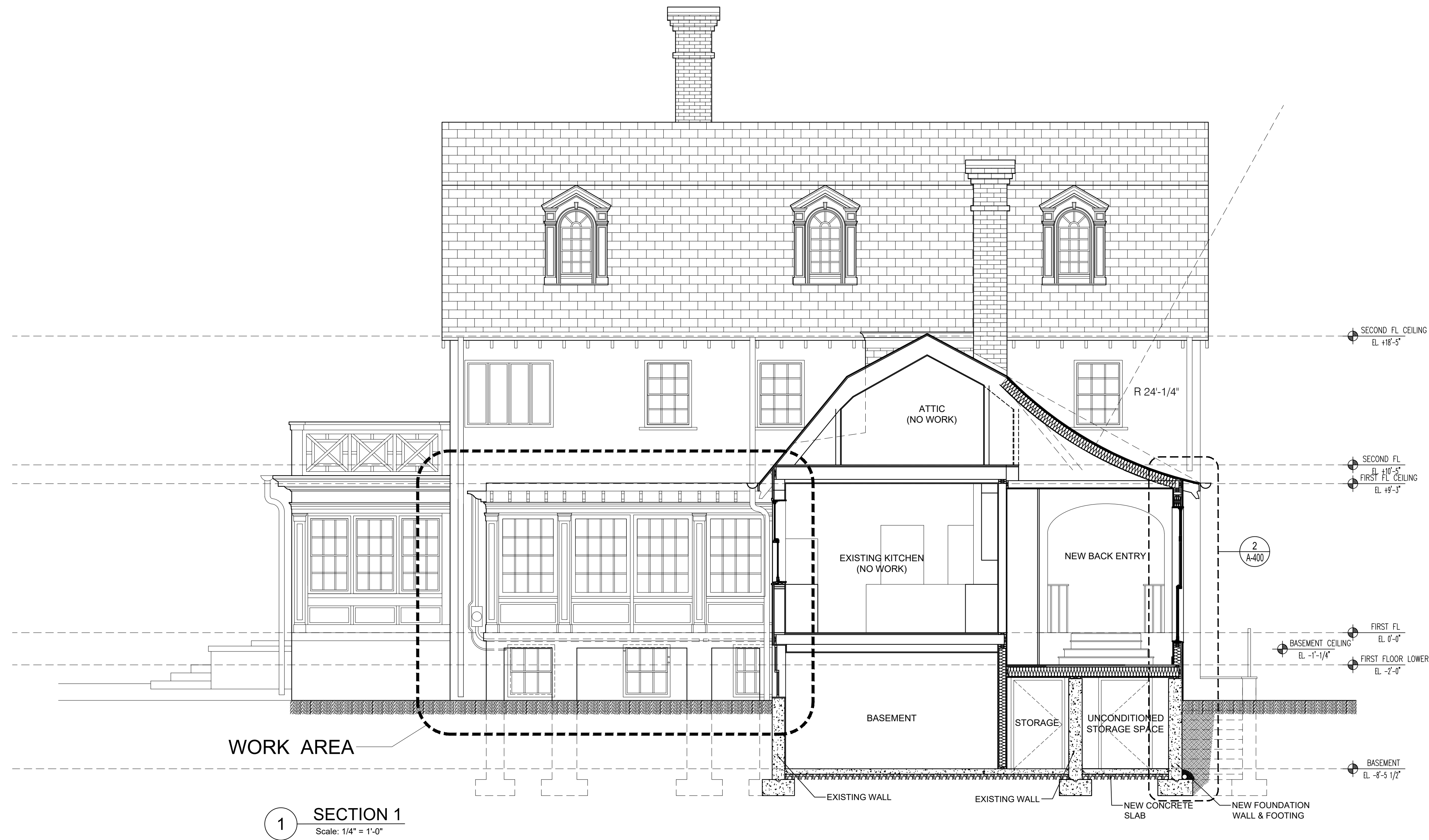
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FILE:

DRAWING NO.: of

A-102.00

DRAWING TITLE: PROPOSED BASEMENT LIGHTING & POWER PLAN



1 SECTION 1  
Scale: 1/4" = 1'-0"

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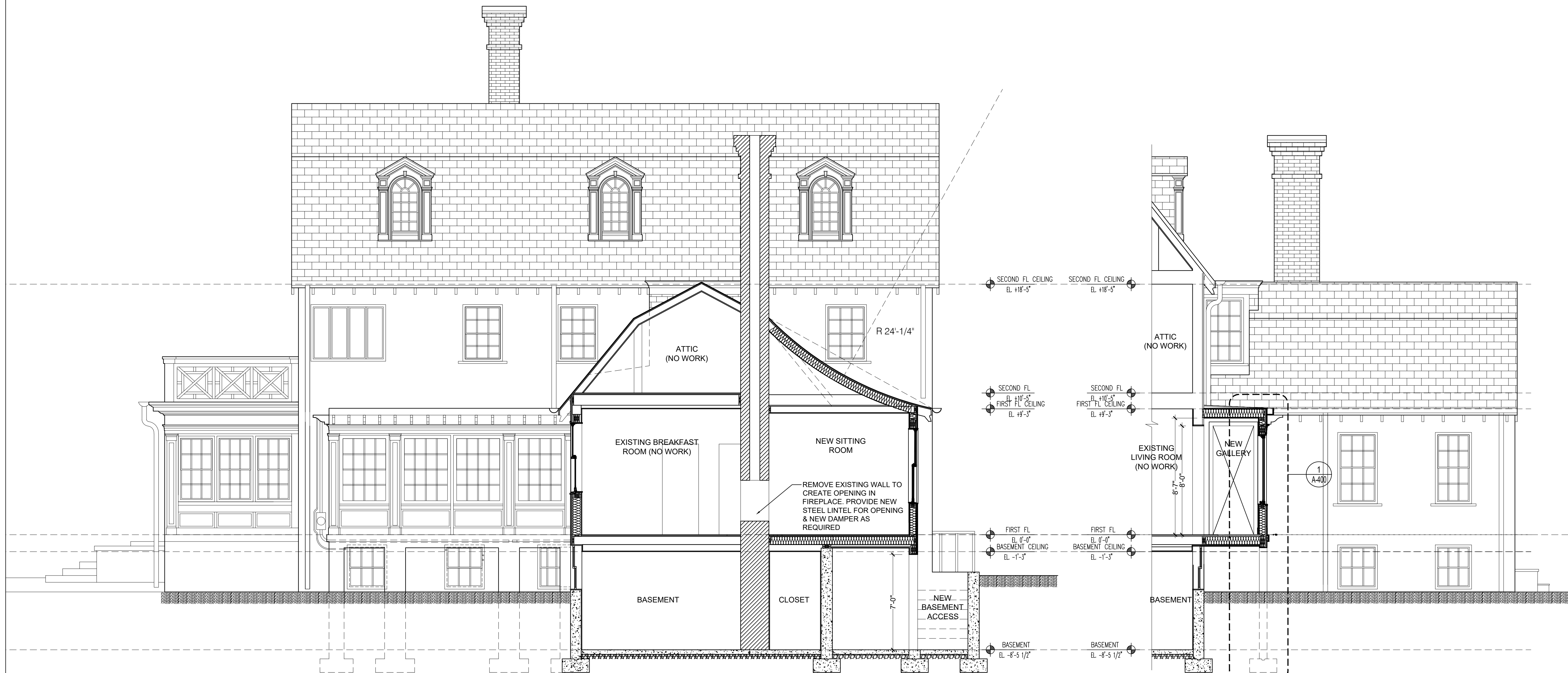
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DRAWING NO.: of

A-200.00

DRAWING TITLE:  
SECTION 1





1 SECTION 2  
Scale: 1/4" = 1'-0"

2 SECTION 3  
Scale: 1/4" = 1'-0"

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DRAWING TITLE:  
SECTION 2, 3



1 PROPOSED NORTH ELEVATION  
Scale: 1/4" = 1'-0"

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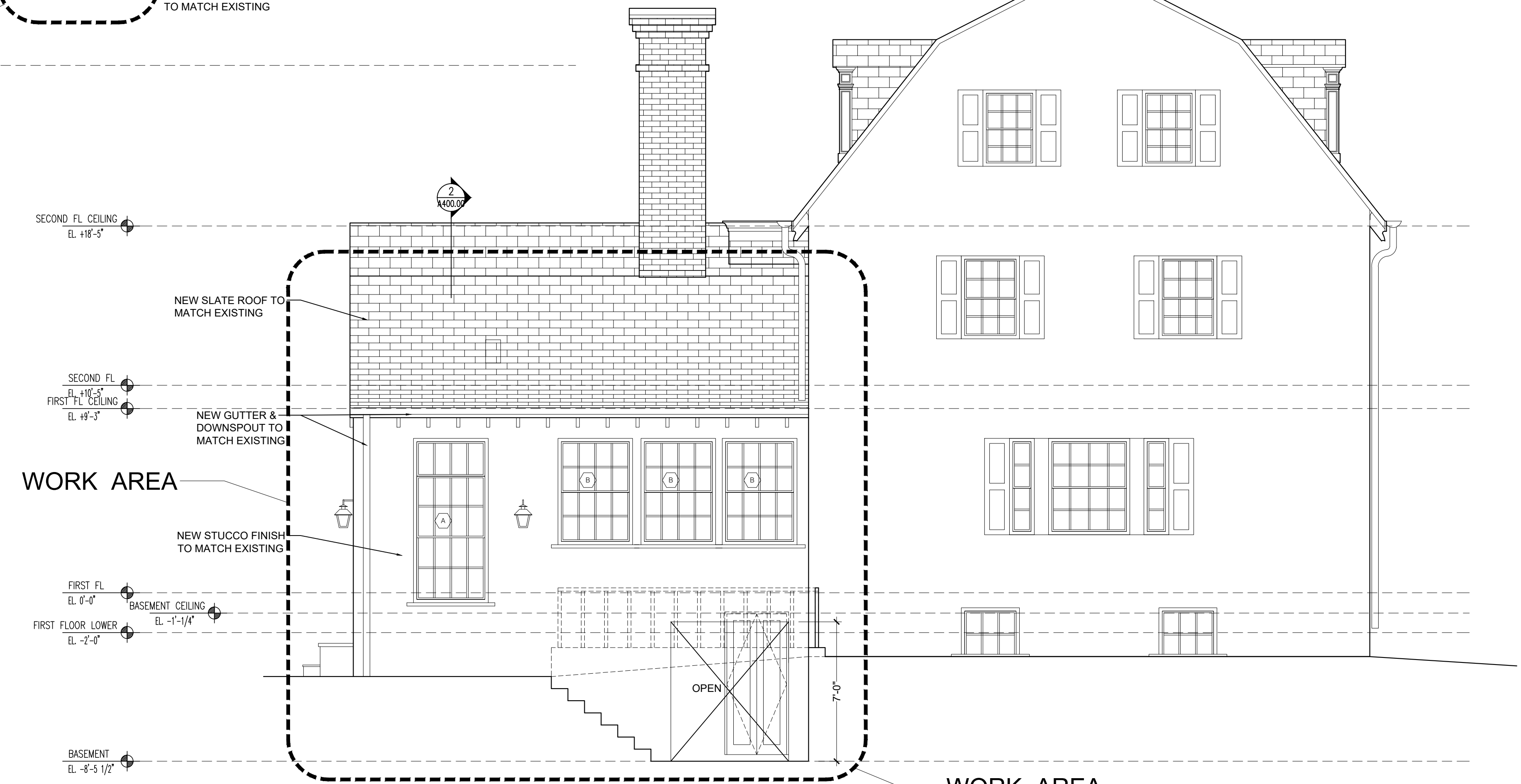
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DRAWING TITLE: PROPOSED NORTH ELEVATION



**1 PROPOSED EAST ELEVATION**  
Scale: 1/4" = 1'-0"



**2 PROPOSED WEST ELEVATION**  
Scale: 1/4" = 1'-0"

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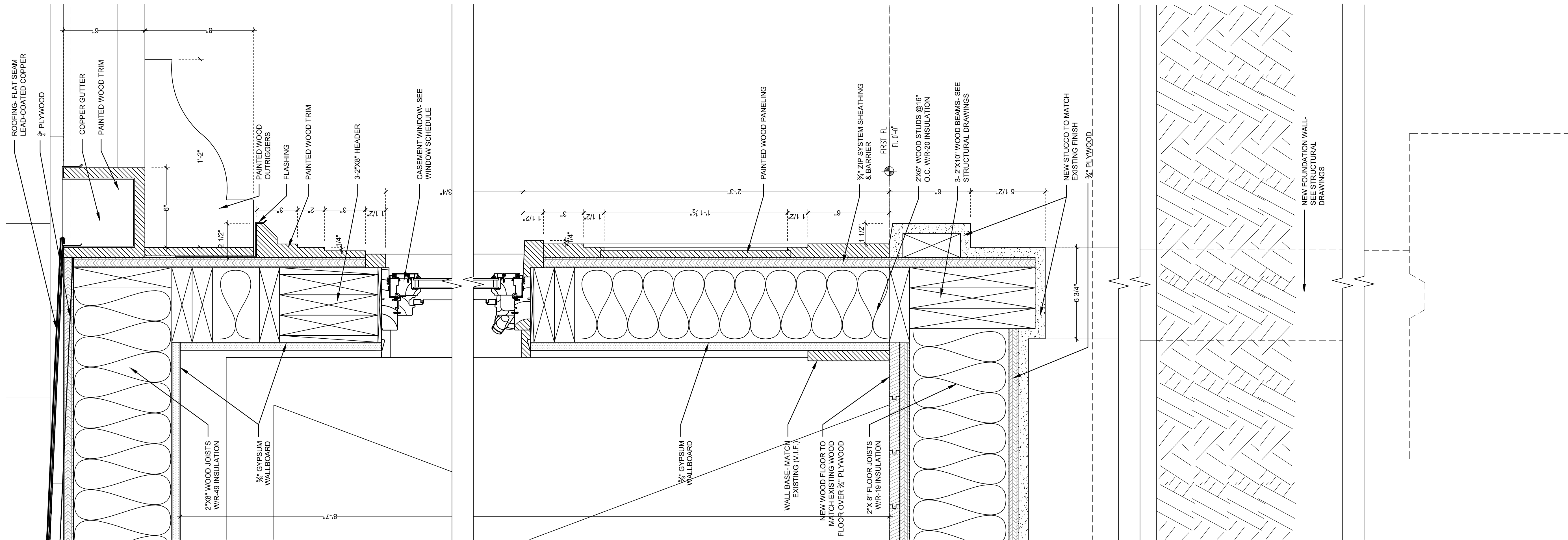
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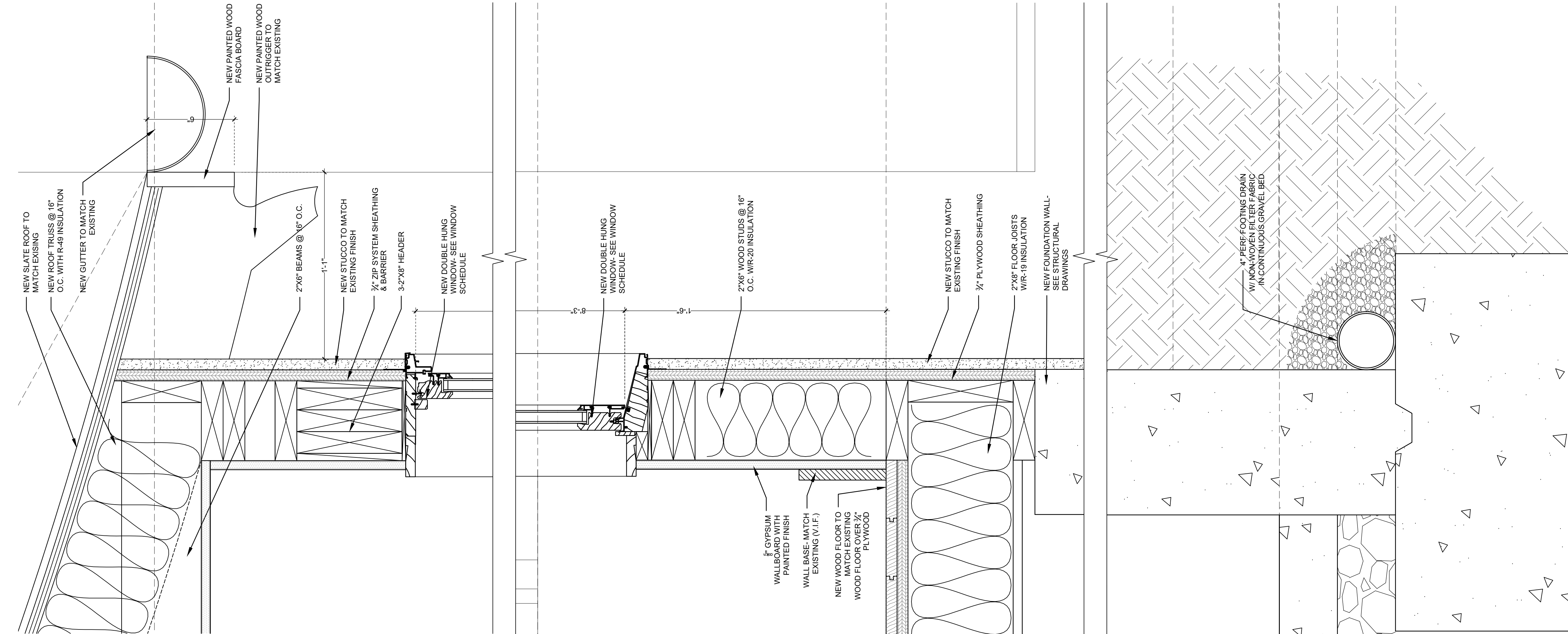
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**A-301.00**

DRAWING TITLE: **PROPOSED EAST & WEST ELEVATION**



1 WALL SECTION AT NEW GALLERY  
SCALE: 3"=1'-0"



2 WALL SECTION AT NEW BACK ENTRY  
SCALE: 3"=1'-0"

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FILE:  
DRAWING NO.: of

A-400.00

DRAWING TITLE:  
WALL SECTIONS

DESIGNER:



View of Southeast existing

Weismiller Residence

16 Tanglewylde Ave

Bronxville, NY 10708



View of Southwest existing

Weismiller Residence

16 Tanglewylde Ave

Bronxville, NY 10708