TRANSMITTAL

DATE: September 2, 2021

TO: Village of Bronxville

Building Department 200 Pondfield Road,

Bronxville, New York 10708

FROM: Anderson Kenny Architecture 903 Madison Avenue 5F New York, NY 10021 917.475.1409

PROJECT: 115 White Plans Road

SUBJECT: Variance Application

DESCRIPTION:

Enclosed are the documents for the zoning board of appeals.

DOCUMENTS ATTACHED:

- Exhibit # 1 ZBA Application form and any supplemental attachments. (Required)
 - o \$300.00 Filing Fee for Alterations
 - o Completed Application
 - o **Zoning Worksheet**
- Exhibit # 2 Copy of Zoning Denial Letter (Required)
- Exhibit # 3 Architectural Drawings (Required)
- Exhibit # 4 Copy of current land survey. (Required)
- Exhibit # 5 Signed Affidavit of Mailing and certified mail receipts. (Required)
- Exhibit # 6 Photographs showing the proposed area (Recommended)
- Exhibit # 7 Additional information for the Boards consideration (Recommended)

EXHIBIT # 1

ZBA APPLICATION FORM AND ANY SUPPLEMENTAL ATTACHMENTS.

AFFIDAVIT OF OWNERSHIP

	IAN ROSS , being duly sworn, deposes and says:
,	Clearly print first and last name of property owner)
(Che	appropriate box)
	am the owner of the property for which this application is being submitted.
	am an officer of the corporation that owns the property for which this application is being submitted
Fur	er (check applicable box):
	am submitting this application on my own behalf.
E	I am authorizing the following individual to submit this application on my behalf:
	CHARLES ANDERSON KENNY
To	ther: The best of my knowledge, information and belief, all statements contained in this application are true, and the statements are the statements application and in the statements are the statements.
oc pla re	ther: The best of my knowledge, information and belief, all statements contained in this application are true, polete and correct, and all work will be performed in the manner set forth in the application and in the sand specifications filed therewith, and in accordance will all applicable laws, ordinances and lations.
oc pla re	ther: The best of my knowledge, information and belief, all statements contained in this application are true, polete and correct, and all work will be performed in the manner set forth in the application and in the sand specifications filed therewith, and in accordance will all applicable laws, ordinances and lations.
To co plant re	ther: The best of my knowledge, information and belief, all statements contained in this application are true, polete and correct, and all work will be performed in the manner set forth in the application and in the sand specifications filed therewith, and in accordance will all applicable laws, ordinances and lations.
To coople re	ther: The best of my knowledge, information and belief, all statements contained in this application are true, polete and correct, and all work will be performed in the manner set forth in the application and in the sand specifications filed therewith, and in accordance will all applicable laws, ordinances and lations. The Ross
CCC pll re	her: ne best of my knowledge, information and belief, all statements contained in this application are true, plete and correct, and all work will be performed in the manner set forth in the application and in the sand specifications filed therewith, and in accordance will all applicable laws, ordinances and lations. Ross Name of Owner)

ZONING BOARD OF APPEALS APPLICATION

Project St	reet Address:					
Section: _	Block: 2 Lot(s):_	5			Zone:_	DISTRICT A
Applicant:	CHARLES ANDERSON KENNY					
	45 EAST PUTNAM AVENUE STE					
City:	GREENWICH	State:	СТ	Zip: _	06830	
	203,900.1550					
Owner:	ASHLEY # IAN ROSS					
Address:_	I 15 WHITE PLAINS ROAD					
City:	BRONXVILLE	_State:	NY	Zip:	10708	
Phone #:]	Email:			
Applicatio X	_ An interpretation of the Zoning Lav			on by the Superinte	ndent of Buildin	ıgs
				List Sections		
				List Sections		
				List Sections		

I. Remove existing driveway at side and rear yard.

sought:_____

- 2. Remove curb to construct new asphalt driveway
- 3. Construct two car garage at southeast corner.
- 4. Construct breezeway from garage to primary structure

With the addition of the new garage, we would need a variance because the southeast corner would encroach the setback. However, the house with the addition is well below the FAR and compliant with all other setbacks. The project would also increase the open space of the lot by 25% and permeable area by 15%.

When did present owner acquire title?
Was the title acquired by purchase: (Yes or No), If so from whom? N/A
Are you seeking a variance from the provisions of the ordinance? (Yes or No)
If so, from which ordinance, from which provision thereof and to what extent?
We are over the setback line by 8.9 feet on side yard 2. At the most narrow point, this will leave 6.1 feet between our structure and the property line. The neighboring property also has a garage in this location. Our garage addition would be adjacent to the neighbors garage. The existing elevation change between the front yard and backyard is approximately 5 feet, preventing access by vehicles in this location. By putting the garage in side yard 2 we create a more open space and permeable space in the front, side 1, and rear yards. Please note that we are under the allowed FAR with this addition.
If you are seeking a variance from the provisions of the ordinance, do you contend that the effect of the ordinance
on the property to which this appeal pertains is different from its effect on other properties in the same zoning
district? (Yes or No) If so, in what respect and what is the cause of the difference?
Does the owner of the premises involved in this application own any contiguous property? (Yes or No)
If so, in what respect and what is the cause of the difference?
Owners Signature: Mallym fluxy Date:
Owners Signature: Date:

Zoning Compliance Analysis

Property Address:		1 1 5 WHITE PLAINS ROAD
Zoning District:	Α	
Flood Zone: Ves:		No. X

ZONING STANDARD	REQUIRED	EXISTING	PROPOSED	STATUS
BUILDING USE	SINGLE FAMILY	SINGLE FAMILY	NO CHANGE	
LOT AREA	12,000'	20,803.24'	NO CHANGE	
LOT WIDTH	80'	102.0'	NO CHANGE	
LOT DEPTH	100'	149.15'	NO CHANGE	
FRONT YARD	30'	94.6'	68.83'	
SIDE YARD #1	27'	34.6'	34.6'	
SIDE YARD #2	15'	15.1'	6.1'	8.9'
REAR YARD	30'	44.8'	NO CHANGE	
HEIGHT (Feet & Stories)	30' 2.50	30' 2.50	NO CHANGE	
BUILDING COVERAGE	22.5%	10%	15%	
USABLE OPEN SPACE	55%	69%	72%	
F.A.R.	.270 = 5,616.87	3576.8	4513.65	
PARKING				

All applications for additions to submit complete detailed finished grade and FAR calculations, and completed F.A.R. computation worksheet on reverse, submission to be stamped by the design professional of record.

Form Prepared By:	Name (Print):	ANDERSON KENNY
	Signature: <u>M</u>	derson fenny

Zoning F.A.R. Calculation

	EXISTING	PROPOSED	SUB TOTAL
BASEMENT ^(b)	1013.5		
1 ST FLOOR	1611.94	315.35	1803.63
2 ND FLOOR	1461.63		1461.63
3 RD FLOOR (d)	501.25		501.25
ATTIC (d)	N/A		
GARAGE (c)	344.02 at basement	623.48 IST FLOOR	623.48
ACT	TUAL TOTAL BUILDI	NG FLOOR AREA =	4513.65
	AC	ΓUAL LOT AREA =	20803.24
PERMITTED F.A	.270		
MAXIMUM PI (ACTUAL I	5616.87		

Floor Area Ratio (for a lot whose principal use is a one or two family dwelling): The ratio of the gross floor area of all buildings on a lot to the area of the lot on which the buildings are located. For the purpose of determining the floor area ratio (FAR), all floor areas of each floor of all principal and all accessory structures on the lot shall be included. Any interior space with a floor-to-ceiling height in excess of 14 feet shall be counted twice. Notwithstanding the preceding the following shall be excluded from the calculation of floor area:

- a) The aggregate area of all unroofed structures such as decks and patios and all spaces in unenclosed porches and porticos, except that existing unenclosed porches may be enclosed and the enclosed area excluded from the FAR calculation provided that the exterior walls of the unenclosed porch and the walls of the dwelling to which the porch is attached are not relocated closer to the lot lines of the subject property than the existing unenclosed porch.
- b) The aggregate area of any cellar regardless of its use or of any basement unless it is defined as a story. See Basement definition.
- c) The aggregate area of grade level garage parking (whether attached or detached) or basement level parking, in either case, up to a maximum of 400 square feet. In those instances where an additional story is provided above a garage (whether attached or detached) such floor area shall be subject to the attic and sloping roof limitations in (d) below.
- d) The aggregate area of all unfinished or finished space in an attic or under a sloping roof provided that the total exterior width of all dormers does not exceed 30% of the exterior linear width of the portion of the roof upon which they are situated. The exterior linear width of the roof shall be measured from end to end at the widest point of the roof. Where the linear width of the dormers exceeds the limitation above, the total area in the attic or under the sloping roof shall be included in the calculation of FAR, except where floor area between the top of the floor beams and the structural ceiling level is five (5) feet or less.

Calculations Prepared By:	Name (Prin	ANDERSON KENNY
- '	Signature:	Auderson Kenny

Zoning Compliance Worksheet – District 'A'

Bronxville District 'A'	District	Height	Stories	Lot Area	Lot Width	Lot Depth	Front Yard	Alt. Front Yard	Side Yard with Garage	Side Yard without Garage	Side Yard corner lot with garage	Side Yard Corner Lot w/o garage	Side Yard Alternative	Rear Yard	Fence> than 6- 1/2'	Paved terraces, steps, and walks	ACC Building	Max Buildi ng cover age	Off street parking	FAR	Open space
Bronxville District 'A' Description of Bulk Requirements	A	30' Mean Height	2-1/2	12000 SF	80'	100'	30'	a) angle of building b) average of homes within 300'	15'	nin side yard/ second side min.	30'/15' opposite principal front/ opposite second front	30'/27'	Lesser side yard reduced by 5'	30'	same as a building	15' street line, 4' property line	no nearer to to the street	22.5%	Not less than 1 spaces	Complete FAR Chart	55% Open Space; 45 Impervious Area- Complete Chart
310-10 Code Section- https://ecode360.com/9450363	310-10 A	310- 10 B	310- 10 B	310- 10 C	310- 10 C	310- 10 C	310- 10 D(1)	310-10 D(1)	310-10 D(2)	310-10 D(2)	310-10 D(2)	310- 10 D(2)	310-10 D(2)	310- 10 D(3)	310-10 D(4)	310-10 D(4)	310-10 D(5)	310- 10 E	310-10 F	310-10 G: 310- 22 E	310-10 H
Property Address:	115 W	HITE P	LAINS	ROAD																	
Allowed	A	30'	2.50	12,000	80'	100'	30'		15'	15'27'	30'/15'	30'/ 27'		30'		15'/ 4'		22.5%	1		55%
Existing		30	2.50	20,803.24	102.00	149.15	94.6		34.6	15.1	N/A	N/A		44.8		94.67'		10%	1		69%
Proposed							68.83		6.1	34.6						58.5'		15%	2		72 %
Variance required = (proposed - allowed)									8.9												

EXHIBIT # 2

COPY OF ZONING DENIAL LETTER

VILLAGE OF BRONXVILLE

Department of Buildings 200 Pondfield Road (914) 337-7338 (914) 337-0158 (Fax)

PLAN REVIEW COMMENTS

APPLICATION NUMB: ALT 171-21

DATE RECEIVED: August 31, 2021

LOCATION: 115 White Plains Road

SBL: 17./2/5

APPLICANT NAME: Ross, Ashley & Ian

APPLICANT ADDRESS: 115 White Plains Road

Bronxville, NY 10708

DESCRIPTION OF WORK: Below is a narrative of the proposed scope of work intended for the exterior:

1. Remove existing driveway at side and rear yard, Remove curb to construct new asphalt corner. Construct two car garage at southeast corner. Install new windows to enclose porch at rear yard.

DISAPPROVED August 31, 2021, FOR THE FOLLOWING:

Your revised application for a permit on the above location has been reviewed and a permit may not be issued at this time for the reasons indicated below.

ZONING CODE REVIEW (Section Numbers refer to Village Code of 1981) Zoning Review -

- 1) Proposed work includes a substantial increase in open space 73%, therefore the impervious area is being decreased.
- 2) The proposed new garage will replace the existing garage tying into a new driveway court.
- 3) As per 'Village of Bronxville Municipal Code, section 310-10 D (2)' the side yard setback required is 15' minimum. The proposed side yard setback for the new garage is 8.9'. The variance required for this proposed new garage is 6.1'. Referral to the Village of Bronxville Zoning Board of Appeals is required for an area variance.
- 4) Building Coverage calculations are required to be provided
- 5) FAR Calculations the calculations don't seem to consider the definitions of the FAR. Please refer to the definitions/ what exceptions are allowed.
- 6) Provide the story above grade worksheet to determine if the basement is considered a story above grade.
- 7) Affidavit of Owner form is required for application to be processed, as well as the application requires a signature. All paperwork is required to be completed.

VILLAGE OF BRONXVILLE

Department of Buildings 200 Pondfield Road (914) 337-7338 (914) 337-0158 (Fax)

This document constitutes a final administrative determination by the Building Inspector denying your application for the reasons set forth above. Section 7-712(a) of the New York State Village Law provides that any appeal of this decision must be filed within 60 days of the date hereof with the Zoning Board of Appeals of the Village of Bronxville.

APPLICATION REVIEW to be completed upon Zoning Board of Appeals Approval

PLAN REVIEW to be completed upon Zoning Board of Appeals Approval

Paul Taft

Building Inspector

CC: Ross, Ashley & Ian

September 15, 2021

Village of Bronxville Bronxville Village Hall 200 Pondfield Road Bronxville, New York 10708

Re: 115 White Plains Road - Application ALT-171-21

The following is a response to all plan reviewer's comments received from the Village of Bronxville on August 31, 2021. The numbers correspond to those found in the review letter.

- 1. Noted
- 2. Noted
- 3. Noted. Varian application will be provided.
- 4. Building Coverage calculations are noted on Zoning Compliance Worksheet attached and noted on sheet A-004
- 5. FAR calculations revised per definitions provided. Basement is below grade and area removed from the calculations.
- 6. Grading plan new sheet A-004
- 7. Affidavit attached.

Please contact me with any questions or comments.

Regards,

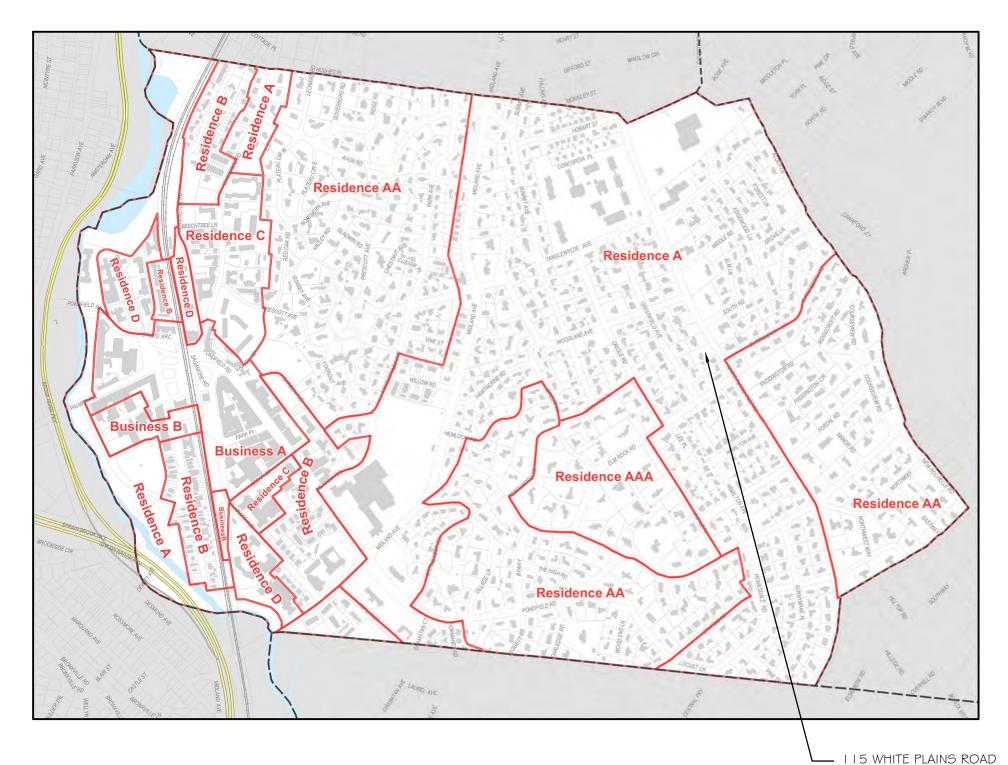
Anderson Kenny, AIA

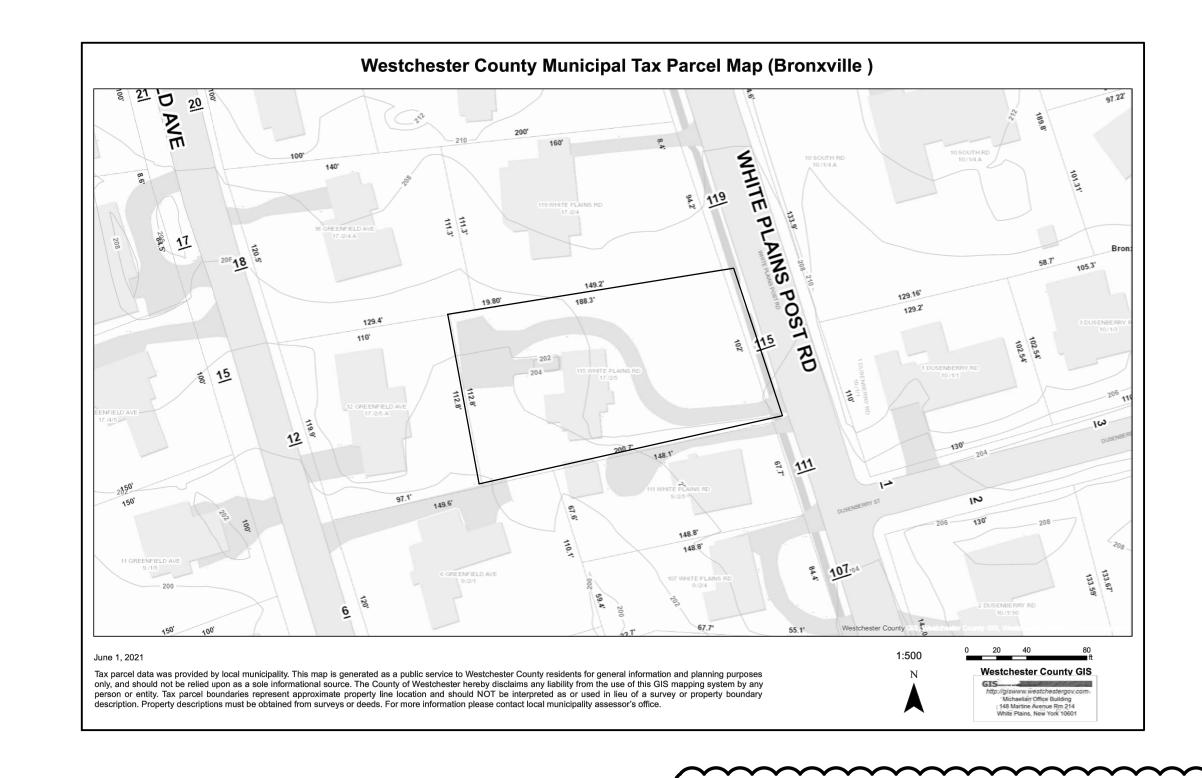
Anderson Kenny

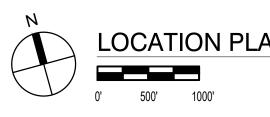
EXHIBIT # 3 ARCHITECTURAL DRAWINGS

BRONXVILLE RESIDENCE - PROPOSED EXTERIOR ALTERATIONS

115 WHITE PLAINS ROAD BRONXVILLE, NEW YORK 10708







ARCHITECT:

ANDERSON KENNY. AIA ANDERSON KENNY ARCHITECTURE 903 MADISON AVENUE SUITE 5F NEW YORK, NY 10021

REGISTERED ARCHITECT STATE OF NEW YORK NUMBER: 031969

DRAWING LIST

T-001.00	TITLE SHEE
G-001.00	FEMA MAP

ARCHITECTURAL:

A-502.00

A- A-	-001.00 -002.00 -003.00 -004.00	SITE PLAN - EXISTING CONDITIONS SITE PLAN - DEVELOPMENT PLAN SITE PLAN - ROOF PLAN SITE PLAN - GRADING PLAN
	-100.00 -101.00	REMOVALS PLAN - BASEMENT REMOVALS PLAN - FIRST FLOOR
	-200.00 -201.00	PROPOSED PLAN - BASEMENT PROPOSED PLAN - FIRST FLOOR
Α-	-400.00	DETAILS - WINDOW WELL & FOUNDATION WALL
A-	-501.00	EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

DESCRIPTION OF WORK

I. REMOVE EXISTING DRIVEWAY INFILL YARD AS REQUIRED 2. OPEN EXISTING WINDOW AT FIRST FLOOR POWDER ROOM 3. OPEN REMOVE FINISHES AT COVERED PORCHES

CONSTRUCTION:

I. BUILD NEW CAR GARAGE AND BREEZEWAY CONNECTION TO HOUSE 2. CONVERT EXISTING GARAGE TO GYM 3.RELOCATE DRIVEWAY AND NEW CURB CUT TO WHITE PLAINS ROAD 4.ENCLOSE PORCH AT KITCHEN

PROJECT CODES

THE BUILDING CODES OF NEW YORK STATE ADOPT THE

2020 BUILDING CODE OF NEW YORK STATE THE INTERNATIONAL BUILDING CODE 2018 (IBC 2018), 2020 RESIDENTIAL CODE OF NEW YORK STATE INTERNATIONAL RESIDENTIAL CODE 2018 (IRC 2018), 2020 EXISTING BUILDING CODE OF NEW YORK STATE 2020 FIRE CODE OF NEW YORK STATE 2020 PLUMBING CODE OF NEW YORK STATE 2020 MECHANICAL CODE OF NEW YORK STATE 2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, 2009, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2016, NATIONAL ELECTRICAL CODE, 2017, NATIONAL FIRE ALARM AND SIGNALING CODE, 2016, SAFETY CODE FOR ELEVATORS AND ESCALATORS, 2016, THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE 2014.

THESE CODES INCLUDE AMENDMENTS ENACTED AT THE STATE LEVEL AND LOCAL LEVEL OF THE VILLAGE CODE OF BRONXVILLE

MINIMUM PER DWELLING UNIT (SQ. FT.) RESIDENTIAL FAR AND GROSS SQUARE FOOTAGE:

AREA OF OPEN SPACE

TOTAL % OPEN SPACE

LOT AREA

LOT AREA:

NESIDENTIAL FAN AND GROSS SQUARE FOOTAGE.			
LOT SIZE (SQ. FT.) FAR ALLOWABLE MAXIMUM GROSS ALLOWABLE (SQ. FT.) GROSS AREA HOUSE + ADDITION(SQ. FT.)	10,000 SF .270 3,700	20,803.24 SQ. FT. .270 5,616.87 SQ. FT. 4,590.32 SQ. FT.	
LOT DIMENSIONS MAXIMUM:			
WIDTH (FT.) DEPTH (FT.)	50' - 0" 20' - 0"	49. 3 2.84	49. 3 2.84
HEIGHT, MAXIMUM:			
STORIES MAXIMUM HEIGHT (FT.)	2 1/2 30'-0"	2 - 1/2 30'-0"	2 - 1/2 30'-0"
SETBACK:			
PRINCIPAL BUILDING OR STRUCTURE (FT.) FRONT SIDE SIDE, TOTAL FOR BOTH (INTERIOR LOT) SIDE, ABUTTING SIDE STREET ON CORNER LOT REAR	30' 5' - - 30'	94.6' 5.1' 49.7' N/A 44.8'	68.83' 6.1' 40.7' N/A 44.8'
ACCESSORY BUILDING OR STRUCTURE, MINIMUM YAR	DS (FT.)		N//A
DISTANCE FROM STREET DISTANCE FROM SIDE AND REAR LOT LINES DISTANCE BETWEEN BUILDINGS	- - -	N/A N/A N/A	N/A N/A N/A
IMPERMEABLE SURFACES			
HOUSE ACCESSORY STRUCTURE / GARAGE DRIVEWAY PATIO CONCRETE PADS OR SIDEWALKS	- - - -	1,611.94 N/A 4,310.76 N/A 454.78	1,927.29 623.48 2621.16 - 284.95
PERMEABLE SURFACES			
SWIMMING POOL WOOD DECK W/ SPACES BOARDS OPEN JOINT PATIO & SIDEWALKS OTHER PAVING SYSTEMS	- - -	- - 459.80 -	- - 225.57 -
OPEN SPACE CALCULATIONS	_		

20,803.24

55% MIN

REQUIREMENTS

12,000

EXISTING

.48 AC

14,428.24 SQ FT

20,803.24 SQ FT

PROPOSED

.48 AC

15,064.24 SQ FT

72%

20,803.24 SQ FT

ANDERSON KENNY ARCHITECTURE, PLLC

45 E Putnam Ave Greenwich, CT 06830 WWW.ANDERSONKENNY.COM

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

١.			
	DATE	ISSUE	NC
	06.24.21	TO VILLAGE OF BRONXVILLE	1
	06.25.21	CONTRACTOR PRICING	2
	07.16.21	TO VILLAGE OF BRONXVILLE R I	3
	08 26 21	TO VOB AMENDMENT	4

TO VOB AMENDMENT	4

PROJECT:

115 White Plains Rd BRONXVILLE, NY 10708

TITLE SHEET & DRAWING LIST

SCALE: AS NOTED

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanie this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this

The projection used in the preparation of this map was Universal Transverse Mercator (UTM) zone 18. The horizontal datum was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at http://www.ngs.noaa.gov or contact the National Geodetic Survey at the following address:

NGS Information Services NOAA, N/NGS12 National Geodetic Survey SSMC-3, #9202 1315 East-West Highway Silver Spring, Maryland 20910-3282 (301) 713-3242

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at http://www.ngs.noaa.gov.

Base map information shown on this FIRM was derived from digital orthophotography provided by the New York State Office of Cyber Security & Critical Infrastructure Coordination, This information was produced as 20centimeter resolution natural color othoimagery from photography dated April 2004.

Based on updated topographic information, this map reflects more detailed and up-to-date stream channel configurations and floodplain delineations than those shown on the previous FIRM for this jurisdiction. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map. Also, the road to floodplain relationships for unrevised streams may differ from what is shown on previous maps.

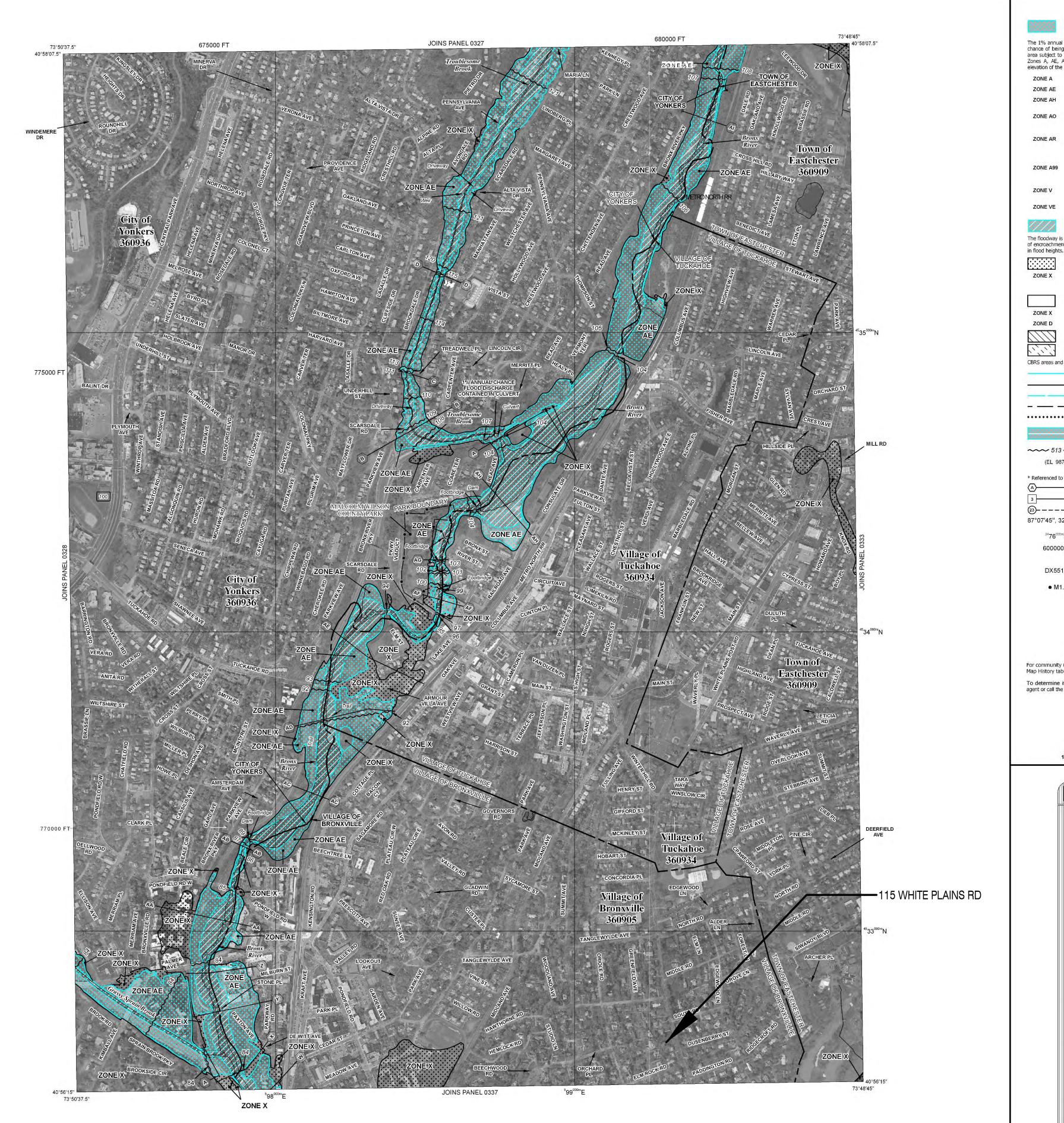
Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the inty snowing the layout of map panels; community map repository address and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the FEMA Map Service Center at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at http://msc.fema.gov.

If you have questions about this map or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-336-2627) or visit the FEMA website at http://www.fema.gov.

FLOOD ZONE: 'X' (OTHER AREAS) PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA



LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1%chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

No Base Flood Elevations determined. ZONE AE

Base Flood Elevations determined. Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

depths determined. For areas of alluvial fan flooding, velocities also determined. Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR

indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood. Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations

Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined. Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases

OTHER FLOOD AREAS Areas of 0.2% annual chance flood; areas of 1% annual chance flood with

average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood. OTHER AREAS Areas determined to be outside the 0.2% annual chance floodplain. ZONE X

Areas in which flood hazards are undetermined, but possible. COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs) CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

> 1% annual chance floodplain boundary 0.2% annual chance floodplain boundary Floodway boundary

> > Zone D boundary

Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities. Base Flood Elevation line and value; elevation in feet* ~~~ 513 ~~~ Base Flood Elevation value where uniform within zone; elevation

(EL 987) * Referenced to the North American Vertical Datum of 1988 (23)----(23) 87°07'45", 32°22'30"

Cross section line Limited detail cross section line Transect line

Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere ²⁴76^{000m}N 1000-meter Universal Transverse Mercator grid values, zone 18N 5000-foot grid ticks: New York State Plane coordinate system, 600000 FT East zone (FIPSZONE 3101), Transverse Mercator projection

Bench mark (see explanation in Notes to Users section of this FIRM panel) • M1.5 River Mile

> Refer to listing of Map Repositories on Map Index FLOOD INSURANCE RATE MAP September 28, 2007

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction. To determine if flood insurance is available in this community, contact your Insurance

agent or call the National Flood Insurance Program at 1-800-638-6620.

)	0 150 300	METERS
	PANEL 0329F	
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	Federal Emergency Manage	ment Agency

SEPTEMBER 28, 2007

ANDERSON KENNY ARCHITECTURE, PLLC

45 E Putnam Ave Greenwich, CT 06830 WWW.ANDERSONKENNY.COM

WNER REPRESENTATIVE:		

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

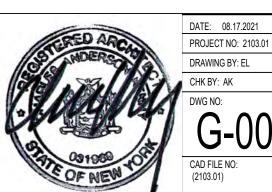
DATE	ISSUE	1
06.24.21	TO VILLAGE OF BRONXVILLE	
06.25.21	CONTRACTOR PRICING	
07.16.21	TO VILLAGE OF BRONXVILLE R I	
08.26.21	TO VOB AMENDMENT	

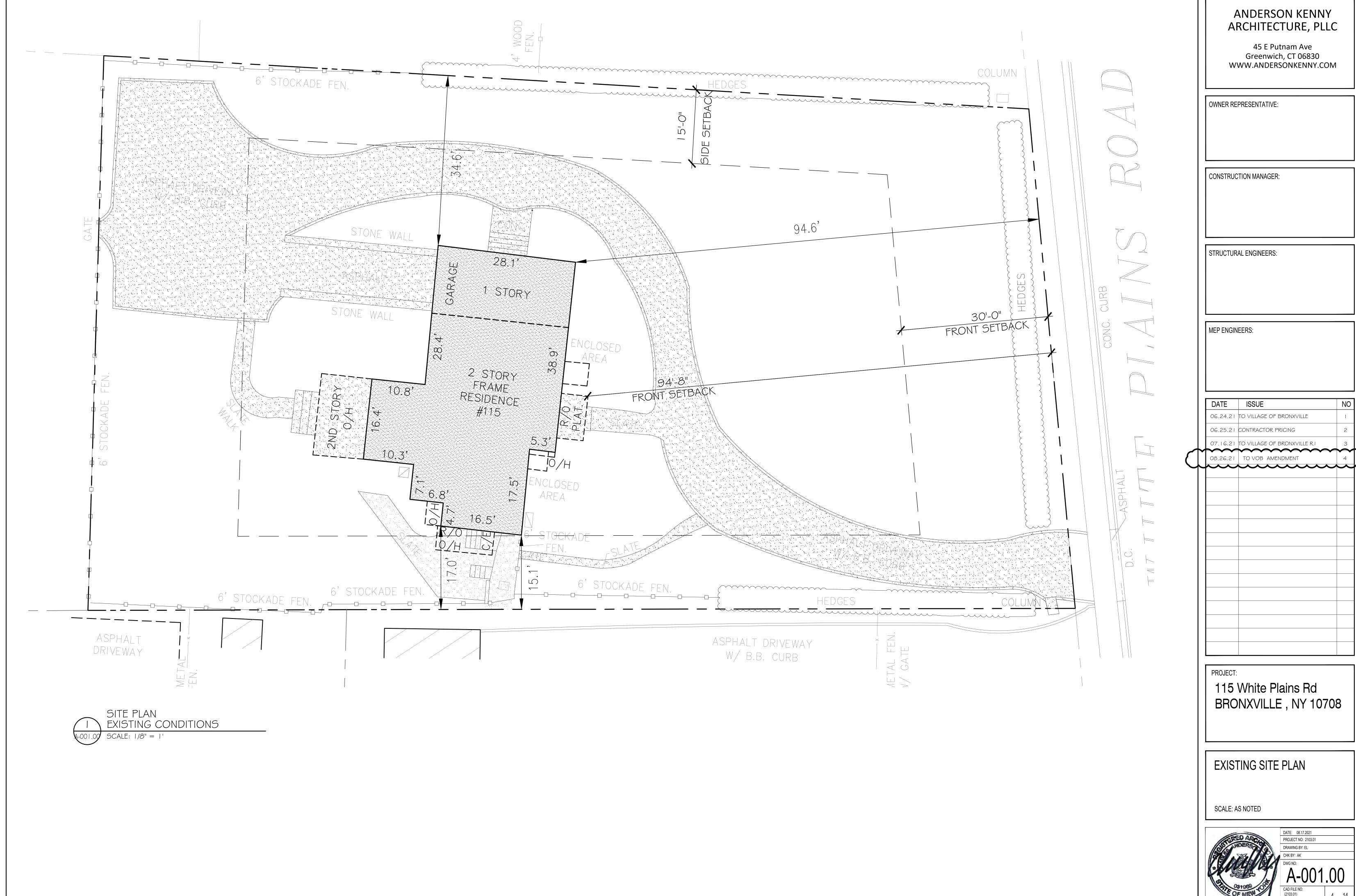
PROJECT:

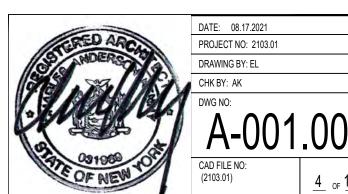
115 White Plains Rd BRONXVILLE, NY 10708

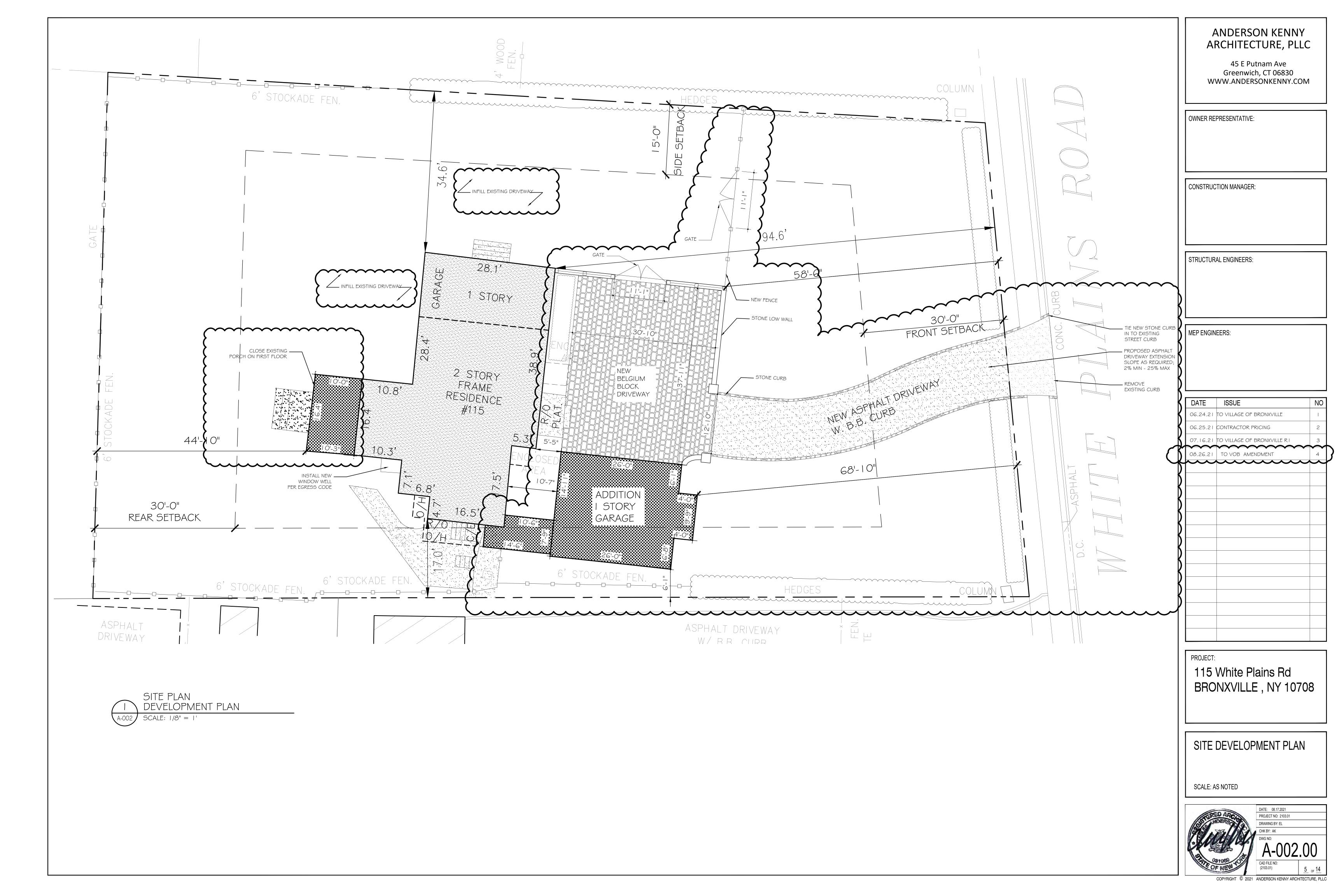
FEMA MAP

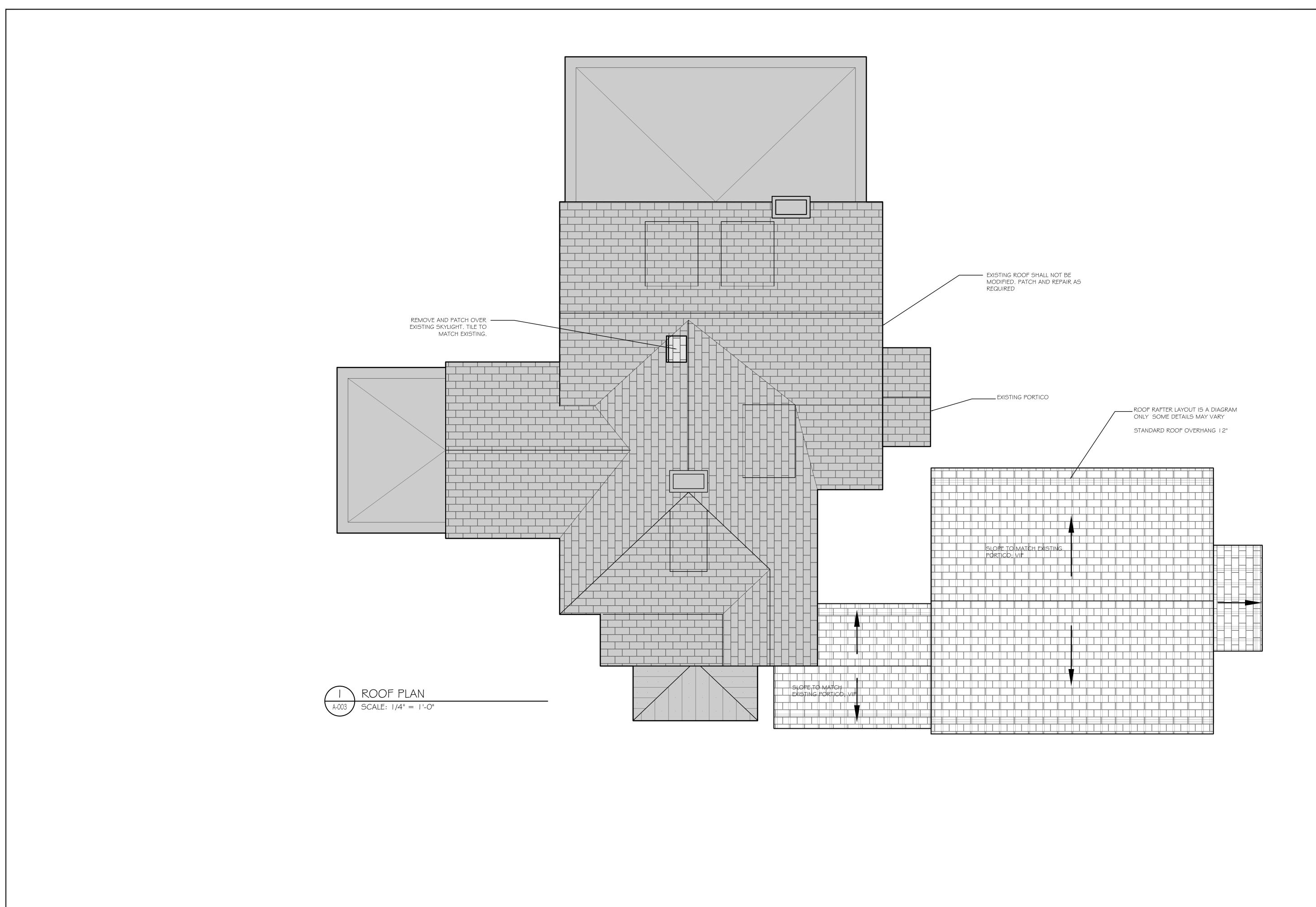
SCALE: AS NOTED











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OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

DATE ISSUE

O8.26.21 TO VOB AMENDMENT

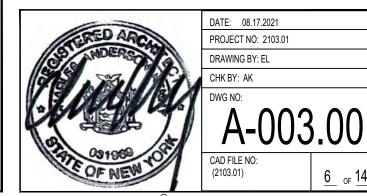
115 White Plains Rd BRONXVILLE , NY 10708

ROOF PLAN

PROPOSE

SCALE: AS NOTED

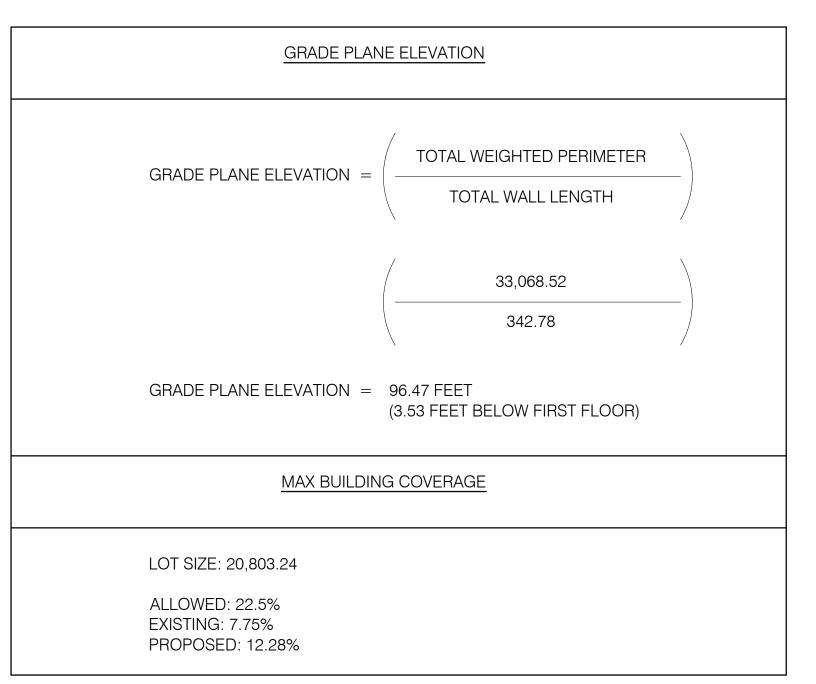
PROJECT:





WALL DESIGNATION	LOWEST / AVERAGE ELEVATION (FEET)		WALL LENGTH (FEET)	WEIGHTED PERIMETER
A	97.1	Х	38.9	3,777.19
В	96.8	X	28.1	2,720.08
C	96.4	X	28.4	2737.76
D	96.0	Х	28.8	2,764.8
E	95.6	X	16.4	1,567.84
F	95.3	Х	20.3	1,934.59
G	95.0	Х	7.1	674.5
H	94.8	X	6.8	644.64
	94.8	Х	4.7	445.56
J	94.8	Х	13.5	1,279.8
K	94.8	X	4.67	442.716
(L)	96.9	Х	14.5	1,405.05

WALL DESIGNATION	LOWEST / AVERAGE ELEVATION (FEET)		WALL LENGTH (FEET)	WEIGHTED PERIMETER
M	96.9	Х	26.0	2,519.4
N	97.0	Х	6.09	614.01
0	97.0	X	4.0	388
P	97.0	X	9.75	945.75
Q	97.0	X	4.0	388
R	97.0	X	6.09	614.01
S	97.1	X	26.0	2,524.6
T	97.1	X	14.99	1,446.79
U	97.1	X	10.5	1,019.55
V	97.1	Х	17.5	1699.25
W	97.1	Х	5.3	514.63
	TOTAL		342.78	33,068.52



45 E Putnam Ave Greenwich, CT 06830 WWW.ANDERSONKENNY.COM

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

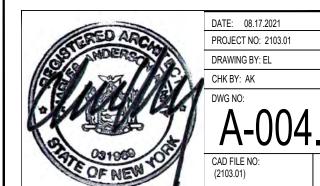
DATE	ISSUE	NO
08.26.21	TO VOB AMENDMENT	1

PROJECT:

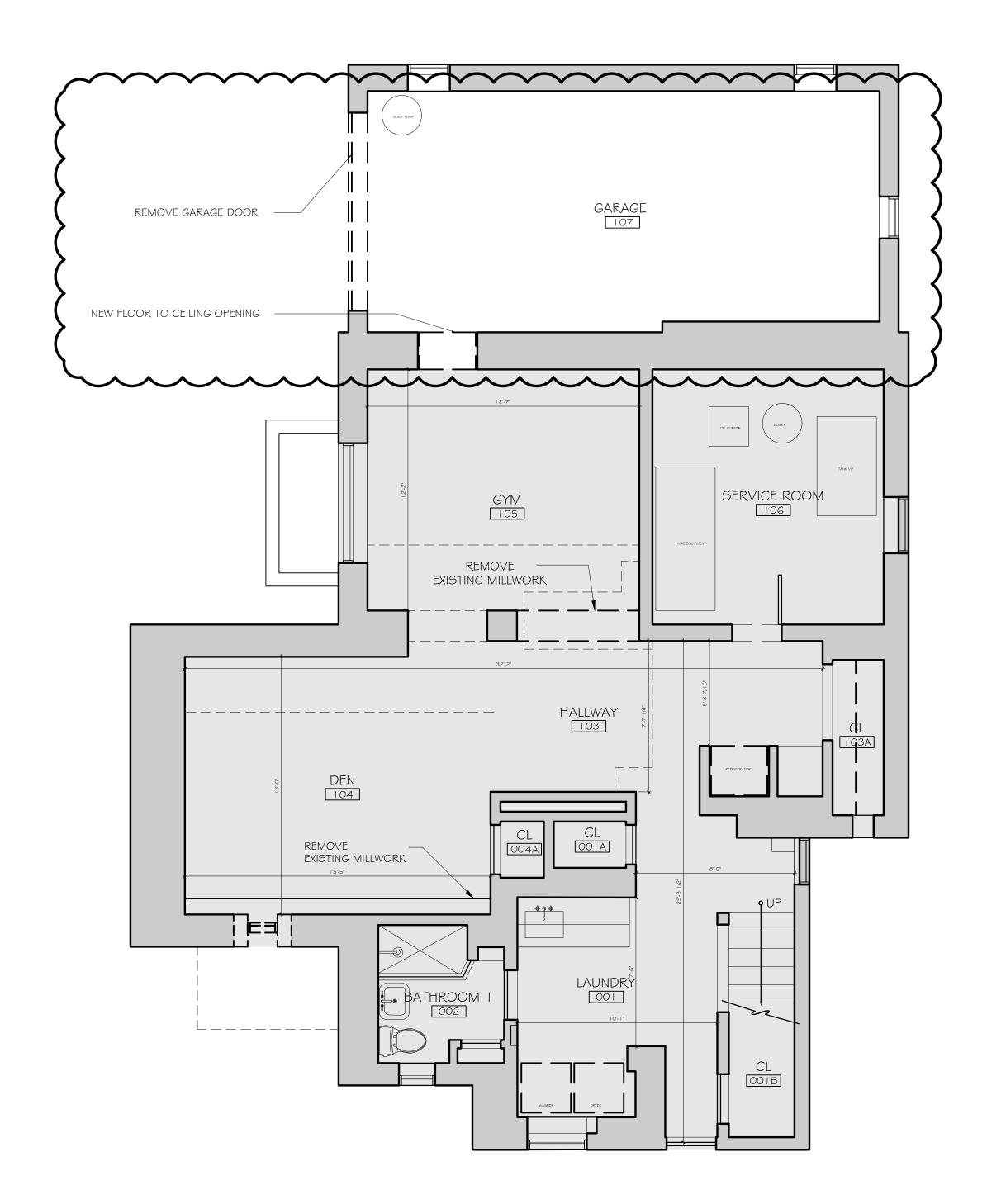
115 White Plains Rd BRONXVILLE , NY 10708

SITE DEVELOPMENT PLAN

SCALE: AS NOTED



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BASEMENT -PROPOSED PLAN

A-100 SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND GENERAL NOTES 1. NO STRUCTURAL MEMBERS MAY BE DISTURBED OR REMOVED. TYPICAL. 2. REMOVE ALL WINDOWS INCLUDING FRAMES, TRIP & BLOCKING AS SHOWN. 3. REMOVE ALL PLUMBING FIXTURES; PLUMBING ROUGHS-IN TO REMAIN. 4. REMOVE ALL DOORS INCLUDING FRAMES, TRIM & BLOCKING AS SHOWN. 5. REMOVE ALL DOORS INCLUDING FRAMES, TRIM & BLOCKING AS SHOWN. 5. REMOVE SELECT EXISTING MECHANICAL EQUIPMENT AND ASSOCIATED PIPING AS REQUIRED. 6. REMOVE MILLWORK AS NOTED. 7. ALL DIMENSIONS VIF 8. REMOVE ALL EXISTING WINDOWS.

- 8. REMOVE LIGHT FIXTURES & WIRING AS REQUIRED. SALVAGE FIXTURES AS DIRECTED BY
- 9. REMOVE ALL AV EQUIPMENT # WIRING. SALVAGE AS DIRECTED BY OWNER.
- 9. REMOVE ALL AV EQUIPMENT & WIRING, SALVAGE AS DIRECTED BY OWNER
- IO. REMOVALS WILL NOT AFFECT ANY UTILITY, PIPING, OR CONDUIT SERVING ANOTHER PROPERTY.
- II. THE CONTRACTOR AND/OR WORKERS ARE TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, AND IMPLEMENTING REGULATIONS, REGARDING LEAD-BASED PAINT HAZARDS AND TO INDEMNIFY THE OWNER FOR ANY VIOLATIONS THEREOF.
- 12. CONTRACTOR TO NOT SCALE DRAWINGS

ANDERSON KENNY ARCHITECTURE, PLLC

45 E Putnam Ave Greenwich, CT 06830 WWW.ANDERSONKENNY.COM

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

DATEISSUENO06.24.21TO VILLAGE OF BRONXVILLE106.25.21CONTRACTOR PRICING2

07.16.21 TO VILLAGE OF BRONXVILLE R1

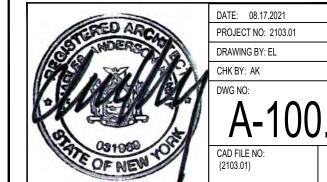
08.26.21 TO VOB AMENDMENT

PROJECT:

115 White Plains Rd BRONXVILLE , NY 10708

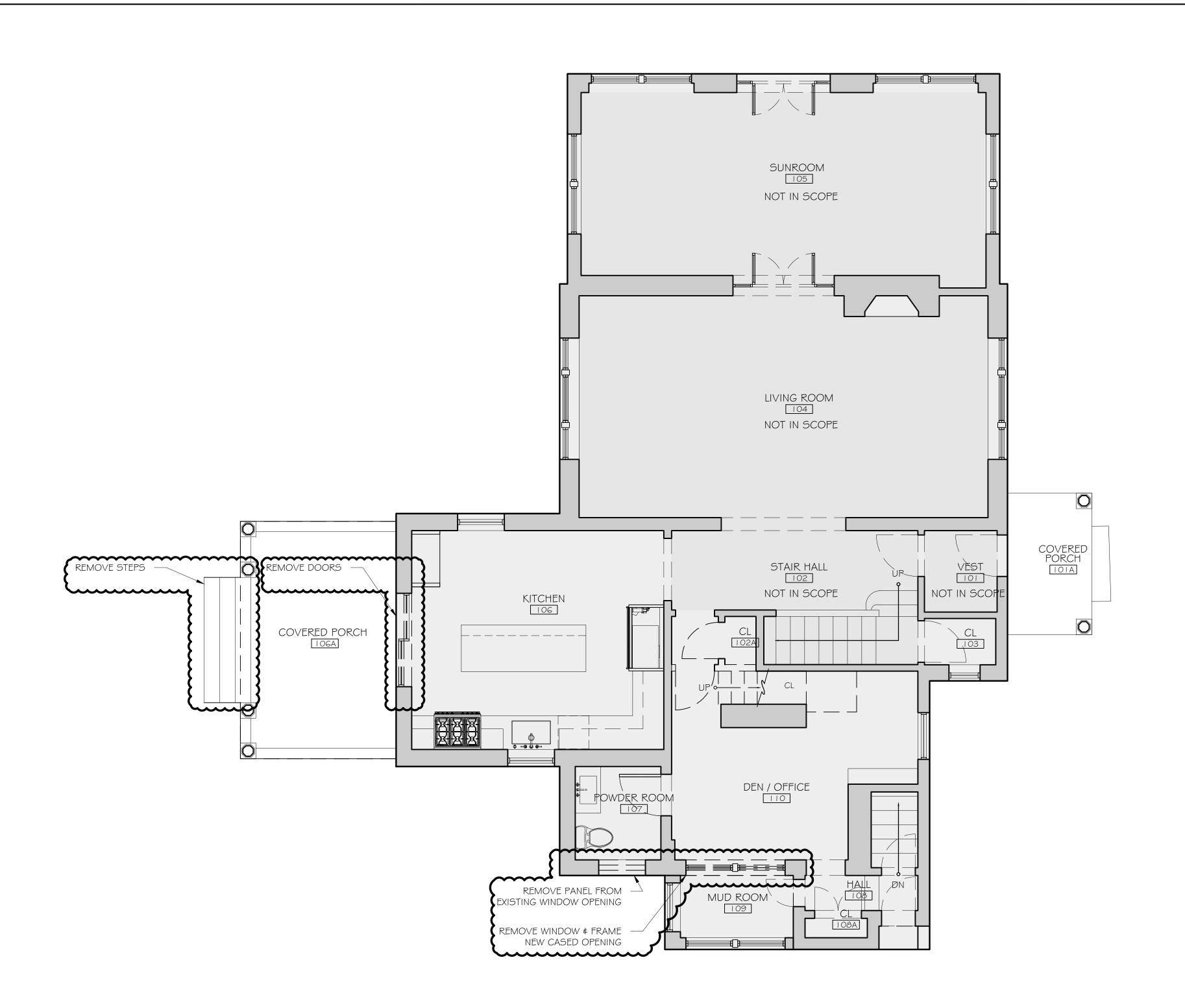
BASEMENT REMOVALS PLAN

SCALE: AS NOTED



(2103.01) <u>8</u> of <u>14</u>

GHT © 2021 ANDERSON KENNY ARCHITECTURE, PLLC



FIRST FLOOR REMOVALS PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND

GENERAL NOTES

1. NO STRUCTURAL MEMBERS MAY BE DISTURBED OR REMOVED. TYPICAL.

2. REMOVE ALL WINDOWS INCLUDING FRAMES, TRIP & BLOCKING AS SHOWN.

3. REMOVE ALL PLUMBING FIXTURES; PLUMBING ROUGHS-IN TO REMAIN.

4. REMOVE ALL DOORS INCLUDING FRAMES, TRIM & BLOCKING AS SHOWN.

5. REMOVE ALL DOORS INCLUDING FRAMES, TRIM & BLOCKING AS SHOWN.

6. REMOVE SELECT EXISTING MECHANICAL EQUIPMENT AND ASSOCIATED PIPING AS REQUIRED.

7. ALL DIMENSIONS VIF

8. REMOVE ALL EXISTING WINDOWS.

- 8. REMOVE LIGHT FIXTURES & WIRING AS REQUIRED. SALVAGE FIXTURES AS DIRECTED BY
- 9. REMOVE ALL AV EQUIPMENT # WIRING. SALVAGE AS DIRECTED BY OWNER.
- 9. REMOVE ALL AV EQUIPMENT & WIRING, SALVAGE AS DIRECTED BY OWNER
- I O. REMOVALS WILL NOT AFFECT ANY UTILITY, PIPING, OR CONDUIT SERVING ANOTHER PROPERTY.
- I. THE CONTRACTOR AND/OR WORKERS ARE TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, AND IMPLEMENTING REGULATIONS, REGARDING LEAD-BASED PAINT HAZARDS AND TO INDEMNIFY THE OWNER FOR ANY VIOLATIONS THEREOF.
- 12. CONTRACTOR TO NOT SCALE DRAWINGS

ANDERSON KENNY ARCHITECTURE, PLLC

45 E Putnam Ave Greenwich, CT 06830 WWW.ANDERSONKENNY.COM

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

DATEISSUENO06.24.21TO VILLAGE OF BRONXVILLE106.25.21CONTRACTOR PRICING2

07.16.21 TO VILLAGE OF BRONXVILLE R1

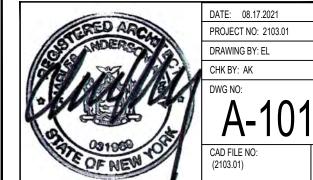
08.26.21 TO VOB AMENDMENT

PROJECT:

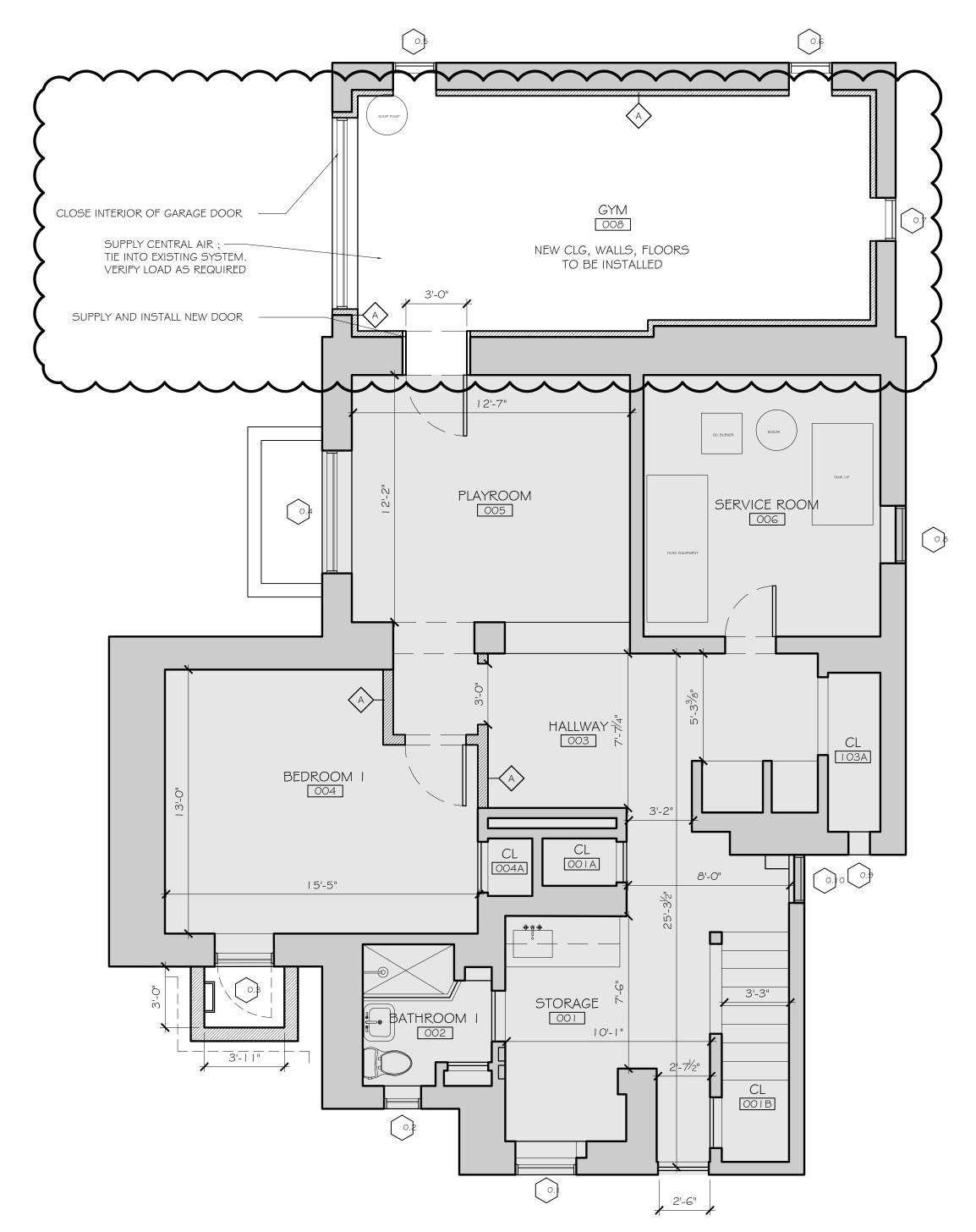
115 White Plains Rd BRONXVILLE , NY 10708

FIRST FLOOR REMOVALS PLAN

SCALE: AS NOTED



RIGHT © 2021 ANDERSON KENNY ARCHITECTURE, PLLC



BASEMENT -PROPOSED PLAN

A-201 SCALE: 1/4" = 1'-0"

EXISTING MASONRY

I. CONTRACTORS SHALL NOT SCALE DRAWINGS.

2. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES

4. IF NEEDED, G.C. TO PATCH EXISTING FIRE RATED ENCLOSURES AS REQUIRED TO MAINTAIN REQUISITE FIRE RATING. TYPICAL AT ALL BUILDING CHASES AND STRUCTURAL MEMBERS.

5. ON SITE COORDINATION MEETING WY COMPLETE TEAM TO OCCUR BEFORE FRAMING IS INSTALLED

NEW DOOR

WINDOW TYPE

6. PROVIDE BLOCKING FOR GRAB BARS AT ALL WATERCLOSETS & SHOWERS PER ANSI AT 1.7.1.

7. PROVIDE ARC-FAULT (AFCI) OUTLETS AT ALL NEW BEDROOM OUTLETS, TYP.

8. STORAGE AREAS ARE NOT TO BE USED FOR HUMAN HABITATION.

9. CONTRACTOR TO COORDINATE FINAL LOCATION OF ALL MECH SYSTEMS WITH MECH. SUB CONTRACTOR; SUB TO KEEP DUCTWORK TIGHT TO EACH OTHER TO MAXIMIZE FINISH CEILING HEIGHT

ANDERSON KENNY ARCHITECTURE, PLLC

45 E Putnam Ave Greenwich, CT 06830 WWW.ANDERSONKENNY.COM

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

DATE ISSUE N

OG.24.21 TO VILLAGE OF BRONXVILLE

OG.25.21 CONTRACTOR PRICING

07.16.21 TO VILLAGE OF BRONXVILLE R I 3

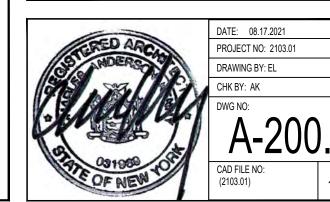
08.26.21 TO VOB AMENDMENT 4

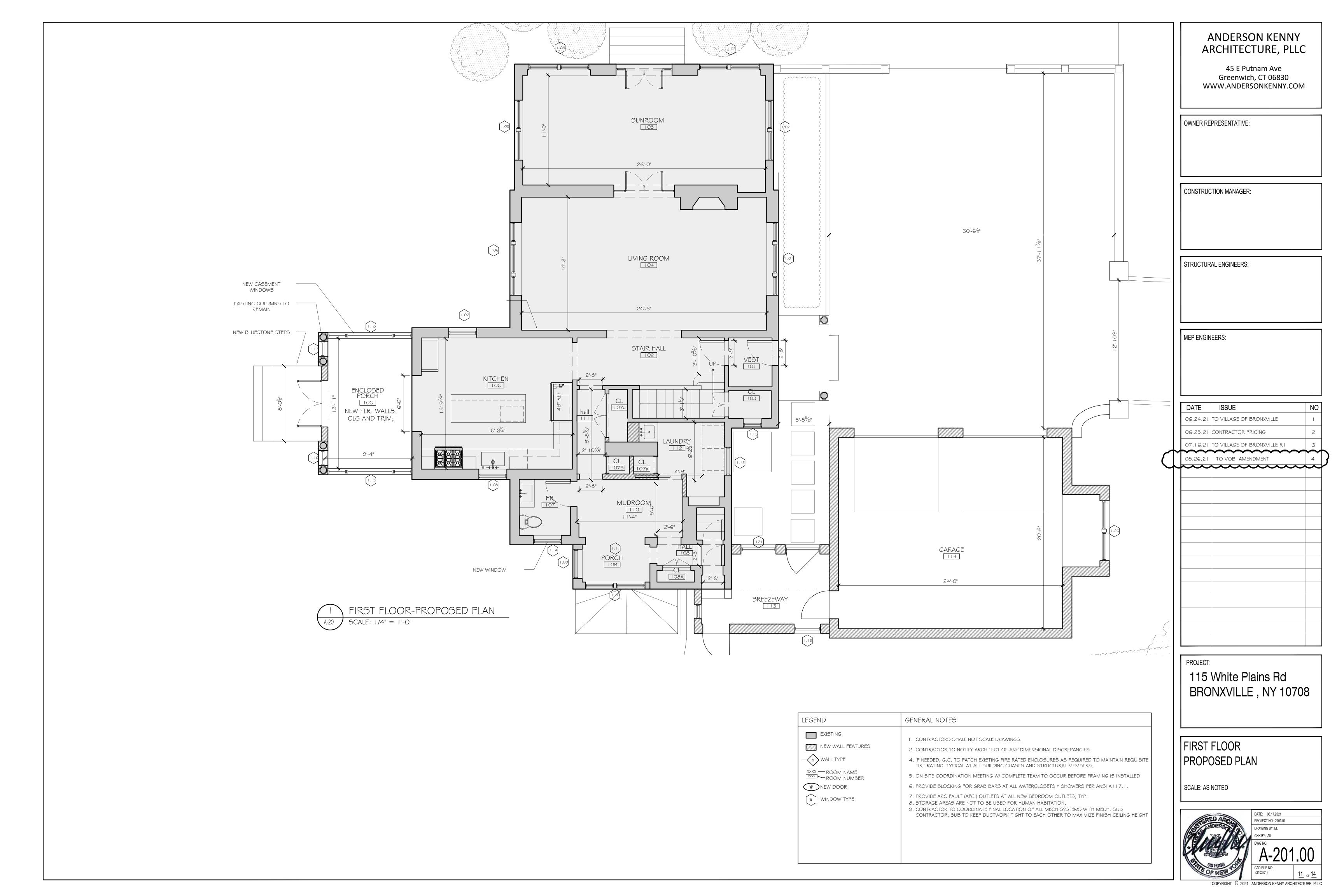
PROJECT:

115 White Plains Rd BRONXVILLE , NY 10708

BASEMENT PROPOSED PLAN

SCALE: AS NOTED





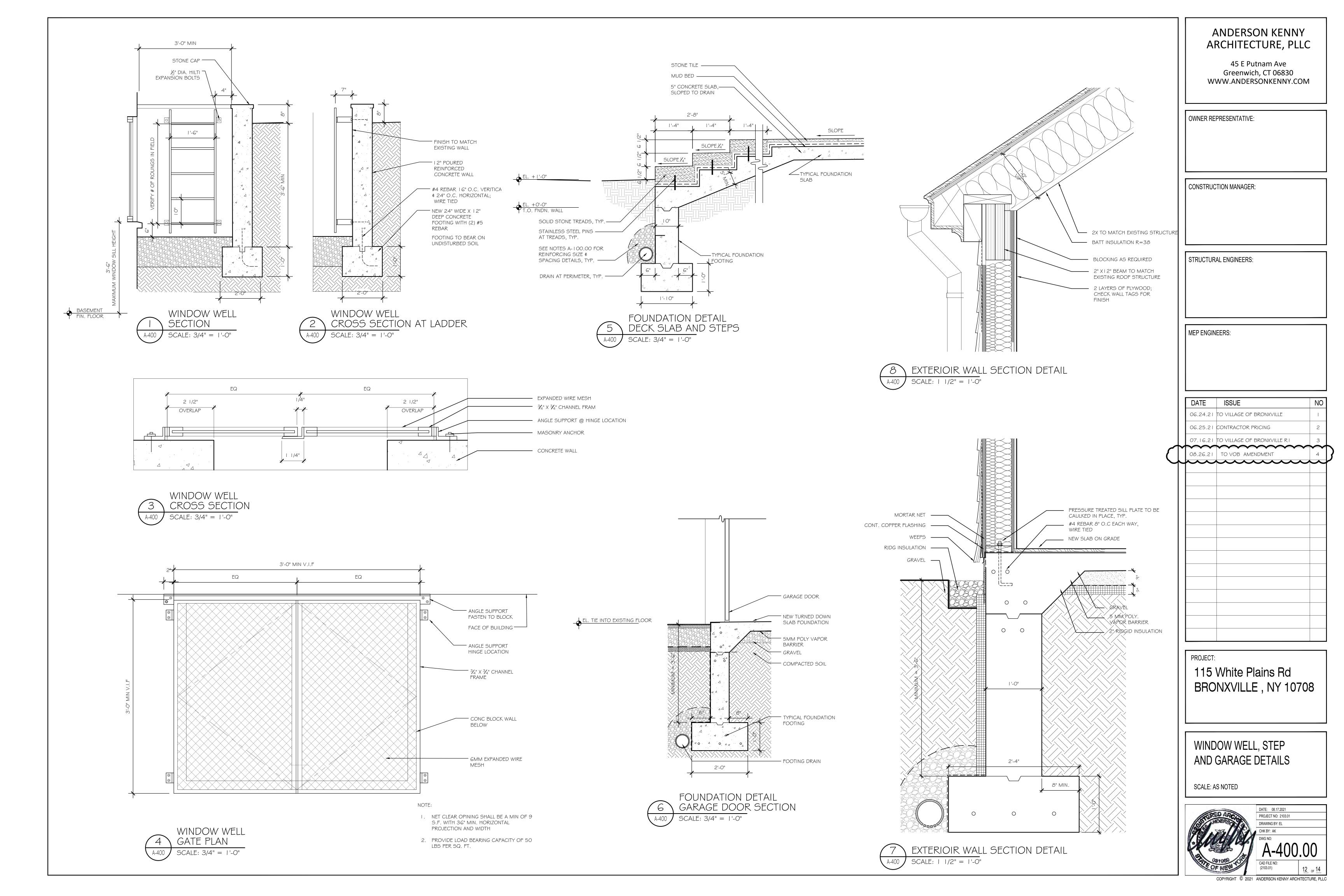
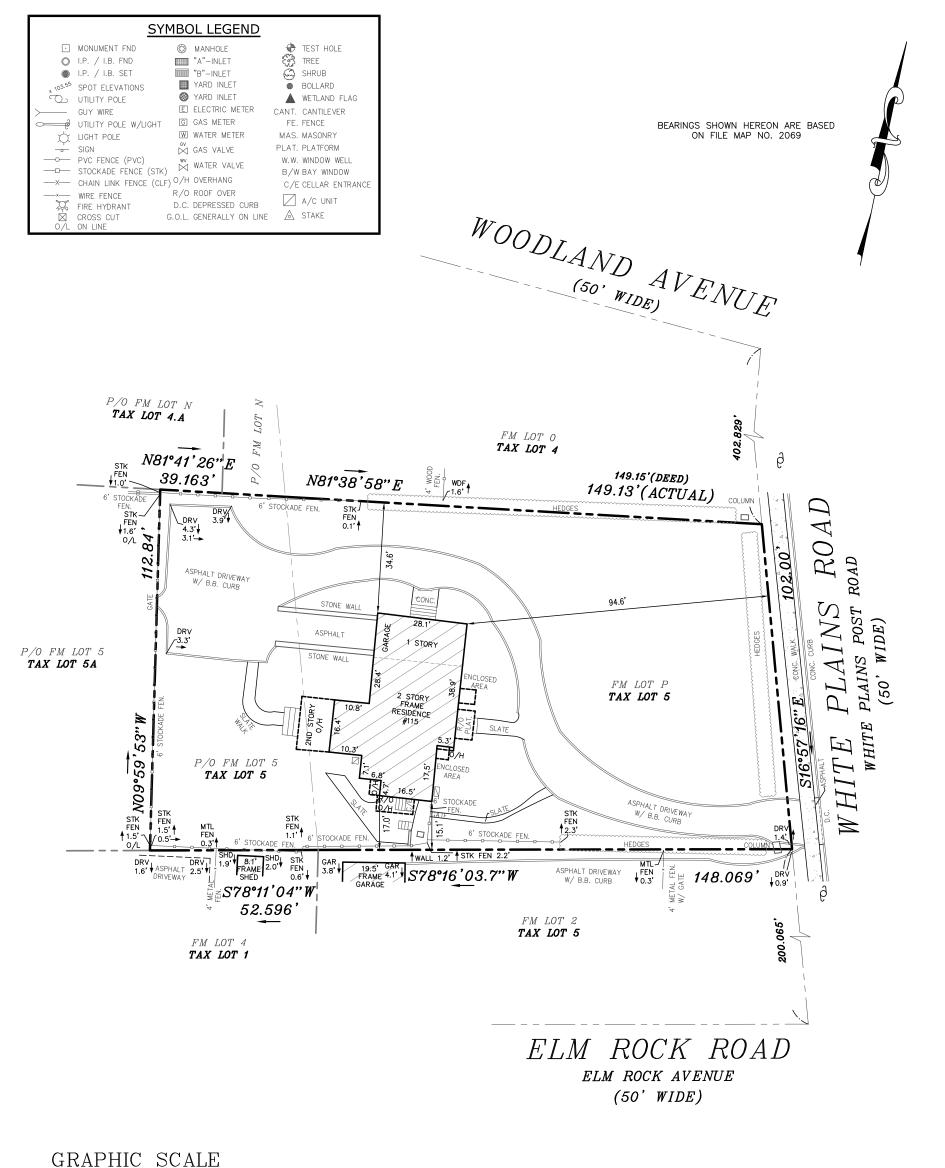
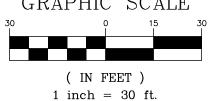






EXHIBIT # 4 COPY OF CURRENT LAND SURVEY





GUARANTEED TO:

LOT AREA 20,803.24 S.F. 0.48 AC.

TITLE NO. TTS45714
THOROUGHBRED TITLE SERVICES, LLC
RADIAN TITLE INSURANCE INC.
ASHLEY LAUREN BOROM ROSS AND IAN
TARGOVNIK ROSS
TAGUE & VANDEN HEUVEL LLP





SCALE: 1" = 30'CREW.:JM DR.:MC DATE SURVEYED: 05/28/2021 | JOB No. W21-1691

TAX MAP NO. 17-2-5

SURVEY OF PROPERTY

LOT P AND P/O LOT 5 MAP OF

TANGLEWYLDE PROPERTY FILE DATE: 08/01/1914 MAP NO. 2069

> SITUATE BRONXVILLE

TOWN OF EASTCHESTER WESTCHESTER COUNTY, NEW YORK

Y MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. (2) ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION OF PROFESSIONAL LAND SURVEYOR'S, INC. THE CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE BOUNDARY SURVEY MAP. (4) THE CERTIFICATION IS LEGISLATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR TO THE PROFESSION OF A SPECIFIC POPEROSE AND LEGISLATED. OF CONSTRUCTION, (7) PROPERTY CORNER WORLD FOR THE SECTION WALLS, POLIS, PATION OF CONSTRUCTION, (7) PROPERTY CORNER WORLD AND THE PROFESSION OF RECORD IF ANY, NOT SHOWN ARE NOT GUARANTEED. AND CHARACTERS OF RICHTS OF RECORD IF ANY, NOT SHOWN ARE NOT GUARANTEED.

EXHIBIT # 5

SIGNED AFFIDAVIT OF MAILING AND CERTIFIED MAIL RECEIPTS.

NOTICE OF PUBLIC HEARING FOR ADJOINING PROPERTIES

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Zoning Board of Appeals of the Village of Bronxville, in the Trustee Chamber/Court Room at 200 Pondfield Road, Bronxville NY on October 26, 2021 at 6:30 P.M. to consider an application of Ashley and Ian Ross for a zoning variance from Section(s) 310-10 D (2) at property located at 115 White Plains Road, Bronxville NY Section 17; Block 2; Lot 5

A copy of the ZBA application, including the proposed plans and all other maps and documents filed therewith, is on file and available for public inspection on any business day prior to the hearing between the hours of 10:00 A.M. and 2:00 P.M. at the office of the Superintendent of Buildings, 2nd floor, Village Hall, Bronxville NY.

The public is invited to attend and will be given reasonable opportunity to present oral or written presentations relevant to the application. The hearing maybe adjourned from time to time at the discretion of the Zoning Board.

(APPLICANT TO ATTACH A COPY OF ZONING DENIAL TO THIS NOTICE)





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m	Brunzyi Herail (0706 A L	USE
7 7 1	Certified Mail Fee \$3.75	0630 58
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1970	Postage \$0.00 \$ Total Postage and Fees	10/15/2021
7057	\$ Sent To III HITE PLAINS RC Street and Apt. No., or PO Box No. BROWX VILLE NY IC City, State, 217448	708



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EXHIBIT # 6 PHOTOGRAPHS SHOWING THE PROPOSED AREA



PHOTO AT EXISTING FRONT YARD





NEIGHBOR'S DRIVEAWAY 115 WHITE PLAIN RD. DRIVEWAY 115 WHITE PLAIN RD. DRIVEWAY

EXISTING DRIVEWAY ENTRANCE



EXISTING DRIVEWAY



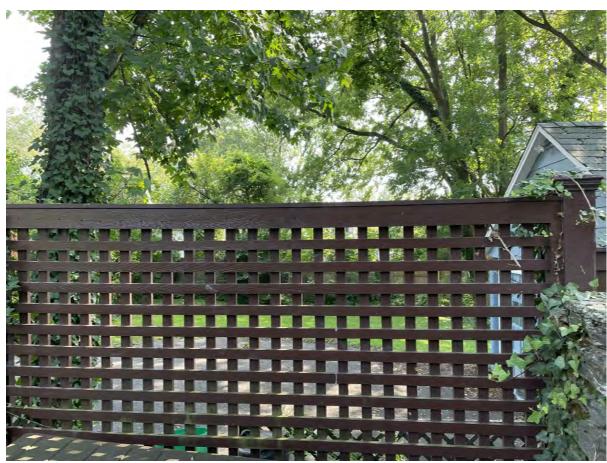
AREA OF PROPOSED GARAGE

45 EAST PUTNAM AVENUE, SUITE 101, GREENWICH CT, 06830 917.475.1409 WWW.ANDERSONKENNY.COM



PHOTO AT SOUTH EAST CORNER OF EXIST. HOUSE





FENCE AT ALONG NEIGHBORS DRIVEWAY



VIEW SOUTH TO NEIGHBOR



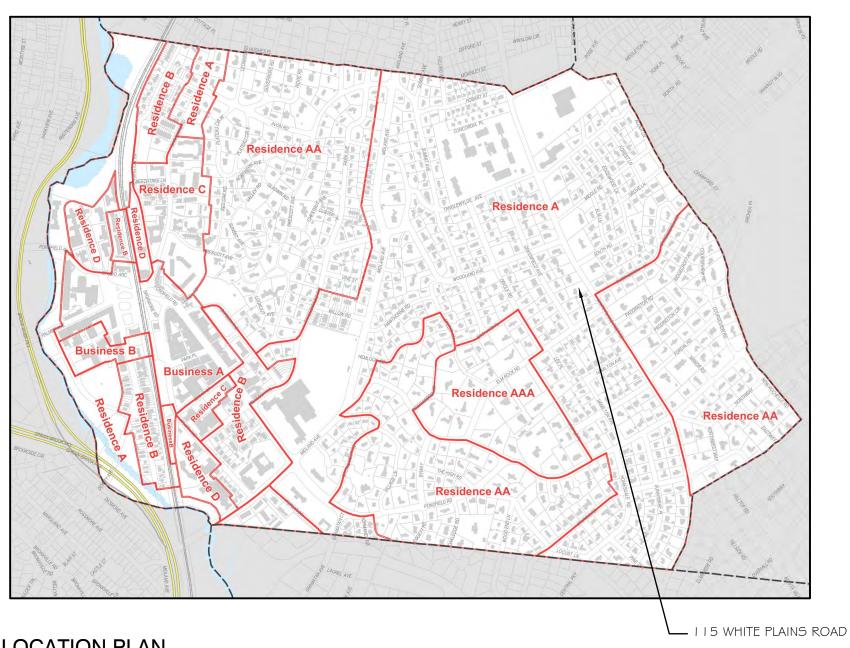
REAR PATIO



FENCE AT REAR PATIO

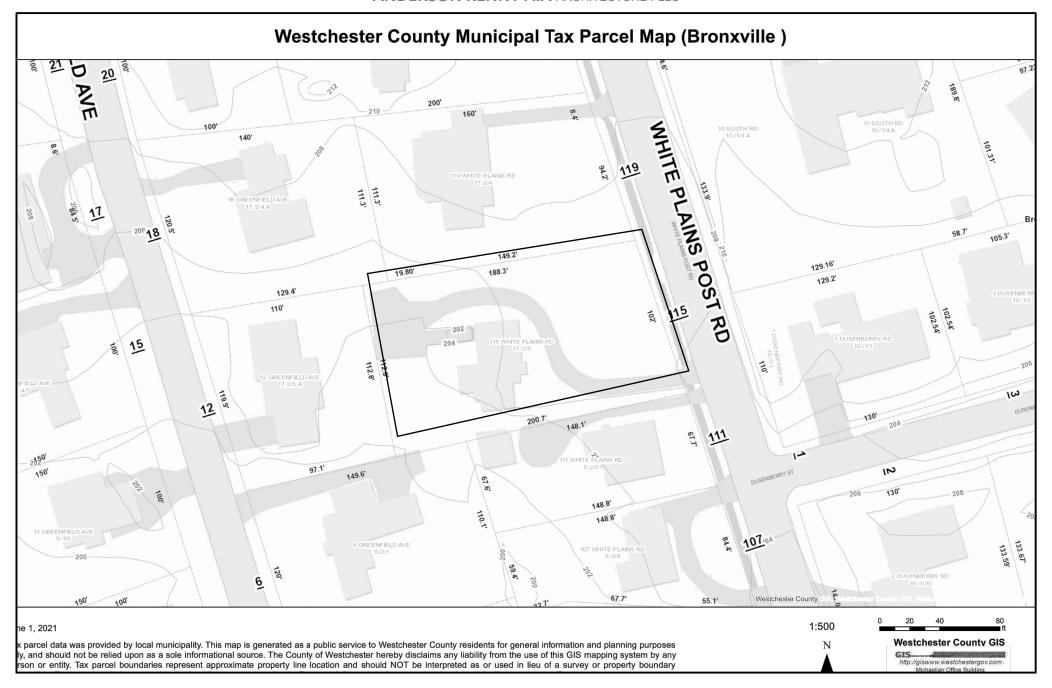
EXHIBIT # 7

ADDITIONAL INFORMATION FOR THE BOARDS CONSIDERATION





LOCATION PLAN



Westchester County Municipal Tax Parcel Map (Bronxville)

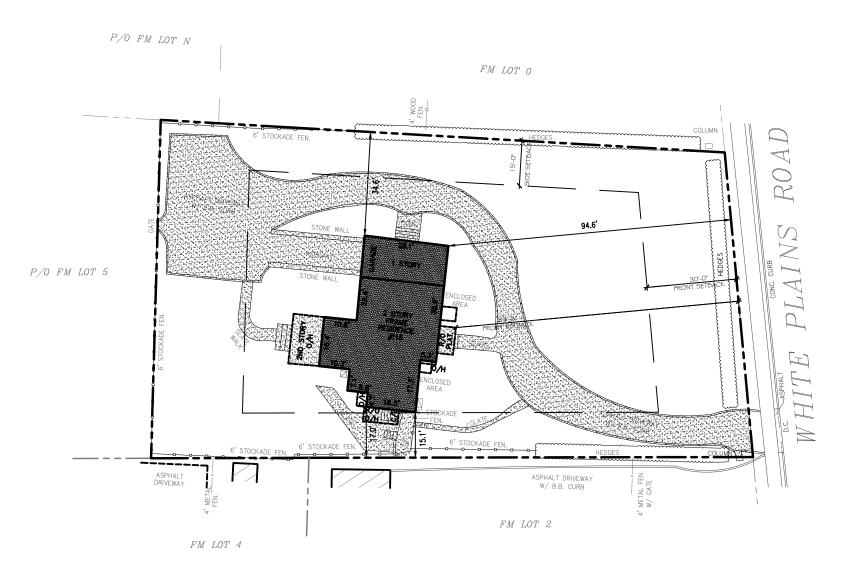


June 1, 2021

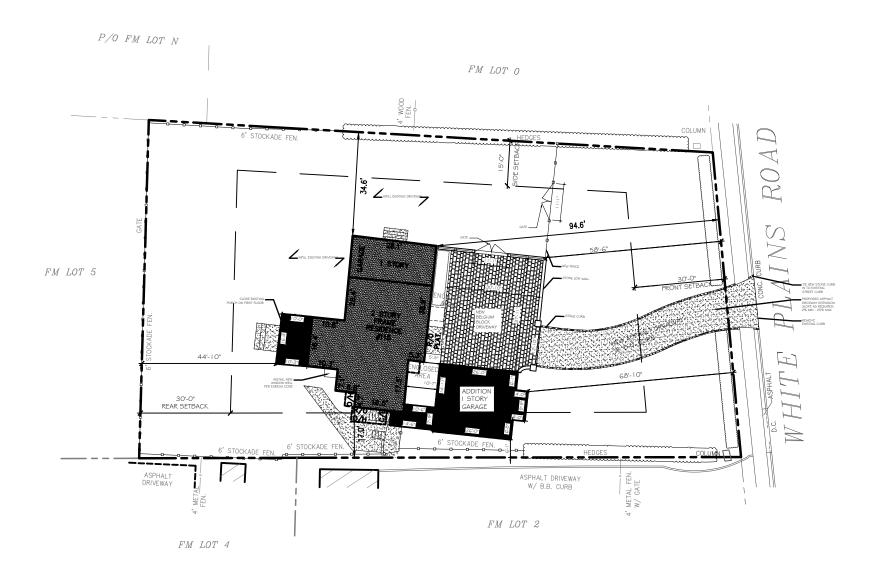
Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.



1:500



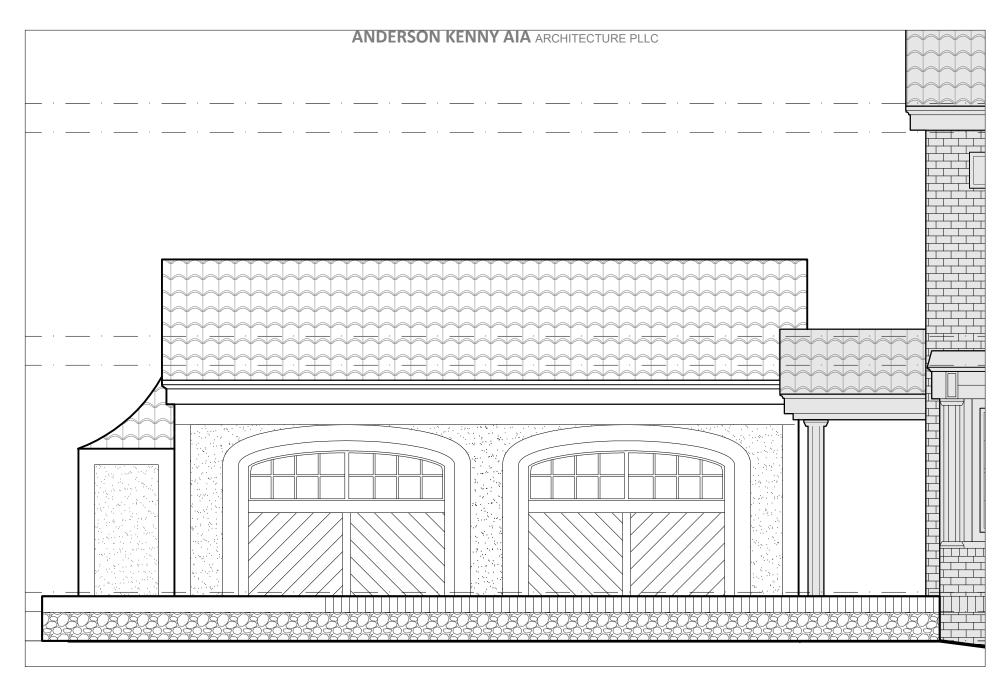
EXISTING CONDITIONS



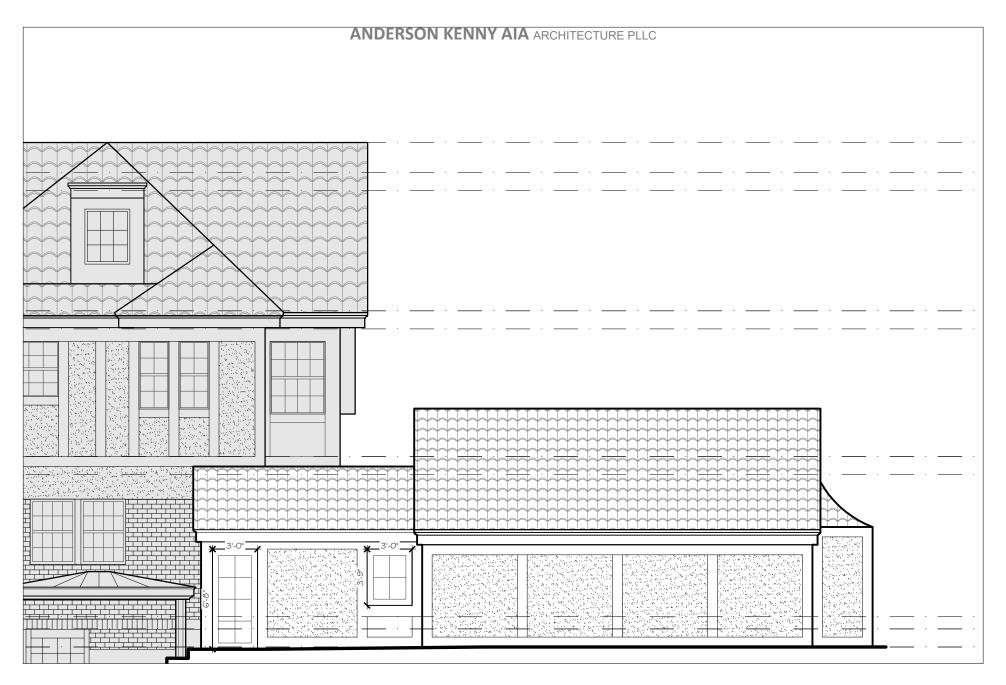
SITE DEVELOPMENT PLAN



EXTERIOR ELEVATION - EAST / FRONT



EXTERIOR ELEVATION - NORTH / SIDE YARD 1



EXTERIOR ELEVATION - SOUTH / SIDE YARD 2