

TRANSMITTAL

DATE: September 2, 2021

TO: Village of Bronxville
Building Department
200 Pondfield Road,
Bronxville, New York 10708

FROM: Anderson Kenny Architecture
903 Madison Avenue 5F
New York, NY 10021
917.475.1409

PROJECT: 115 White Plans Road

SUBJECT: Variance Application

DESCRIPTION:

Enclosed are the documents for the zoning board of appeals.

DOCUMENTS ATTACHED:

- Exhibit # 1 - ZBA Application form and any supplemental attachments. (Required)
 - \$300.00 Filing Fee for Alterations
 - Completed Application
 - Zoning Worksheet
- Exhibit # 2 - Copy of Zoning Denial Letter (Required)
- Exhibit # 3 - Architectural Drawings (Required)
- Exhibit # 4 Copy of current land survey. (Required)
- Exhibit # 5 Signed Affidavit of Mailing and certified mail receipts. (Required)
- Exhibit # 6 Photographs showing the proposed area (Recommended)
- Exhibit # 7 Additional information for the Boards consideration (Recommended)

EXHIBIT # 1

ZBA APPLICATION FORM AND ANY SUPPLEMENTAL ATTACHMENTS.

AFFIDAVIT OF OWNERSHIP

State of New York)
County of Westchester) SS:

I, IAN ROSS, being duly sworn, deposes and says:
(Clearly print first and last name of property owner)

(Check appropriate box)

- I am the owner of the property for which this application is being submitted.
 I am an officer of the corporation that owns the property for which this application is being submitted.

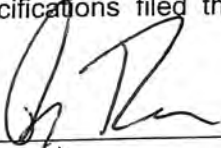
Further (check applicable box):

- I am submitting this application on my own behalf.
 I am authorizing the following individual to submit this application on my behalf:

CHARLES ANDERSON KENNY
(Clearly print name of individual authorized to submit this application)

Further:

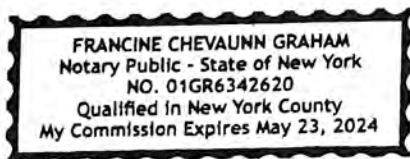
To the best of my knowledge, information and belief, all statements contained in this application are true, complete and correct, and all work will be performed in the manner set forth in the application and in the plans and specifications filed therewith, and in accordance will all applicable laws, ordinances and regulations.


(Signature of Owner)

IAN ROSS
(Print Name of Owner)

Sworn to before me this 7 day of SEPTEMBER, 2021


(Signature of Notary Public)



ZONING BOARD OF APPEALS APPLICATION

Project Name, If Applicable: _____

Project Street Address: 115 WHITE PLAINS ROAD

Section: 17 **Block:** 2 **Lot(s):** 5 **Zone:** DISTRICT A

Applicant: CHARLES ANDERSON KENNY

Address: 45 EAST PUTNAM AVENUE STE 103

City: GREENWICH **State:** CT **Zip:** 06830

Phone #: 203.900.1550 **Email:** ANDERSON@ANDERSONKENNY.COM

Owner: ASHLEY & IAN ROSS

Address: 115 WHITE PLAINS ROAD

City: BRONXVILLE **State:** NY **Zip:** 10708

Phone #: _____ **Email:** _____

Application is for:

_____ An interpretation of the Zoning Law or a determination by the Superintendent of Buildings

X Area variance(s) 310-10 D(2)
List Sections

_____ Use Variance _____
List Sections

_____ Special Permit Use _____
List Sections

Description of the proposed project and nature of the interpretation, variance(s) and/or special permit being sought: _____

- 1. Remove existing driveway at side and rear yard.
- 2. Remove curb to construct new asphalt driveway
- 3. Construct two car garage at southeast corner.
- 4. Construct breezeway from garage to primary structure

With the addition of the new garage, we would need a variance because the southeast corner would encroach the setback. However, the house with the addition is well below the FAR and compliant with all other setbacks. The project would also increase the open space of the lot by 25% and permeable area by 15%.

When did present owner acquire title? 06.22.21

Was the title acquired by purchase: (Yes or No), If so from whom? N/A

Are you seeking a variance from the provisions of the ordinance? (Yes or No)

If so, from which ordinance, from which provision thereof and to what extent? _____

We are over the setback line by 8.9 feet on side yard 2. At the most narrow point, this will leave 6.1 feet between our structure and the property line. The neighboring property also has a garage in this location. Our garage addition would be adjacent to the neighbors garage. The existing elevation change between the front yard and backyard is approximately 5 feet, preventing access by vehicles in this location. By putting the garage in side yard 2 we create a more open space and permeable space in the front, side 1, and rear yards. Please note that we are under the allowed FAR with this addition.

If you are seeking a variance from the provisions of the ordinance, do you contend that the effect of the ordinance on the property to which this appeal pertains is different from its effect on other properties in the same zoning district? (Yes or No) If so, in what respect and what is the cause of the difference?

Does the owner of the premises involved in this application own any contiguous property? (Yes or No)

If so, in what respect and what is the cause of the difference? _____

Owners Signature: Anderson Kenny Date: _____

Zoning Compliance Analysis

Property Address: 115 WHITE PLAINS ROAD

Zoning District: A

Flood Zone: Yes: No: X

ZONING STANDARD	REQUIRED	EXISTING	PROPOSED	STATUS
BUILDING USE	SINGLE FAMILY	SINGLE FAMILY	NO CHANGE	
LOT AREA	12,000'	20,803.24'	NO CHANGE	
LOT WIDTH	80'	102.0'	NO CHANGE	
LOT DEPTH	100'	149.15'	NO CHANGE	
FRONT YARD	30'	94.6'	68.83'	
SIDE YARD #1	27'	34.6'	34.6'	
SIDE YARD #2	15'	15.1'	6.1'	8.9'
REAR YARD	30'	44.8'	NO CHANGE	
HEIGHT (Feet & Stories)	30' 2.50	30' 2.50	NO CHANGE	
BUILDING COVERAGE	22.5%	10%	15%	
USABLE OPEN SPACE	55%	69%	72%	
F.A.R.	.270 = 5,616.87	3576.8	4513.65	
PARKING				

All applications for additions to submit complete detailed finished grade and FAR calculations, and completed F.A.R. computation worksheet on reverse, submission to be stamped by the design professional of record.

Form Prepared By: Name (Print): ANDERSON KENNY

Signature: *Anderson Kenny*

EXHIBIT # 2

COPY OF ZONING DENIAL LETTER

VILLAGE OF BRONXVILLE
Department of Buildings
200 Pondfield Road
(914) 337-7338
(914) 337-0158 (Fax)

PLAN REVIEW COMMENTS

APPLICATION NUMB: ALT 171-21
DATE RECEIVED: August 31, 2021
LOCATION: 115 White Plains Road
SBL: 17./2/5
APPLICANT NAME: Ross, Ashley & Ian
APPLICANT ADDRESS: 115 White Plains Road
Bronxville, NY 10708

DESCRIPTION OF WORK : Below is a narrative of the proposed scope of work intended for the exterior:
1. Remove existing driveway at side and rear yard, Remove curb to construct new asphalt corner. Construct two car garage at southeast corner. Install new windows to enclose porch at rear yard.

DISAPPROVED August 31, 2021, FOR THE FOLLOWING:

Your revised application for a permit on the above location has been reviewed and a permit may not be issued at this time for the reasons indicated below.

ZONING CODE REVIEW (Section Numbers refer to Village Code of 1981)

Zoning Review -

- 1) Proposed work includes a substantial increase in open space 73%, therefore the impervious area is being decreased.
- 2) The proposed new garage will replace the existing garage tying into a new driveway court.
- 3) As per 'Village of Bronxville Municipal Code, section 310-10 D (2)' the side yard setback required is 15' minimum. The proposed side yard setback for the new garage is 8.9'. The variance required for this proposed new garage is 6.1'. Referral to the Village of Bronxville Zoning Board of Appeals is required for an area variance.
- 4) Building Coverage calculations are required to be provided
- 5) FAR Calculations - the calculations don't seem to consider the definitions of the FAR. Please refer to the definitions/ what exceptions are allowed.
- 6) Provide the story above grade worksheet to determine if the basement is considered a story above grade.
- 7) Affidavit of Owner form is required for application to be processed, as well as the application requires a signature. All paperwork is required to be completed.

VILLAGE OF BRONXVILLE
Department of Buildings
200 Pondfield Road
(914) 337-7338
(914) 337-0158 (Fax)

This document constitutes a final administrative determination by the Building Inspector denying your application for the reasons set forth above. Section 7-712(a) of the New York State Village Law provides that any appeal of this decision must be filed within 60 days of the date hereof with the Zoning Board of Appeals of the Village of Bronxville.

APPLICATION REVIEW to be completed upon Zoning Board of Appeals Approval

PLAN REVIEW to be completed upon Zoning Board of Appeals Approval



Paul Taft
Building Inspector

CC: Ross, Ashley & Ian

September 15, 2021

Village of Bronxville
Bronxville Village Hall
200 Pondfield Road
Bronxville, New York 10708

Re: 115 White Plains Road - Application ALT-171-21

The following is a response to all plan reviewer's comments received from the Village of Bronxville on August 31, 2021. The numbers correspond to those found in the review letter.

1. Noted
2. Noted
3. Noted. Varian application will be provided.
4. Building Coverage calculations are noted on Zoning Compliance Worksheet attached and noted on sheet A-004
5. FAR calculations revised per definitions provided. Basement is below grade and area removed from the calculations.
6. Grading plan new sheet A-004
7. Affidavit attached.

Please contact me with any questions or comments.

Regards,

A handwritten signature in blue ink that reads "Anderson Kenny". The signature is written in a cursive, flowing style.

Anderson Kenny, AIA

EXHIBIT # 3

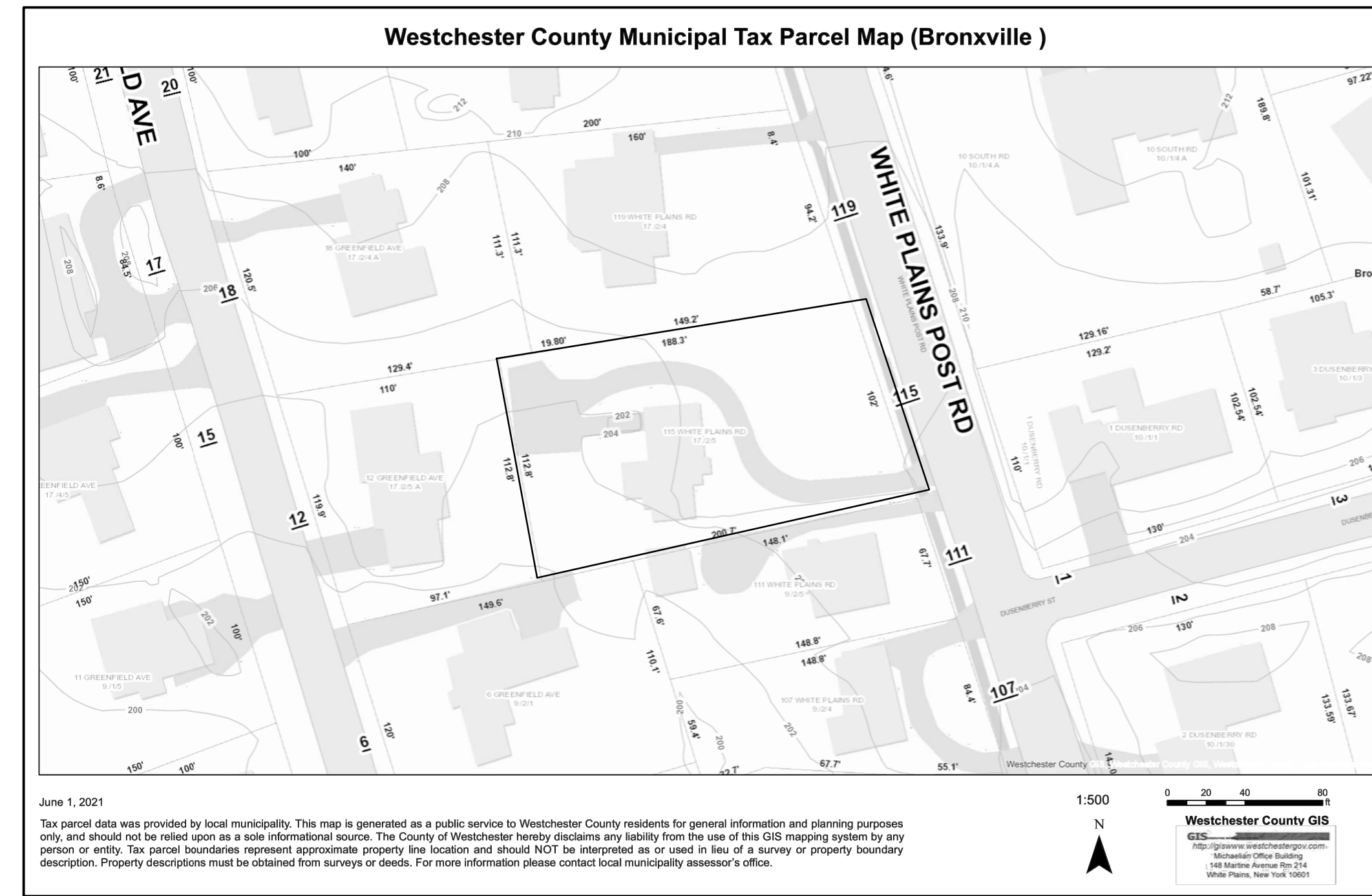
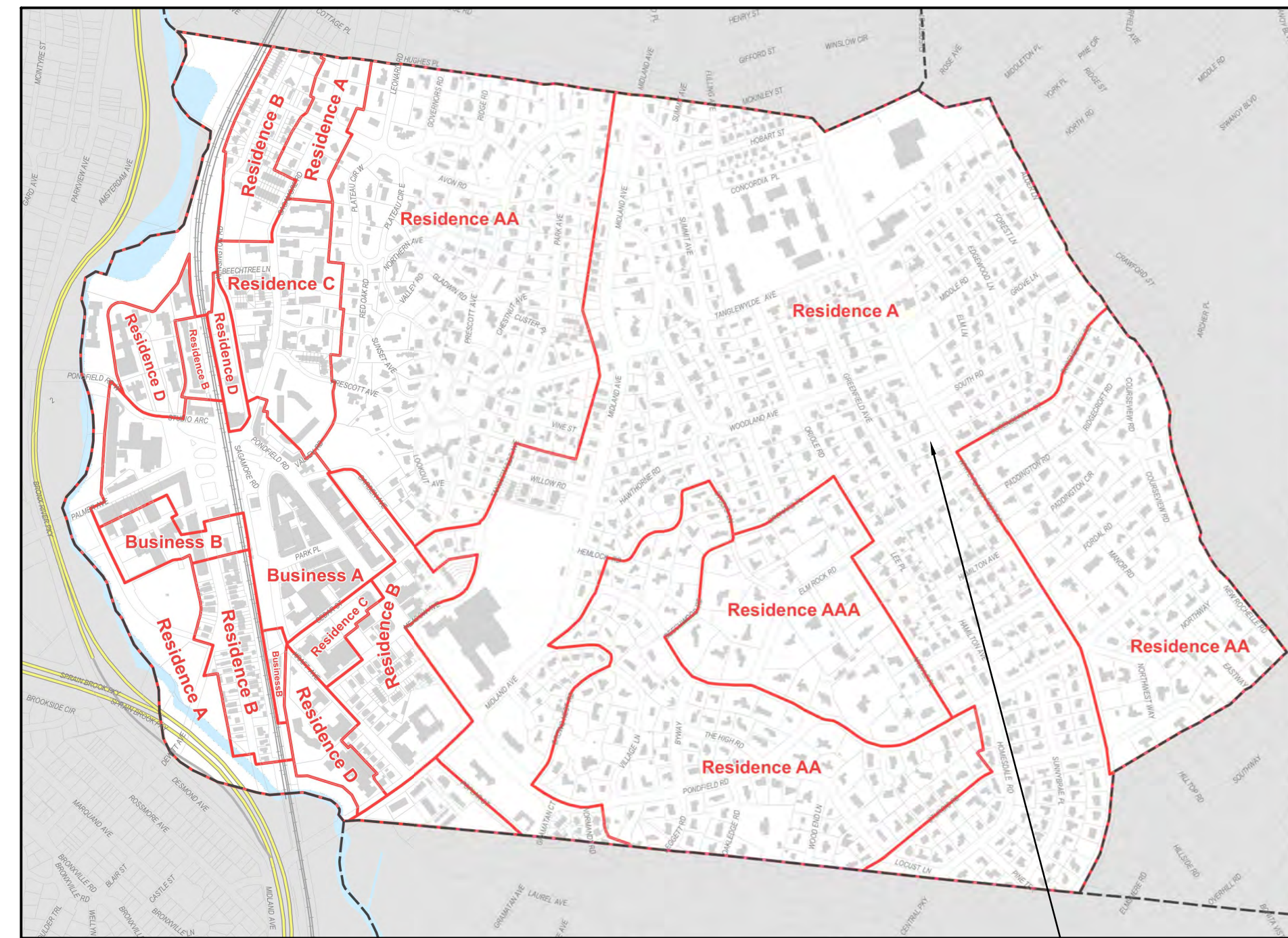
ARCHITECTURAL DRAWINGS

BRONXVILLE RESIDENCE - PROPOSED EXTERIOR ALTERATIONS

115 WHITE PLAINS ROAD
BRONXVILLE, NEW YORK 10708

ANDERSON KENNY
ARCHITECTURE, PLLC

45 E Putnam Ave
Greenwich, CT 06830
WWW.ANDERSONKENNY.COM



LOCATION PLAN

ARCHITECT:
ANDERSON KENNY, AIA
ANDERSON KENNY ARCHITECTURE
903 MADISON AVENUE SUITE 5F
NEW YORK, NY 10021

REGISTERED ARCHITECT
STATE OF NEW YORK NUMBER:
031969

DRAWING LIST

T-001.00	TITLE SHEET
G-001.00	FEMA MAP
ARCHITECTURAL:	
A-001.00	SITE PLAN - EXISTING CONDITIONS
A-002.00	SITE PLAN - DEVELOPMENT PLAN
A-003.00	SITE PLAN - ROOF PLAN
A-004.00	SITE PLAN - GRADING PLAN
A-100.00	REMOVALS PLAN - BASEMENT
A-101.00	REMOVALS PLAN - FIRST FLOOR
A-200.00	PROPOSED PLAN - BASEMENT
A-201.00	PROPOSED PLAN - FIRST FLOOR
A-400.00	DETAILS - WINDOW WELL & FOUNDATION WALL
A-501.00	EXTERIOR ELEVATIONS
A-502.00	EXTERIOR ELEVATIONS

DESCRIPTION OF WORK

- A. REMOVALS:
1. REMOVE EXISTING DRIVEWAY INFILL YARD AS REQUIRED
2. OPEN EXISTING WINDOW AT FIRST FLOOR POWDER ROOM
3. OPEN REMOVE FINISHES AT COVERED PORCHES
- B. CONSTRUCTION:
1. BUILD NEW CAR GARAGE AND BREEZEWAY CONNECTION TO HOUSE
2. CONVERT EXISTING GARAGE TO GYM
3. RELOCATE DRIVEWAY AND NEW CURB CUT TO WHITE PLAINS ROAD
4. ENCLOSE PORCH AT KITCHEN

PROJECT CODES

THE BUILDING CODES OF NEW YORK STATE ADOPT THE
2020 BUILDING CODE OF NEW YORK STATE
THE INTERNATIONAL BUILDING CODE 2018 (IBC 2018),
2020 RESIDENTIAL CODE OF NEW YORK STATE
INTERNATIONAL RESIDENTIAL CODE 2018 (IRC 2018),
2020 EXISTING BUILDING CODE OF NEW YORK STATE
2020 FIRE CODE OF NEW YORK STATE
2020 PLUMBING CODE OF NEW YORK STATE
2020 MECHANICAL CODE OF NEW YORK STATE
2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE
2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, 2009,
STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2016,
NATIONAL ELECTRICAL CODE, 2017,
NATIONAL FIRE ALARM AND SIGNALING CODE, 2016,
SAFETY CODE FOR ELEVATORS AND ESCALATORS, 2016,
THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE 2014.

THESE CODES INCLUDE AMENDMENTS ENACTED AT THE STATE LEVEL AND LOCAL LEVEL OF THE VILLAGE CODE OF BRONXVILLE

LOT AREA:	REQUIREMENTS	EXISTING	PROPOSED
SIZE (ACRE)	-	.48 AC	.48 AC
MINIMUM PER DWELLING UNIT (SQ. FT.)	12,000	N/A	N/A
RESIDENTIAL FAR AND GROSS SQUARE FOOTAGE:			
LOT SIZE (SQ. FT.)	10,000 SF	20,803.24 SQ. FT.	20,803.24 SQ. FT.
FAR ALLOWABLE	.270	.270	.270
MAXIMUM GROSS ALLOWABLE (SQ. FT.)	3,700	5,616.87 SQ. FT.	5,616.87 SQ. FT.
GROSS AREA HOUSE + ADDITION(SQ. FT.)	-	4,590.32 SQ. FT.	5,474.29 SQ. FT.
LOT DIMENSIONS MAXIMUM:			
WIDTH (FT.)	150' - 0"	149.13'	149.13'
DEPTH (FT.)	120' - 0"	112.84'	112.84'
HEIGHT, MAXIMUM:			
STORIES	2 1/2	2 - 1/2	2 - 1/2
MAXIMUM HEIGHT (FT.)	30'-0"	30'-0"	30'-0"
SETBACK:			
PRINCIPAL BUILDING OR STRUCTURE (FT.)			
FRONT	30'	94.6'	68.83'
SIDE	15'	15.1'	6.1'
SIDE, TOTAL FOR BOTH (INTERIOR LOT)	-	49.7'	40.7'
SIDE, ABUTTING SIDE STREET ON CORNER LOT	-	N/A	N/A
REAR	30'	44.8'	44.8'
ACCESSORY BUILDING OR STRUCTURE, MINIMUM YARDS (FT.)			
DISTANCE FROM STREET	-	N/A	N/A
DISTANCE FROM SIDE AND REAR LOT LINES	-	N/A	N/A
DISTANCE BETWEEN BUILDINGS	-	N/A	N/A
IMPERMEABLE SURFACES			
HOUSE	-	1,611.94	1,927.29
ACCESSORY STRUCTURE / GARAGE	-	N/A	623.48
DRIVEWAY	-	4,310.76	2621.16
PATIO	-	N/A	-
CONCRETE PADS OR SIDEWALKS	-	454.78	284.95
PERMEABLE SURFACES			
SWIMMING POOL	-	-	-
WOOD DECK W/ SPACES BOARDS	-	-	-
OPEN JOINT PATIO & SIDEWALKS	-	459.80	225.57
OTHER PAVING SYSTEMS	-	-	-
OPEN SPACE CALCULATIONS			
AREA OF OPEN SPACE	20,803.24	14,428.24 SQ FT	15,064.24 SQ FT
LOT AREA		20,803.24 SQ FT	20,803.24 SQ FT
TOTAL % OPEN SPACE	55% MIN	69%	72%

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

DATE	ISSUE	NO
06.24.21	TO VILLAGE OF BRONXVILLE	1
06.25.21	CONTRACTOR PRICING	2
07.16.21	TO VILLAGE OF BRONXVILLE R.I	3
08.26.21	TO VOB AMENDMENT	4

PROJECT:
115 White Plains Rd
BRONXVILLE, NY 10708

TITLE SHEET &
DRAWING LIST

SCALE: AS NOTED

DATE: 08.17.2021
PROJECT NO: 2103.01
DRAWING BY: EL
CHK BY: AK
DWS NO:
T-001.00
CAD FILE NO:
(2103.01)
1 of 14

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:


DATE	ISSUE	NO
06.24.21	TO VILLAGE OF BRONXVILLE	1
06.25.21	CONTRACTOR PRICING	2
07.16.21	TO VILLAGE OF BRONXVILLE R.I.	3
08.26.21	TO VOB AMENDMENT	4

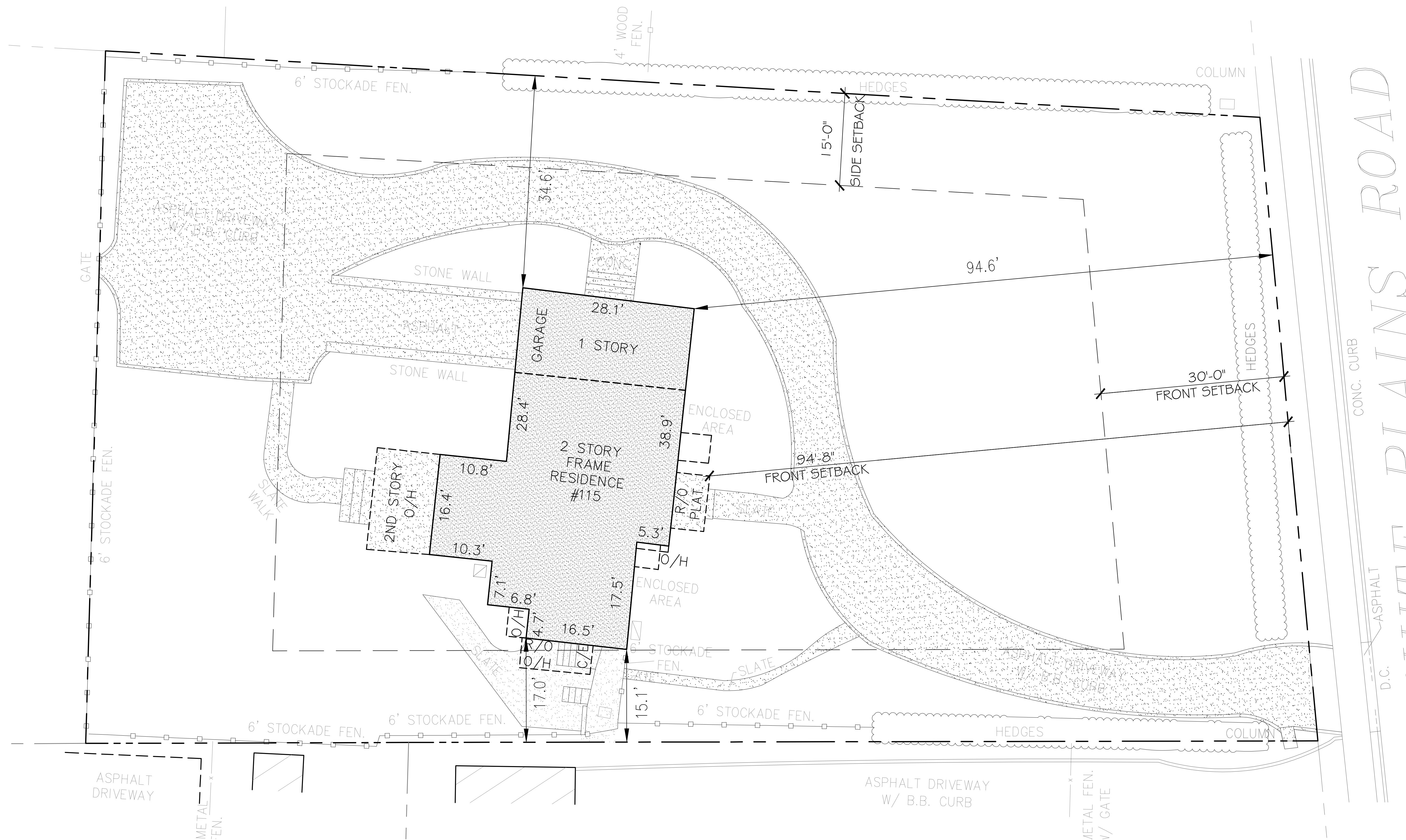
PROJECT:

115 White Plains Rd
BRONXVILLE, NY 10708

EXISTING SITE PLAN

SCALE: AS NOTED

	DATE: 08.17.2021
	PROJECT NO: 2103.01
	DRAWING BY: EL
	CHK BY: AK
DWG NO:	A-001.00
CAD FILE NO:	(2103.01)
4 of 14	



1 SITE PLAN
EXISTING CONDITIONS
SCALE: 1/8" = 1'

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:


MEP ENGINEERS:

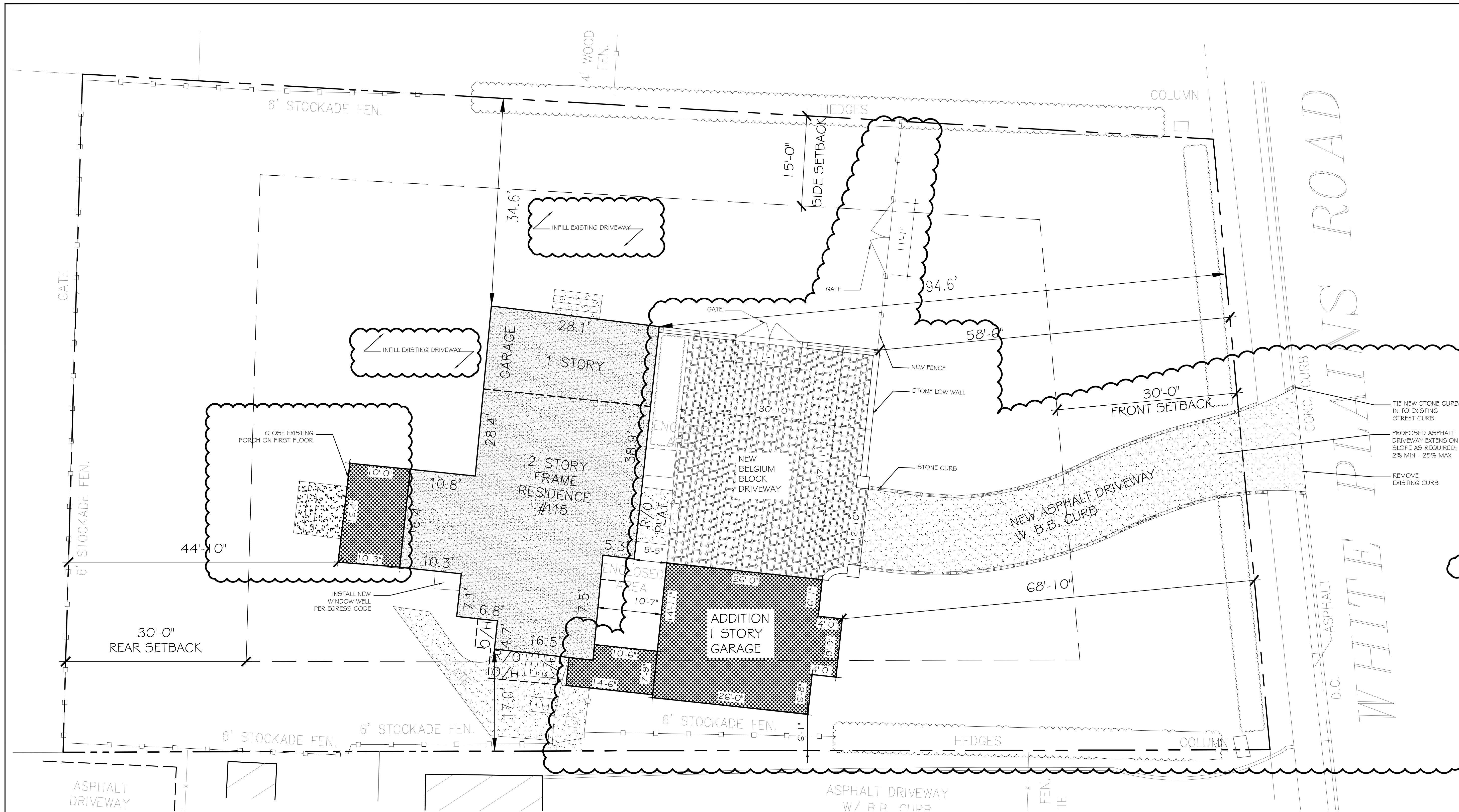
DATE	ISSUE	NO
06.24.21	TO VILLAGE OF BRONXVILLE	1
06.25.21	CONTRACTOR PRICING	2
07.16.21	TO VILLAGE OF BRONXVILLE R.I.	3
08.26.21	TO VOB AMENDMENT	4

PROJECT:
**115 White Plains Rd
BRONXVILLE, NY 10708**

SITE DEVELOPMENT PLAN

SCALE: AS NOTED

	DATE: 08.17.2021
	PROJECT NO: 2103.01
	DRAWING BY: EL
	CHK BY: AK
DWG NO:	A-002.00
CAD FILE NO: (2103.01)	5 of 14



**SITE PLAN
DEVELOPMENT PLAN**
A-002 SCALE: 1/8" = 1'

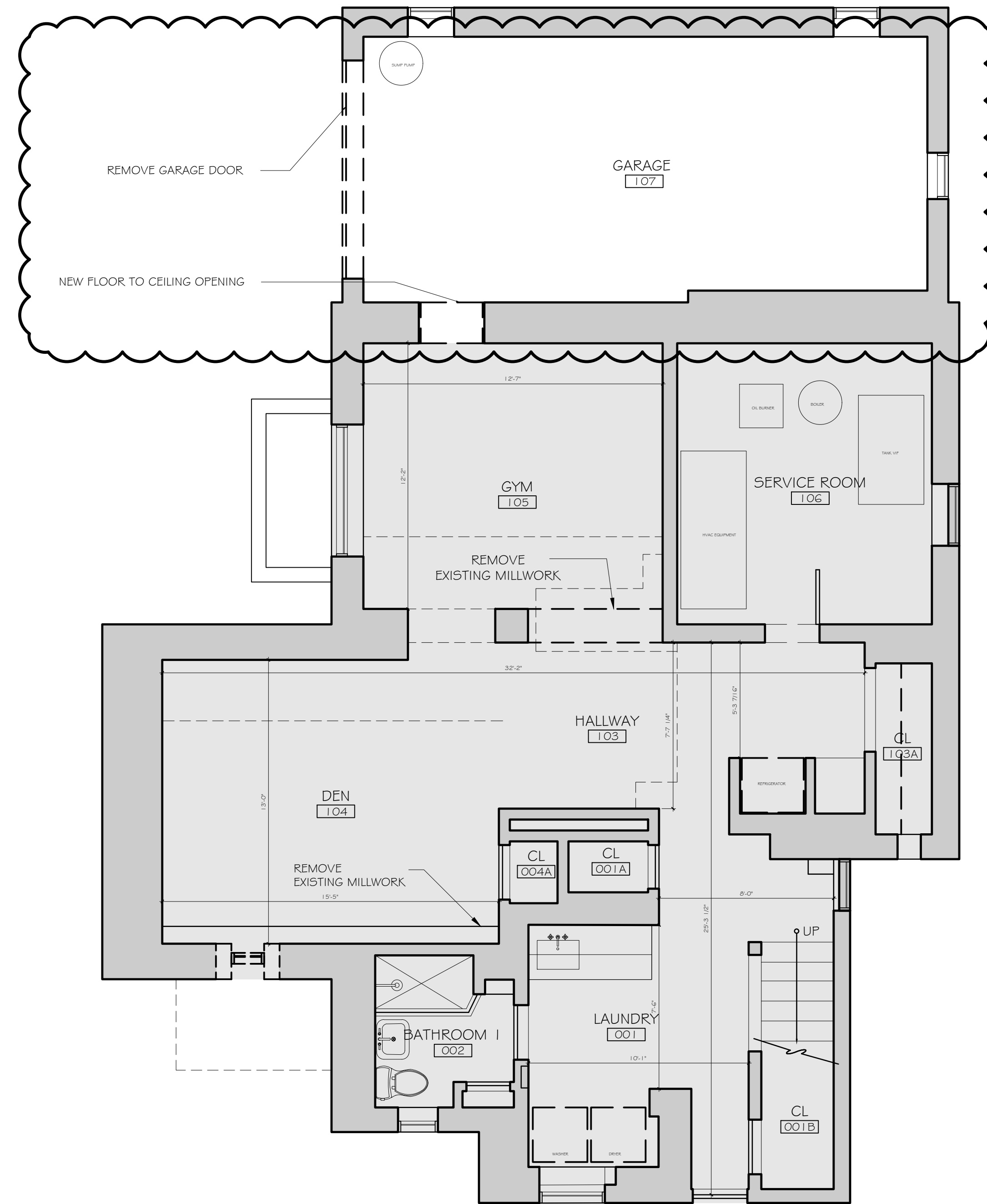
OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

DATE	ISSUE	NO
06.24.21	TO VILLAGE OF BRONXVILLE	1
06.25.21	CONTRACTOR PRICING	2
07.16.21	TO VILLAGE OF BRONXVILLE R1	3
08.26.21	TO VOB AMENDMENT	4



1 BASEMENT -PROPOSED PLAN
A-100 SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND	GENERAL NOTES
<p>EXISTING WALL</p> <p>NOT IN SCOPE</p> <p>REMOVE WALL FINISH & SUBSTRATE AT EXTERIOR WALLS; REMOVE PARTITION AT INTERIOR WALLS; REMOVE WINDOWS</p> <p>REMOVE DOOR, HARDWARE, FRAME & TRIM</p>	<ol style="list-style-type: none"> NO STRUCTURAL MEMBERS MAY BE DISTURBED OR REMOVED. TYPICAL. REMOVE ALL WINDOWS INCLUDING FRAMES, TRIP & BLOCKING AS SHOWN. REMOVE ALL PLUMBING FIXTURES; PLUMBING ROUGHS-IN TO REMAIN. REMOVE ALL DOORS INCLUDING FRAMES, TRIM & BLOCKING AS SHOWN. REMOVE SELECT EXISTING MECHANICAL EQUIPMENT AND ASSOCIATED PIPING AS REQUIRED. REMOVE MILLWORK AS NOTED. ALL DIMENSIONS VIF REMOVE ALL EXISTING WINDOWS. REMOVE LIGHT FIXTURES & WIRING AS REQUIRED. SALVAGE FIXTURES AS DIRECTED BY OWNER. REMOVE ALL AV EQUIPMENT & WIRING. SALVAGE AS DIRECTED BY OWNER. REMOVALS WILL NOT AFFECT ANY UTILITY, PIPING, OR CONDUIT SERVING ANOTHER PROPERTY. THE CONTRACTOR AND/OR WORKERS ARE TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, AND IMPLEMENTING REGULATIONS, REGARDING LEAD-BASED PAINT HAZARDS AND TO INDEMNIFY THE OWNER FOR ANY VIOLATIONS THEREOF. CONTRACTOR TO NOT SCALE DRAWINGS

PROJECT:
115 White Plains Rd
BRONXVILLE, NY 10708

BASEMENT
REMOVALS PLAN

SCALE: AS NOTED

	DATE: 08.17.2021
	PROJECT NO: 2103.01
	DRAWING BY: EL
	CHK BY: AK
DWG NO:	A-100.00
CAD FILE NO: (2103.01)	8 OF 14

**ANDERSON KENNY
ARCHITECTURE, PLLC**

45 E Putnam Ave
Greenwich, CT 06830
WWW.ANDERSONKENNY.COM

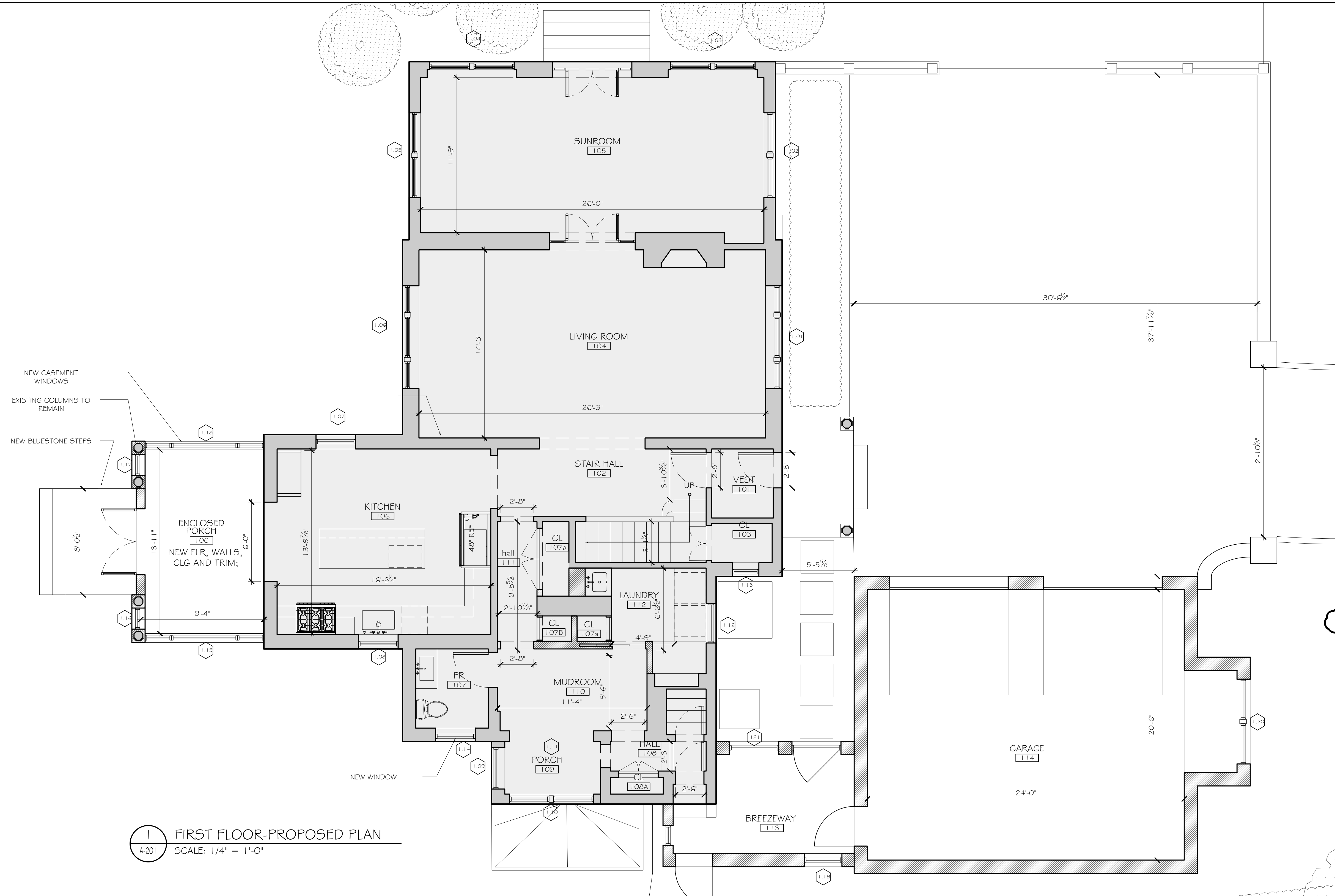
OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

DATE	ISSUE	NO
06.24.21	TO VILLAGE OF BRONXVILLE	1
06.25.21	CONTRACTOR PRICING	2
07.16.21	TO VILLAGE OF BRONXVILLE R1	3
08.26.21	TO VOB AMENDMENT	4



1 FIRST FLOOR-PROPOSED PLAN
A-201 SCALE: 1/4" = 1'-0"

LEGEND	GENERAL NOTES
<ul style="list-style-type: none"> █ EXISTING ▨ NEW WALL FEATURES ⊠ WALL TYPE XXXX ROOM NAME XXXX ROOM NUMBER # NEW DOOR X WINDOW TYPE 	<ol style="list-style-type: none"> 1. CONTRACTORS SHALL NOT SCALE DRAWINGS. 2. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES 4. IF NEEDED, G.C. TO PATCH EXISTING FIRE RATED ENCLOSURES AS REQUIRED TO MAINTAIN REQUISITE FIRE RATING. TYPICAL AT ALL BUILDING CHASES AND STRUCTURAL MEMBERS. 5. ON SITE COORDINATION MEETING W/ COMPLETE TEAM TO OCCUR BEFORE FRAMING IS INSTALLED 6. PROVIDE BLOCKING FOR GRAB BARS AT ALL WATERCLOSETS & SHOWERS PER ANSI A117.1. 7. PROVIDE ARC-FAULT (AFCI) OUTLETS AT ALL NEW BEDROOM OUTLETS, TYP. 8. STORAGE AREAS ARE NOT TO BE USED FOR HUMAN HABITATION. 9. CONTRACTOR TO COORDINATE FINAL LOCATION OF ALL MECH SYSTEMS WITH MECH. SUB CONTRACTOR; SUB TO KEEP DUCTWORK TIGHT TO EACH OTHER TO MAXIMIZE FINISH CEILING HEIGHT

PROJECT:
**115 White Plains Rd
BRONXVILLE, NY 10708**

**FIRST FLOOR
PROPOSED PLAN**

SCALE: AS NOTED

	DATE: 08.17.2021
	PROJECT NO: 2103.01
	DRAWING BY: EL
	CHK BY: AK
<p>A-201.00</p>	
<p>CAD FILE NO: (2103.01) 11 of 14</p>	

EXHIBIT # 4

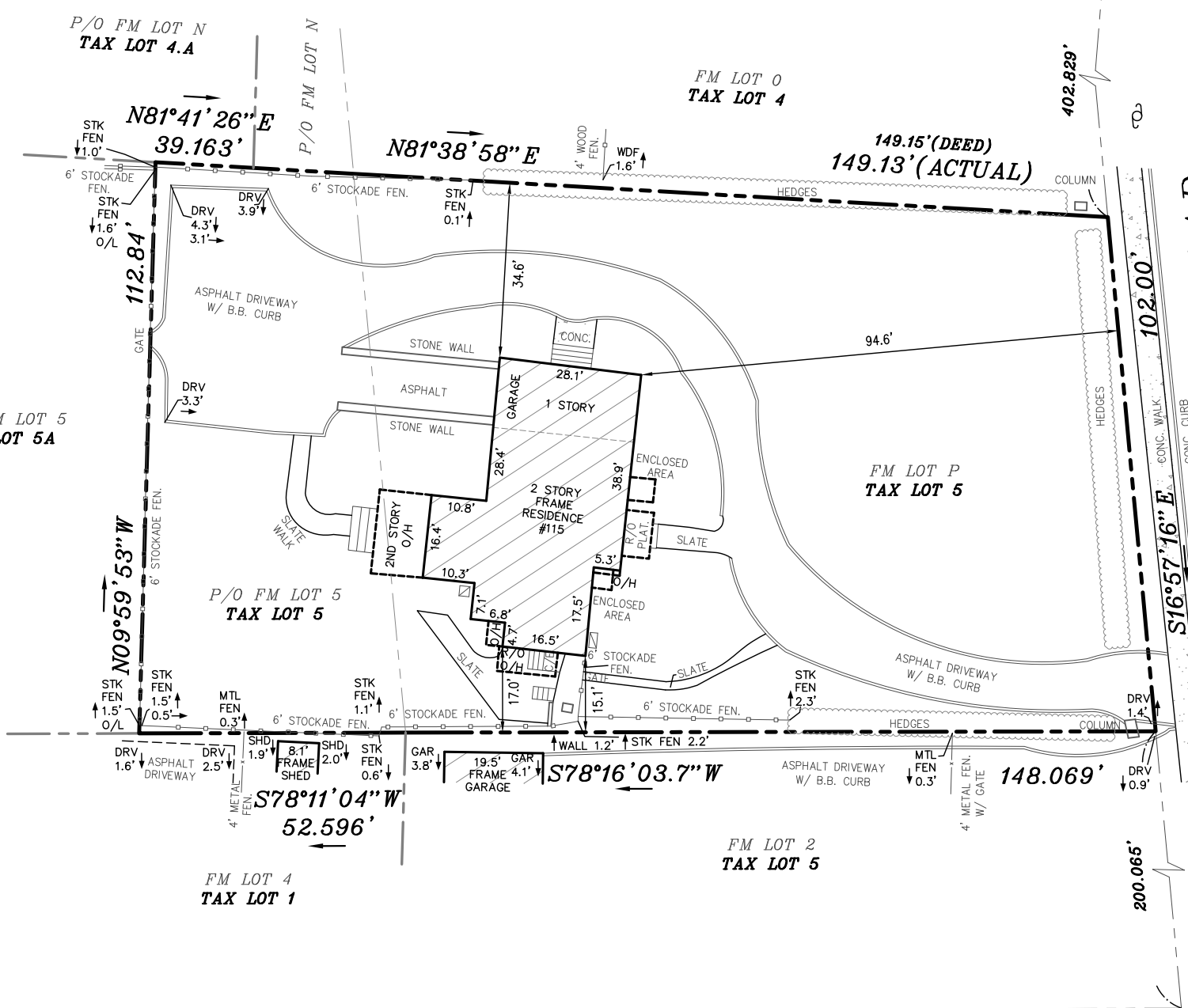
COPY OF CURRENT LAND SURVEY

SYMBOL LEGEND		
□ MONUMENT FND	⊙ MANHOLE	⊕ TEST HOLE
○ I.P. / I.B. FND	▣ "A"-INLET	🌳 TREE
● I.P. / I.B. SET	▣ "B"-INLET	🌿 SHRUB
⊙ SPOT ELEVATIONS	▣ YARD INLET	● BOLLARD
⊙ UTILITY POLE	⊙ YARD INLET	▲ WETLAND FLAG
— GUY WIRE	⊙ ELECTRIC METER	— CANT. CANTILEVER
— UTILITY POLE W/LIGHT	⊙ GAS METER	— FE. FENCE
⊙ LIGHT POLE	⊙ WATER METER	— MAS. MASONRY
— SIGN	⊙ GAS VALVE	— PLAT. PLATFORM
— PVC FENCE (PVC)	⊙ WATER VALVE	— W.W. WINDOW WELL
— STOCKADE FENCE (STK)	— O/H OVERHANG	— B/W BAY WINDOW
— CHAIN LINK FENCE (CLF)	— R/O ROOF OVER	— C/E CELLAR ENTRANCE
— WIRE FENCE	— D.C. DEPRESSED CURB	□ A/C UNIT
— FIRE HYDRANT	— G.O.L. GENERALLY ON LINE	△ STAKE
— CROSS CUT		
— O/L ON LINE		

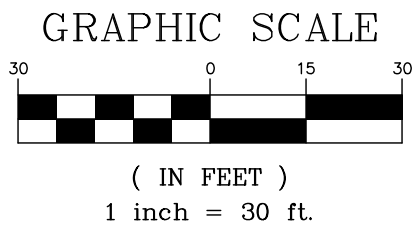
BEARINGS SHOWN HEREON ARE BASED ON FILE MAP NO. 2069



WOODLAND AVENUE
(50' WIDE)



ELM ROCK ROAD
ELM ROCK AVENUE
(50' WIDE)



LOT AREA
20,803.24 S.F.
0.48 AC.

GUARANTEED TO:
TITLE NO. TTS45714
THOROUGHbred TITLE SERVICES, LLC
RADIAN TITLE INSURANCE INC.
ASHLEY LAUREN BOROM ROSS AND IAN
TARGOVNIK ROSS
TAGUE & VANDEN HEUVEL LLP



SCALICE
land surveying
mjslandsurvey.com P:631-957-2400

SURVEY OF PROPERTY
LOT P AND P/O LOT 5
MAP OF
TANGLEWYLDE PROPERTY
FILE DATE: 08/01/1914 MAP NO. 2069
SITUATE
BRONXVILLE
TOWN OF EASTCHESTER
WESTCHESTER COUNTY, NEW YORK

DR.:MC	CREW.:JM	SCALE: 1" = 30'	TAX MAP NO. 17-2-5
DATE SURVEYED: 05/28/2021		JOB No. W21-1691	

(1) UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. (2) ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION. (3) CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP. (4) THE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE. (5) THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS SURVEY. (6) THE OFFSET (OR DIMENSIONS) SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING AREAS, ADDITIONS TO BUILDINGS, AND ANY OTHER TYPE OF CONSTRUCTION. (7) PROPERTY CORNER MONUMENTS WERE NOT SET AS PART OF THIS SURVEY. (8) THIS SURVEY WAS PERFORMED WITH A SPECTRA FOCUS 30 ROBOTIC TOTAL STATION. (9) THE EXISTENCE OF RIGHTS OF WAY AND/OR EASEMENTS OF RECORD IF ANY, NOT SHOWN ARE NOT GUARANTEED. (10) SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.

EXHIBIT # 5

SIGNED AFFIDAVIT OF MAILING AND CERTIFIED MAIL RECEIPTS.

NOTICE OF PUBLIC HEARING FOR ADJOINING PROPERTIES

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Zoning Board of Appeals of the Village of Bronxville, in the Trustee Chamber/Court Room at 200 Pondfield Road, Bronxville NY on **October 26, 2021** at 6:30 P.M. to consider an application of **Ashley and Ian Ross** for a zoning variance from **Section(s) 310-10 D (2)** at property located at **115 White Plains Road**, Bronxville NY Section **17**; Block **2**; Lot **5**

A copy of the ZBA application, including the proposed plans and all other maps and documents filed therewith, is on file and available for public inspection on any business day prior to the hearing between the hours of 10:00 A.M. and 2:00 P.M. at the office of the Superintendent of Buildings, 2nd floor, Village Hall, Bronxville NY.

The public is invited to attend and will be given reasonable opportunity to present oral or written presentations relevant to the application. The hearing maybe adjourned from time to time at the discretion of the Zoning Board.

(APPLICANT TO ATTACH A COPY OF ZONING DENIAL TO THIS NOTICE)

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EXHIBIT # 6

PHOTOGRAPHS SHOWING THE PROPOSED AREA



PHOTO AT EXISTING FRONT YARD



NEIGHBOR'S DRIVEWAY



NEIGHBOR'S DRIVEWAY

115 WHITE PLAIN RD. DRIVEWAY

EXISTING DRIVEWAY ENTRANCE



EXISTING DRIVEWAY



AREA OF PROPOSED GARAGE

45 EAST PUTNAM AVENUE, SUITE 101, GREENWICH CT, 06830 917.475.1409 WWW.ANDERSONKENNY.COM



PHOTO AT SOUTH EAST CORNER OF EXIST. HOUSE



FENCE AT ALONG NEIGHBORS DRIVEWAY



VIEW SOUTH TO NEIGHBOR



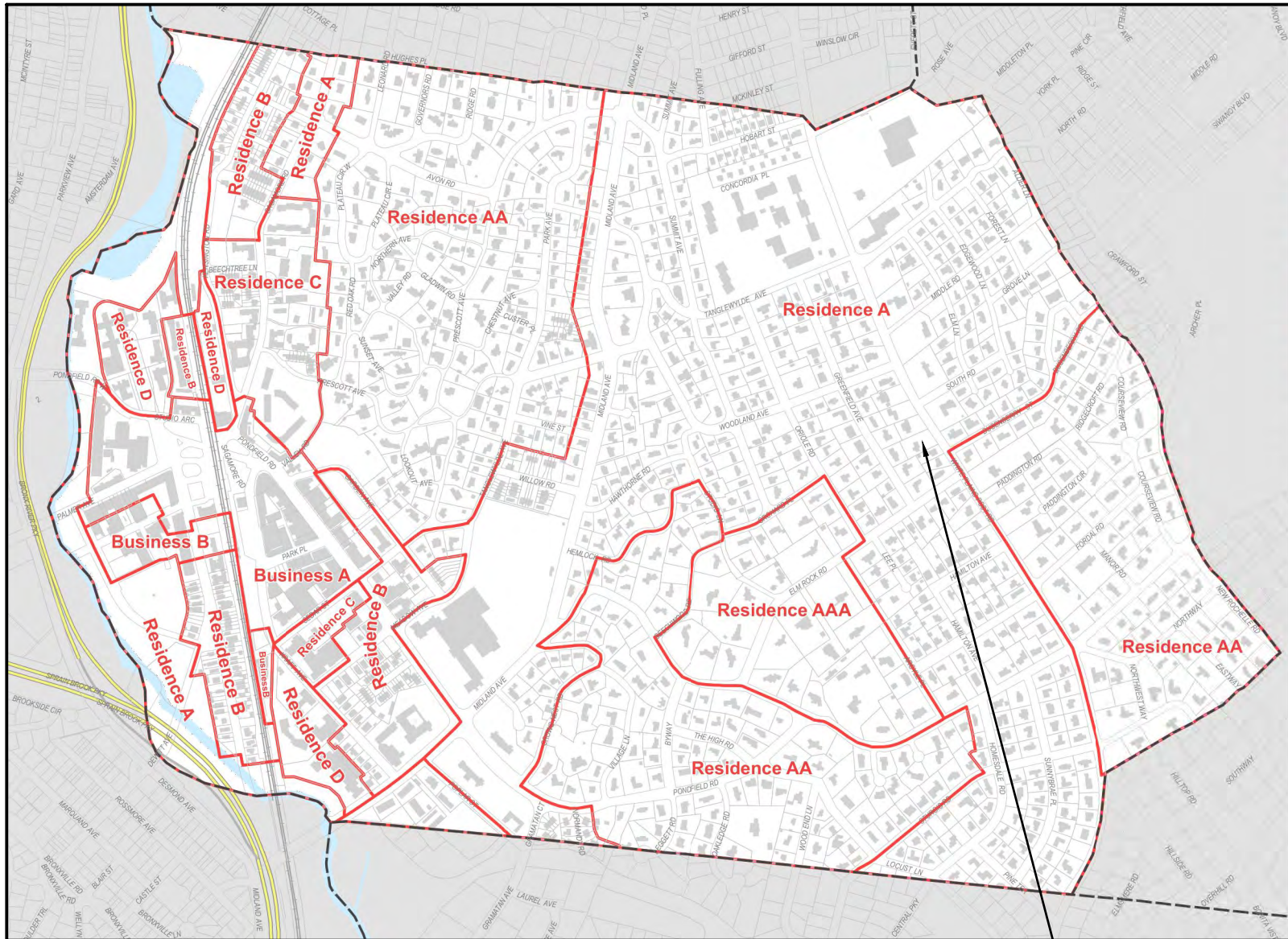
REAR PATIO



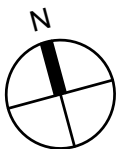
FENCE AT REAR PATIO

EXHIBIT # 7

ADDITIONAL INFORMATION FOR THE BOARDS CONSIDERATION



115 WHITE PLAINS ROAD

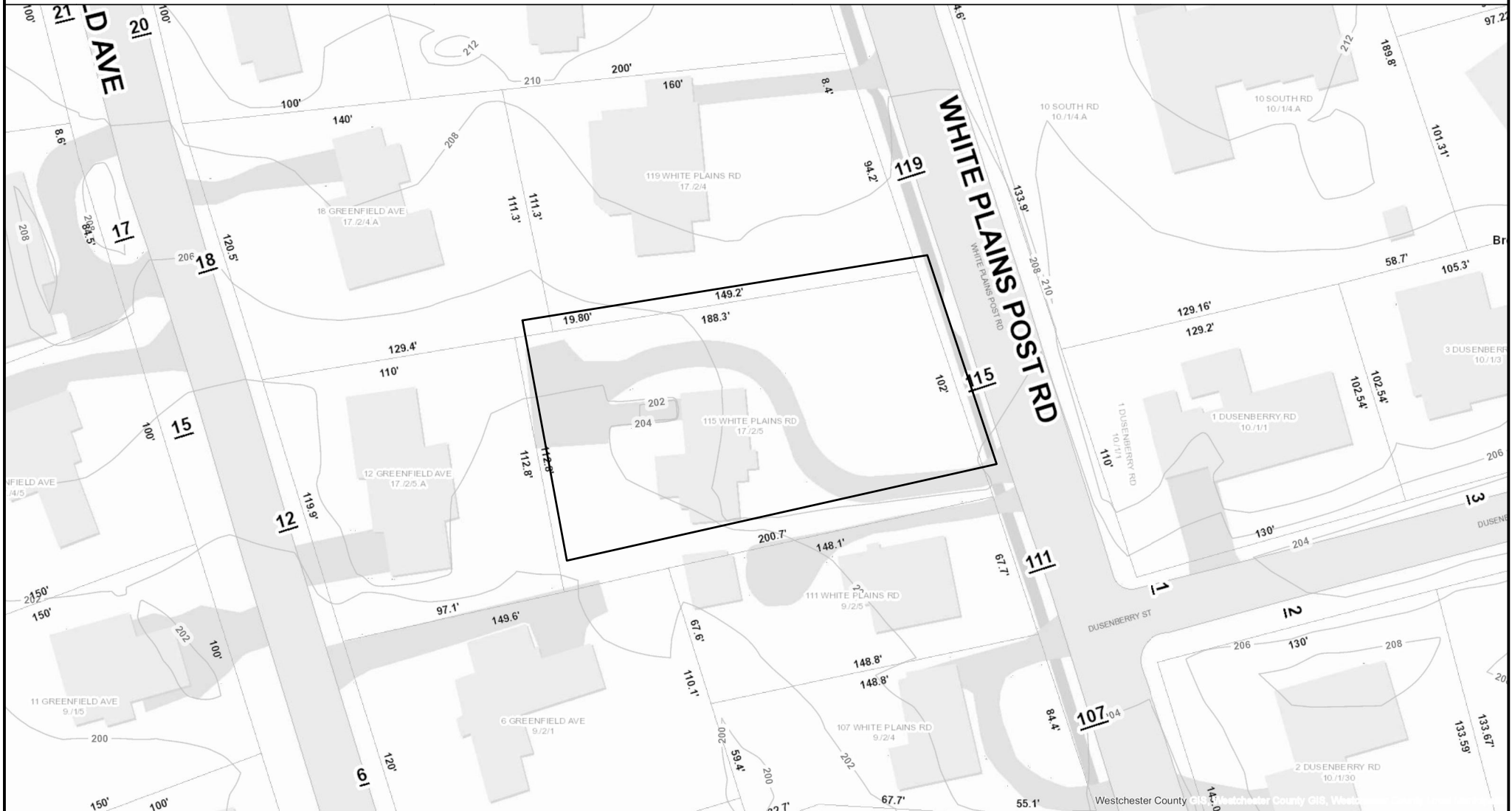


LOCATION PLAN



45 EAST PUTNAM AVENUE, SUITE 101, GREENWICH CT, 06830 917.475.1409 WWW.ANDERSONKENNY.COM

Westchester County Municipal Tax Parcel Map (Bronxville)

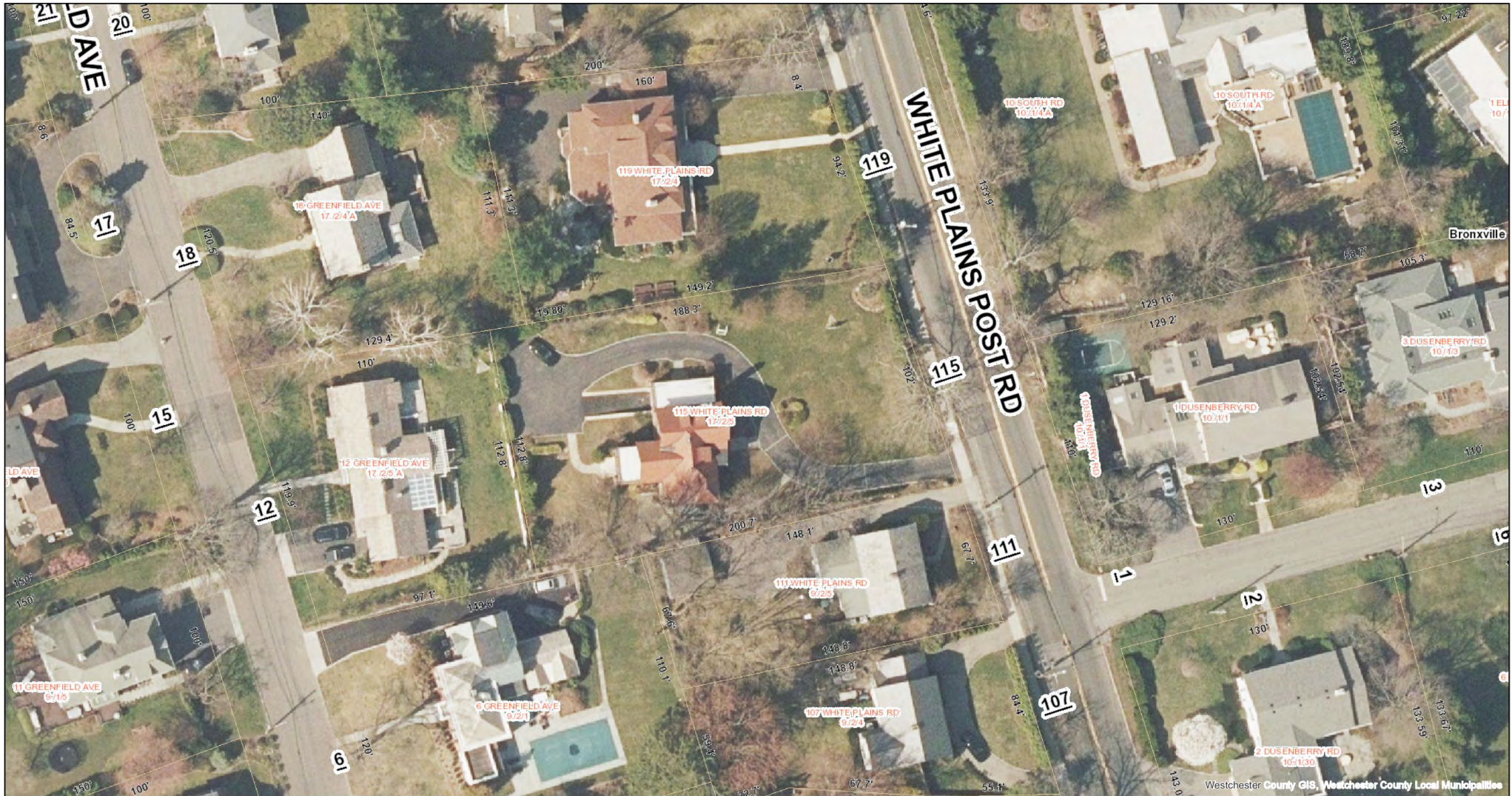


June 1, 2021
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1:500

Westchester County GIS
GIS
<http://giswww.westchester.gov.com>
Michaelian Office Building

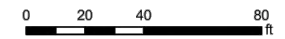
Westchester County Municipal Tax Parcel Map (Bronxville)



June 1, 2021

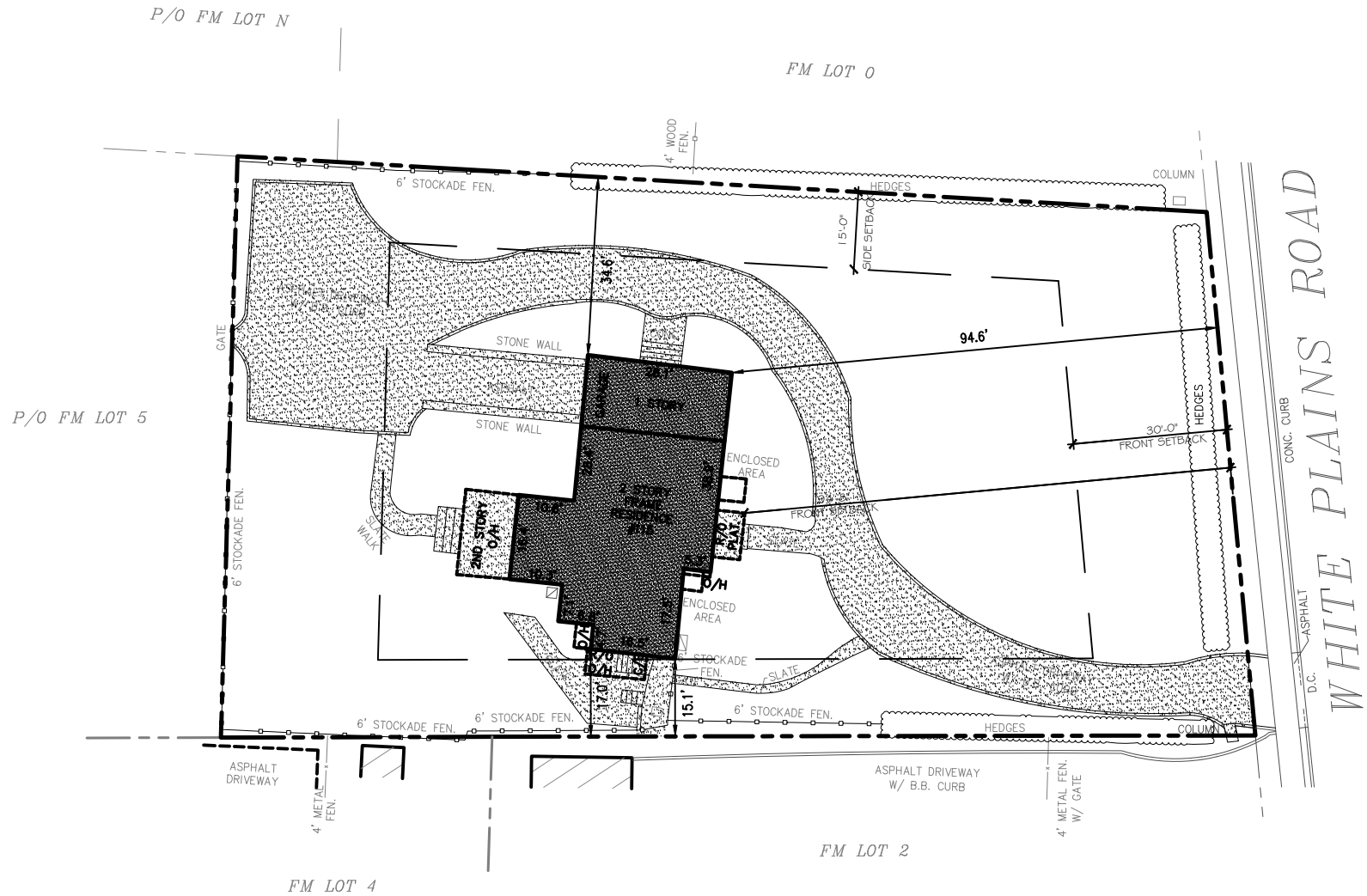
Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:500

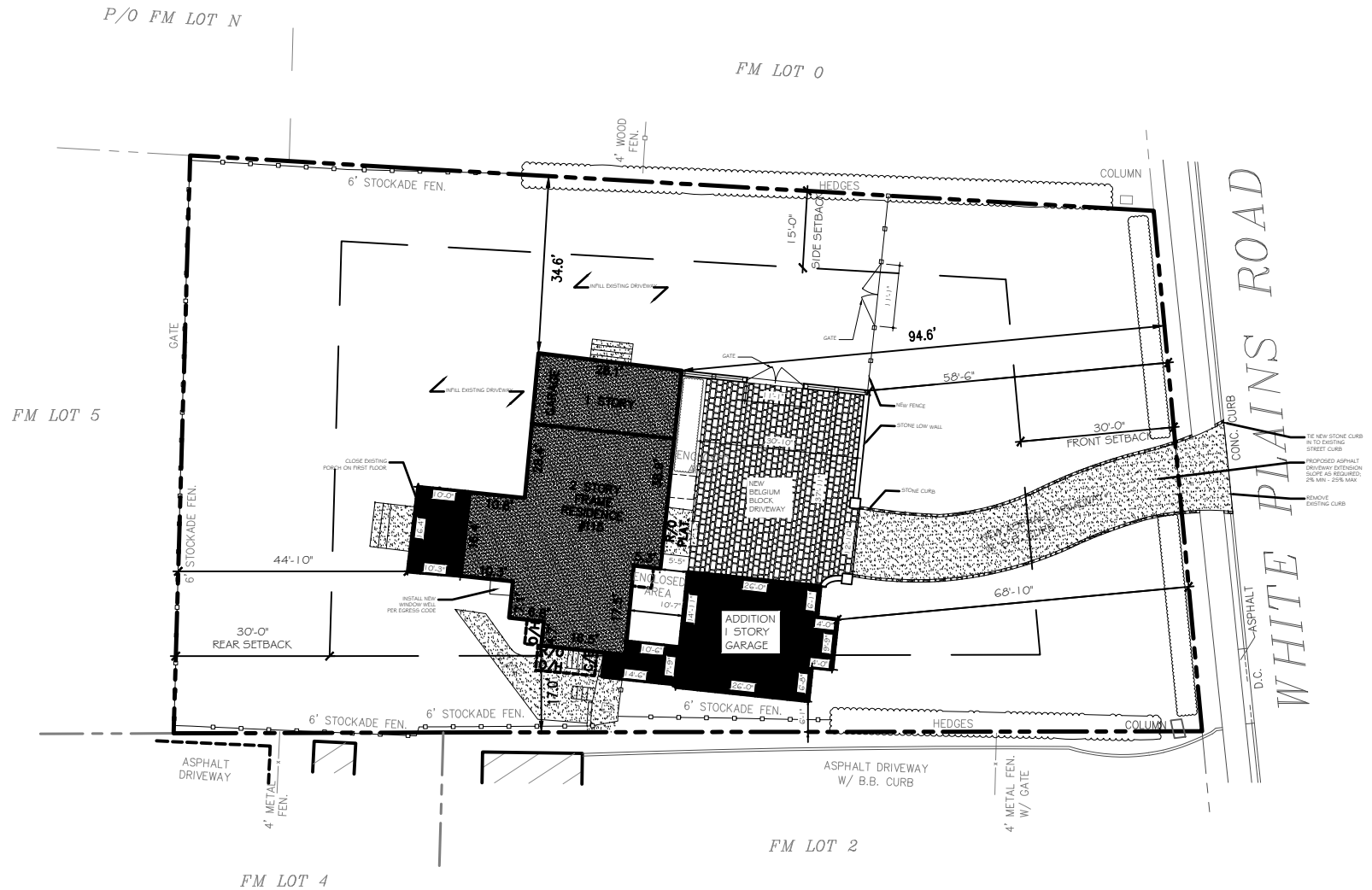


Westchester County GIS

GIS
<http://giswww.westchestergov.com>
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White Plains, New York 10601



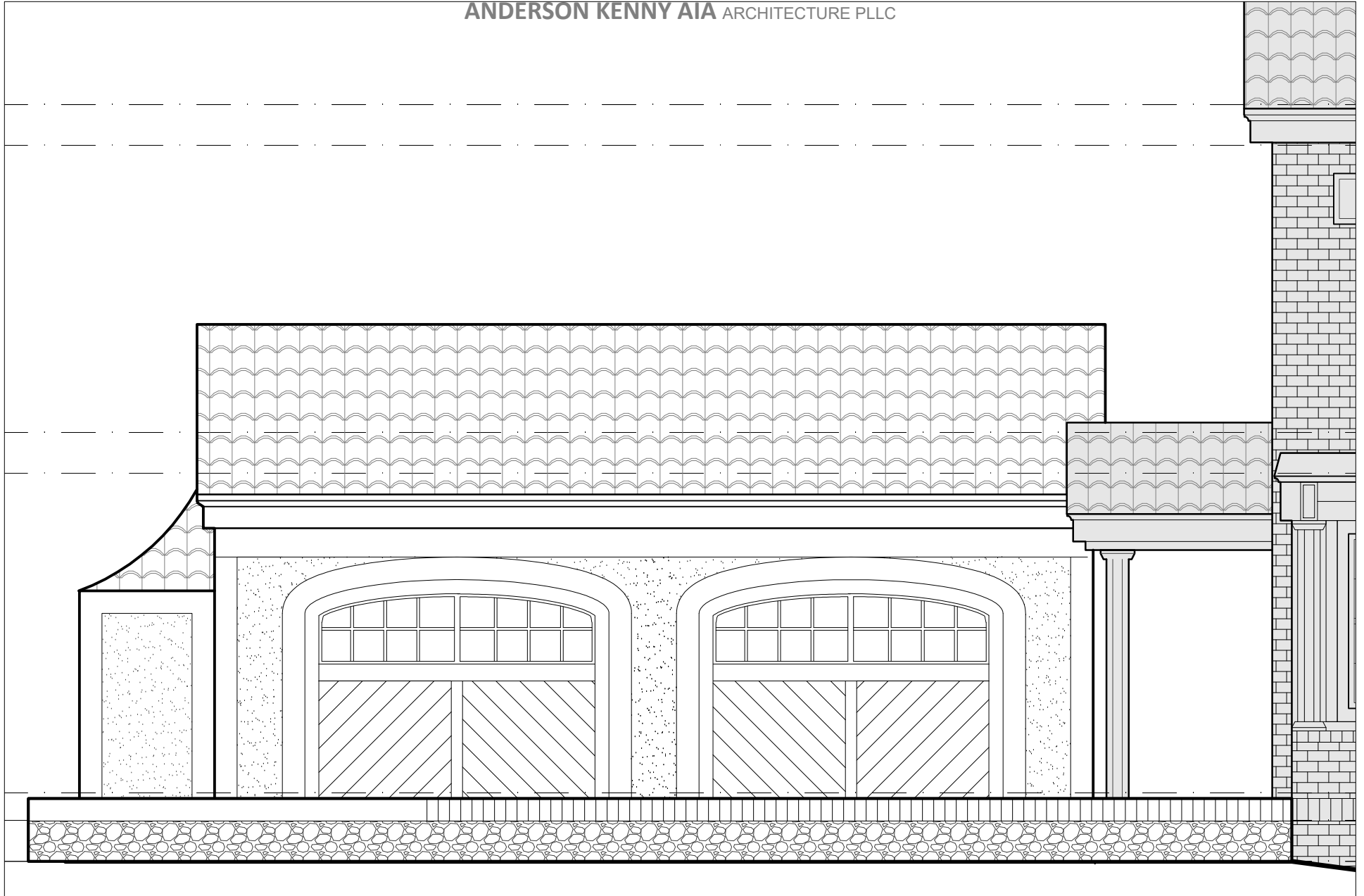
EXISTING CONDITIONS



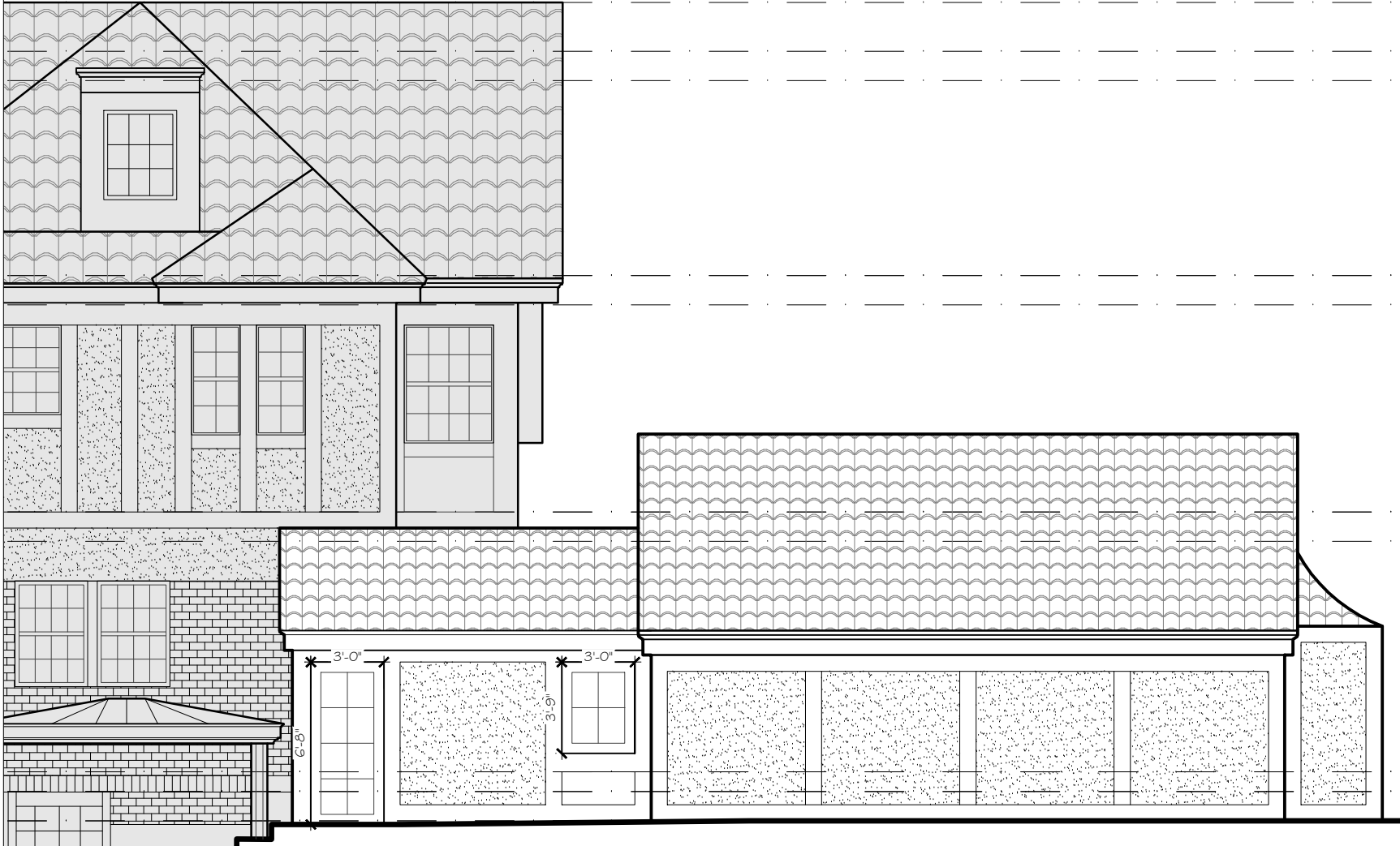
SITE DEVELOPMENT PLAN



EXTERIOR ELEVATION - EAST / FRONT



EXTERIOR ELEVATION - NORTH / SIDE YARD 1



EXTERIOR ELEVATION - SOUTH / SIDE YARD 2