

**ZONING BOARD OF APPEALS APPLICATION**

**Project Name, If Applicable:** \_\_\_\_\_

**Project Street Address:** 115 WHITE PLAINS ROAD

**Section:** 17 **Block:** 2 **Lot(s):** 5 **Zone:** DISTRICT A

**Applicant:** CHARLES ANDERSON KENNY

**Address:** 45 EAST PUTNAM AVENUE STE 103

**City:** GREENWICH **State:** CT **Zip:** 06830

**Phone #:** 203.900.1550 **Email:** ANDERSON@ANDERSONKENNY.COM

**Owner:** ASHLEY & IAN ROSS

**Address:** 115 WHITE PLAINS ROAD

**City:** BRONXVILLE **State:** NY **Zip:** 10708

**Phone #:** \_\_\_\_\_ **Email:** \_\_\_\_\_

**Application is for:**

\_\_\_\_\_ An interpretation of the Zoning Law or a determination by the Superintendent of Buildings

X Area variance(s) 310-10 D(2)  
List Sections

\_\_\_\_\_ Use Variance \_\_\_\_\_  
List Sections

\_\_\_\_\_ Special Permit Use \_\_\_\_\_  
List Sections

**Description of the proposed project and nature of the interpretation, variance(s) and/or special permit being sought:** \_\_\_\_\_

- 1. Remove existing driveway at side and rear yard.
- 2. Remove curb to construct new asphalt driveway
- 3. Construct two car garage at southeast corner.
- 4. Construct breezeway from garage to primary structure

With the addition of the new garage, we would need a variance because the southeast corner would encroach the setback. However, the house with the addition is well below the FAR and compliant with all other setbacks. The project would also increase the open space of the lot by 25% and permeable area by 15%.

When did present owner acquire title? 06.22.21

Was the title acquired by purchase: (  Yes or  No ), If so from whom? N/A

Are you seeking a variance from the provisions of the ordinance? (  Yes or  No )

If so, from which ordinance, from which provision thereof and to what extent? \_\_\_\_\_

We are over the setback line by 8.9 feet on side yard 2. At the most narrow point, this will leave 6.1 feet between our structure and the property line. The neighboring property also has a garage in this location. Our garage addition would be adjacent to the neighbors garage. The existing elevation change between the front yard and backyard is approximately 5 feet, preventing access by vehicles in this location. By putting the garage in side yard 2 we create a more open space and permeable space in the front, side 1, and rear yards. Please note that we are under the allowed FAR with this addition.

If you are seeking a variance from the provisions of the ordinance, do you contend that the effect of the ordinance on the property to which this appeal pertains is different from its effect on other properties in the same zoning district? (Yes or  No ) If so, in what respect and what is the cause of the difference?

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Does the owner of the premises involved in this application own any contiguous property? (Yes or  No)

If so, in what respect and what is the cause of the difference? \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Owners Signature: Anderson Kenny Date: \_\_\_\_\_

### Zoning Compliance Analysis

Property Address: 115 WHITE PLAINS ROAD

Zoning District: A

Flood Zone: Yes:      No: X

ZONING STANDARD	REQUIRED	EXISTING	PROPOSED	STATUS
BUILDING USE	SINGLE FAMILY	SINGLE FAMILY	NO CHANGE	
LOT AREA	12,000'	20,803.24'	NO CHANGE	
LOT WIDTH	80'	102.0'	NO CHANGE	
LOT DEPTH	100'	149.15'	NO CHANGE	
FRONT YARD	30'	94.6'	68.83'	
SIDE YARD #1	27'	34.6'	34.6'	
SIDE YARD #2	15'	15.1'	6.1'	8.9'
REAR YARD	30'	44.8'	NO CHANGE	
HEIGHT (Feet & Stories)	30' 2.50	30' 2.50	NO CHANGE	
BUILDING COVERAGE	22.5%	10%	15%	
USABLE OPEN SPACE	55%	69%	72%	
F.A.R.	.270 = 5,616.87	3576.8 / .172	4513.65 / .22 increase 5%	
PARKING				

All applications for additions to submit complete detailed finished grade and FAR calculations, and completed F.A.R. computation worksheet on reverse, submission to be stamped by the design professional of record.

Form Prepared By: **Name (Print):** ANDERSON KENNY

Signature: *Anderson Kenny*

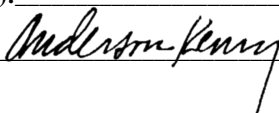
**Zoning F.A.R. Calculation**

	<b>EXISTING</b>	<b>PROPOSED</b>	<b>SUB TOTAL</b>
BASEMENT <sup>(b)</sup>	1013.5		
1 <sup>ST</sup> FLOOR	1611.94	315.35	1803.63
2 <sup>ND</sup> FLOOR	1461.63		1461.63
3 <sup>RD</sup> FLOOR <sup>(d)</sup>	501.25		501.25
ATTIC <sup>(d)</sup>	N/A		
GARAGE <sup>(c)</sup>	344.02 at basement	623.48 1ST FLOOR	623.48
<b>ACTUAL TOTAL BUILDING FLOOR AREA =</b>			4513.65
<b>ACTUAL LOT AREA =</b>			20803.24
<b>PERMITTED F.A.R. (From Table, interpolate if necessary) =</b>			.270
<b>MAXIMUM PERMITTED BUILDING FLOOR AREA (ACTUAL LOT AREA X PERMITTED F.A.R.) =</b>			5616.87

**Floor Area Ratio (for a lot whose principal use is a one or two family dwelling):** The ratio of the gross floor area of all buildings on a lot to the area of the lot on which the buildings are located. For the purpose of determining the floor area ratio (FAR), all floor areas of each floor of all principal and all accessory structures on the lot shall be included. Any interior space with a floor-to-ceiling height in excess of 14 feet shall be counted twice. Notwithstanding the preceding the following shall be excluded from the calculation of floor area:

- a) The aggregate area of all unroofed structures such as decks and patios and all spaces in unenclosed porches and porticos, except that existing unenclosed porches may be enclosed and the enclosed area excluded from the FAR calculation provided that the exterior walls of the unenclosed porch and the walls of the dwelling to which the porch is attached are not relocated closer to the lot lines of the subject property than the existing unenclosed porch.
- b) The aggregate area of any cellar regardless of its use or of any basement unless it is defined as a story. See Basement definition.
- c) The aggregate area of grade level garage parking (whether attached or detached) or basement level parking, in either case, up to a maximum of 400 square feet. In those instances where an additional story is provided above a garage (whether attached or detached) such floor area shall be subject to the attic and sloping roof limitations in (d) below.
- d) The aggregate area of all unfinished or finished space in an attic or under a sloping roof provided that the total exterior width of all dormers does not exceed 30% of the exterior linear width of the portion of the roof upon which they are situated. The exterior linear width of the roof shall be measured from end to end at the widest point of the roof. Where the linear width of the dormers exceeds the limitation above, the total area in the attic or under the sloping roof shall be included in the calculation of FAR, except where floor area between the top of the floor beams and the structural ceiling level is five (5) feet or less.

Calculations Prepared By: Name (Print): ANDERSON KENNY

Signature: 

**AFFIDAVIT OF OWNERSHIP**

State of New York )  
County of Westchester ) SS:

I, IAN ROSS, being duly sworn, deposes and says:  
(Clearly print first and last name of property owner)

(Check appropriate box)

- I am the owner of the property for which this application is being submitted.
- I am an officer of the corporation that owns the property for which this application is being submitted.

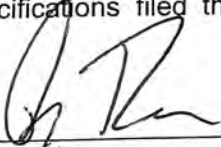
**Further** (check applicable box):

- I am submitting this application on my own behalf.
- I am authorizing the following individual to submit this application on my behalf:

CHARLES ANDERSON KENNY  
(Clearly print name of individual authorized to submit this application)

**Further:**

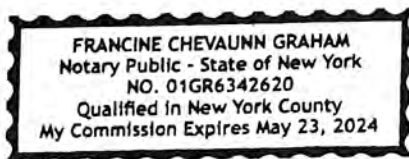
To the best of my knowledge, information and belief, all statements contained in this application are true, complete and correct, and all work will be performed in the manner set forth in the application and in the plans and specifications filed therewith, and in accordance will all applicable laws, ordinances and regulations.

  
(Signature of Owner)

IAN ROSS  
(Print Name of Owner)

Sworn to before me this 7 day of SEPTEMBER, 2021

  
(Signature of Notary Public)



VILLAGE OF BRONXVILLE  
Department of Buildings  
200 Pondfield Road  
(914) 337-7338  
(914) 337-0158 (Fax)

**PLAN REVIEW COMMENTS**

**APPLICATION NUMB:** ALT 171-21  
**DATE RECEIVED:** August 31, 2021  
**LOCATION:** 115 White Plains Road  
**SBL:** 17./2/5  
**APPLICANT NAME:** Ross, Ashley & Ian  
**APPLICANT ADDRESS:** 115 White Plains Road  
Bronxville, NY 10708

**DESCRIPTION OF WORK :** Below is a narrative of the proposed scope of work intended for the exterior:  
1. Remove existing driveway at side and rear yard, Remove curb to construct new asphalt corner. Construct two car garage at southeast corner. Install new windows to enclose porch at rear yard.

**DISAPPROVED August 31, 2021, FOR THE FOLLOWING:**

Your revised application for a permit on the above location has been reviewed and a permit may not be issued at this time for the reasons indicated below.

**ZONING CODE REVIEW** (Section Numbers refer to Village Code of 1981)

Zoning Review -

- 1) Proposed work includes a substantial increase in open space 73%, therefore the impervious area is being decreased.
- 2) The proposed new garage will replace the existing garage tying into a new driveway court.
- 3) As per 'Village of Bronxville Municipal Code, section 310-10 D (2)' the side yard setback required is 15' minimum. The proposed side yard setback for the new garage is 8.9'. The variance required for this proposed new garage is 6.1'. Referral to the Village of Bronxville Zoning Board of Appeals is required for an area variance.
- 4) Building Coverage calculations are required to be provided
- 5) FAR Calculations - the calculations don't seem to consider the definitions of the FAR. Please refer to the definitions/ what exceptions are allowed.
- 6) Provide the story above grade worksheet to determine if the basement is considered a story above grade.
- 7) Affidavit of Owner form is required for application to be processed, as well as the application requires a signature. All paperwork is required to be completed.

VILLAGE OF BRONXVILLE  
Department of Buildings  
200 Pondfield Road  
(914) 337-7338  
(914) 337-0158 (Fax)

This document constitutes a final administrative determination by the Building Inspector denying your application for the reasons set forth above. Section 7-712(a) of the New York State Village Law provides that any appeal of this decision must be filed within 60 days of the date hereof with the Zoning Board of Appeals of the Village of Bronxville.

**APPLICATION REVIEW to be completed upon Zoning Board of Appeals Approval**

**PLAN REVIEW to be completed upon Zoning Board of Appeals Approval**

  
\_\_\_\_\_  
Paul Taft  
Building Inspector

CC: Ross, Ashley & Ian

September 15, 2021

Village of Bronxville  
Bronxville Village Hall  
200 Pondfield Road  
Bronxville, New York 10708

Re: 115 White Plains Road - Application ALT-171-21

The following is a response to all plan reviewer's comments received from the Village of Bronxville on August 31, 2021. The numbers correspond to those found in the review letter.

1. Noted
2. Noted
3. Noted. Varian application will be provided.
4. Building Coverage calculations are noted on Zoning Compliance Worksheet attached and noted on sheet A-004
5. FAR calculations revised per definitions provided. Basement is below grade and area removed from the calculations.
6. Grading plan new sheet A-004
7. Affidavit attached.

Please contact me with any questions or comments.

Regards,

A handwritten signature in blue ink that reads "Anderson Kenny". The signature is written in a cursive, flowing style.

Anderson Kenny, AIA

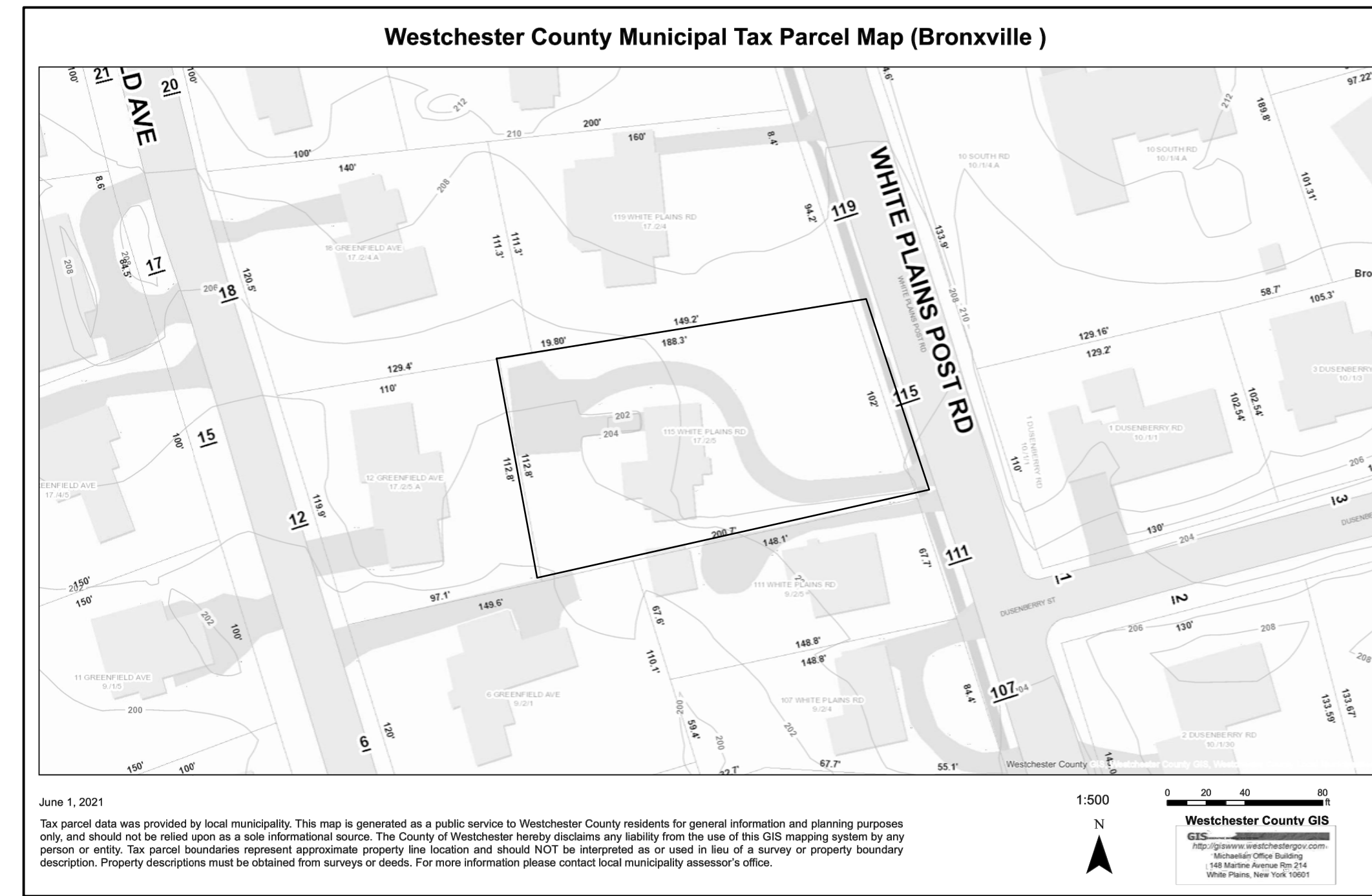
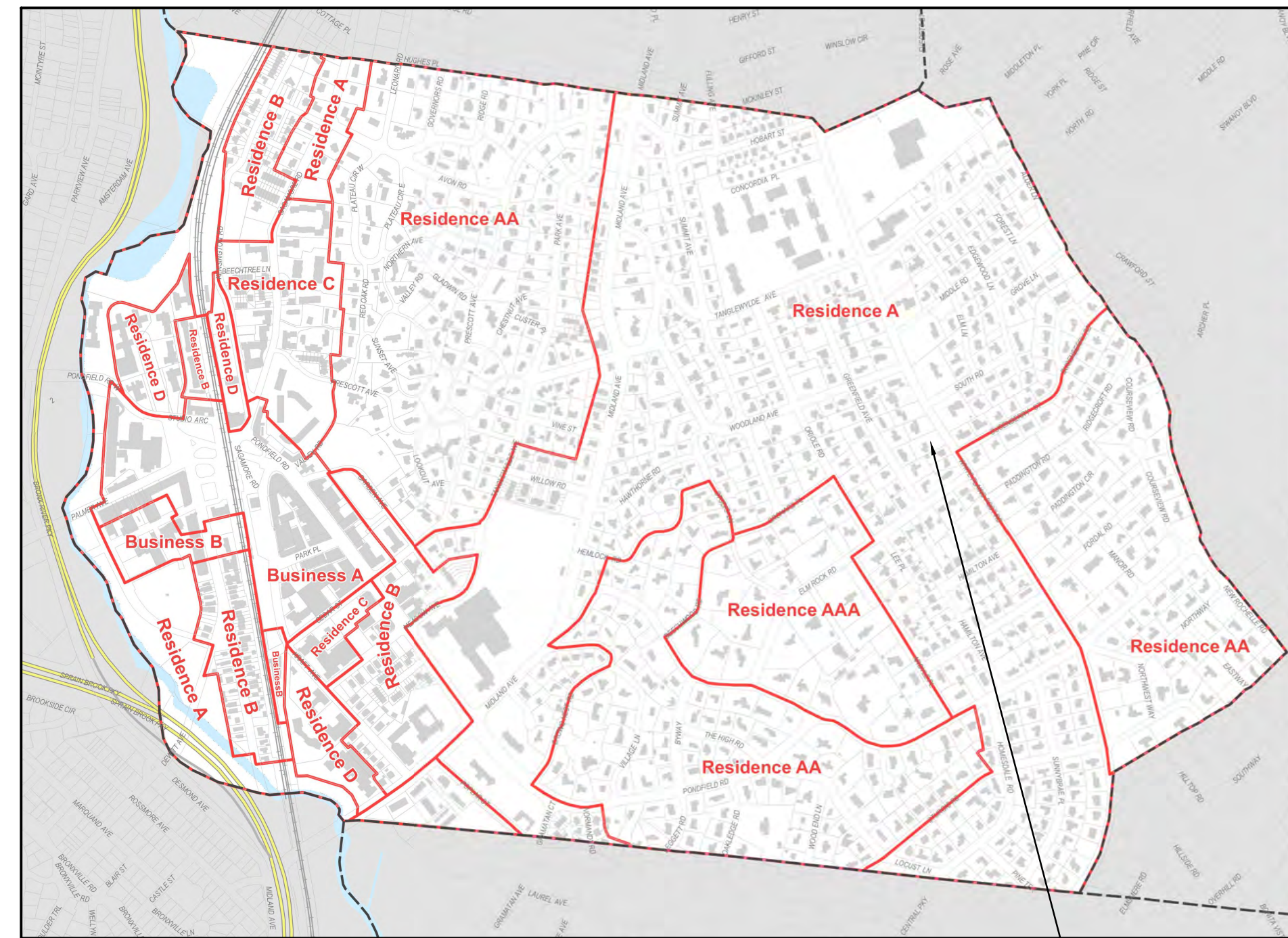


# BRONXVILLE RESIDENCE - PROPOSED EXTERIOR ALTERATIONS

115 WHITE PLAINS ROAD  
BRONXVILLE, NEW YORK 10708

ANDERSON KENNY  
ARCHITECTURE, PLLC

45 E Putnam Ave  
Greenwich, CT 06830  
WWW.ANDERSONKENNY.COM



## LOCATION PLAN

ARCHITECT:  
ANDERSON KENNY, AIA  
ANDERSON KENNY ARCHITECTURE  
903 MADISON AVENUE SUITE 5F  
NEW YORK, NY 10021

REGISTERED ARCHITECT  
STATE OF NEW YORK NUMBER:  
031969

## DRAWING LIST

T-001.00 TITLE SHEET  
G-001.00 FEMA MAP

## ARCHITECTURAL:

A-000.00 SITE PLAN - EXISTING CONDITIONS  
A-001.00 SITE PLAN - REMOVAL PLAN  
A-002.00 SITE PLAN - DEVELOPMENT PLAN  
A-003.00 SITE PLAN - ROOF PLAN  
A-004.00 SITE PLAN - GRADING PLAN  
A-100.00 REMOVALS PLAN - BASEMENT (OMIT)  
A-101.00 REMOVALS PLAN - FIRST FLOOR (OMIT)  
A-200.00 PROPOSED PLAN - BASEMENT (OMIT)  
A-201.00 PROPOSED PLAN - FIRST FLOOR  
A-400.00 DETAILS - WINDOW WELL & FOUNDATION WALL  
A-501.00 EXTERIOR ELEVATIONS  
A-502.00 EXTERIOR ELEVATIONS

## DESCRIPTION OF WORK

- A. REMOVALS:  
1. REMOVE EXISTING DRIVEWAY INFILL YARD AS REQUIRED
- B. CONSTRUCTION:  
1. BUILD NEW CAR GARAGE AND BREEZEWAY CONNECTION TO HOUSE

## PROJECT CODES

THE BUILDING CODES OF NEW YORK STATE ADOPT THE  
2020 BUILDING CODE OF NEW YORK STATE  
THE INTERNATIONAL BUILDING CODE 2018 (IBC 2018),  
2020 RESIDENTIAL CODE OF NEW YORK STATE  
INTERNATIONAL RESIDENTIAL CODE 2018 (IRC 2018),  
2020 EXISTING BUILDING CODE OF NEW YORK STATE  
2020 FIRE CODE OF NEW YORK STATE  
2020 PLUMBING CODE OF NEW YORK STATE  
2020 MECHANICAL CODE OF NEW YORK STATE  
2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE  
2020 ENERGY CONSERVATION CODE OF NEW YORK STATE  
ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, 2009,  
STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2016,  
NATIONAL ELECTRICAL CODE, 2017,  
NATIONAL FIRE ALARM AND SIGNALING CODE, 2016,  
SAFETY CODE FOR ELEVATORS AND ESCALATORS, 2016,  
THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE 2014.

THESE CODES INCLUDE AMENDMENTS ENACTED AT THE STATE LEVEL AND LOCAL LEVEL OF THE VILLAGE CODE OF BRONXVILLE

## LOT AREA:

SIZE (ACRE)  
MINIMUM PER DWELLING UNIT (SQ. FT.)

REQUIREMENTS	EXISTING	PROPOSED
-	.48 AC	.48 AC
12,000	N/A	N/A

## RESIDENTIAL FAR AND GROSS SQUARE FOOTAGE:

LOT SIZE (SQ. FT.)  
FAR ALLOWABLE  
MAXIMUM GROSS ALLOWABLE (SQ. FT.)  
GROSS AREA HOUSE + ADDITION(SQ. FT.)

REQUIREMENTS	EXISTING	PROPOSED
10,000 SF	20,803.24 SQ. FT.	20,803.24 SQ. FT.
.270	.270	.270
3,700	5,616.87 SQ. FT.	5,616.87 SQ. FT.
-	4,590.32 SQ. FT.	5,474.29 SQ. FT.

## LOT DIMENSIONS MAXIMUM:

WIDTH (FT.)  
DEPTH (FT.)

REQUIREMENTS	EXISTING	PROPOSED
150' - 0"	149.13'	149.13'
120' - 0"	112.84'	112.84'

## HEIGHT, MAXIMUM:

STORIES  
MAXIMUM HEIGHT (FT.)

REQUIREMENTS	EXISTING	PROPOSED
2 1/2	2 - 1/2	2 - 1/2
30'-0"	30'-0"	30'-0"

## SETBACK:

PRINCIPAL BUILDING OR STRUCTURE (FT.)  
FRONT  
SIDE  
SIDE, TOTAL FOR BOTH (INTERIOR LOT)  
SIDE, ABUTTING SIDE STREET ON CORNER LOT  
REAR

REQUIREMENTS	EXISTING	PROPOSED
30'	94.6'	68.83'
15'	15.1'	6.1'
-	49.7'	40.7'
-	N/A	N/A
30'	44.8'	44.8'

## ACCESSORY BUILDING OR STRUCTURE, MINIMUM YARDS (FT.)

DISTANCE FROM STREET  
DISTANCE FROM SIDE AND REAR LOT LINES  
DISTANCE BETWEEN BUILDINGS

REQUIREMENTS	EXISTING	PROPOSED
-	N/A	N/A
-	N/A	N/A
-	N/A	N/A

## IMPERMEABLE SURFACES

HOUSE  
ACCESSORY STRUCTURE / GARAGE  
DRIVEWAY  
PATIO  
CONCRETE PADS OR SIDEWALKS

REQUIREMENTS	EXISTING	PROPOSED
-	1,611.94	1,927.29
-	N/A	623.48
-	4,310.76	2621.16
-	N/A	-
-	454.78	284.95

## PERMEABLE SURFACES

SWIMMING POOL  
WOOD DECK W/ SPACES BOARDS  
OPEN JOINT PATIO & SIDEWALKS  
OTHER PAVING SYSTEMS

REQUIREMENTS	EXISTING	PROPOSED
-	-	-
-	-	-
-	459.80	225.57
-	-	-

## OPEN SPACE CALCULATIONS

AREA OF OPEN SPACE  
LOT AREA  
TOTAL % OPEN SPACE

REQUIREMENTS	EXISTING	PROPOSED
-	13,934.72 SQ FT	15,384.53 SQ FT
20,803.24	20,803.24 SQ FT	20,803.24 SQ FT
55% MIN	69 %	72 %

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

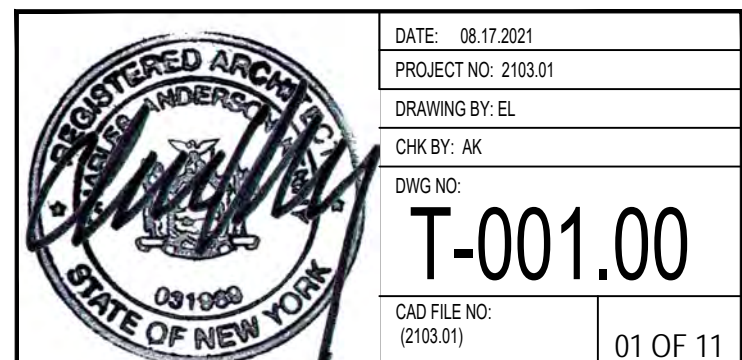
DATE	ISSUE	NO
06.24.21	TO VILLAGE OF BRONXVILLE	1
06.25.21	CONTRACTOR PRICING	2
07.16.21	TO VILLAGE OF BRONXVILLE R.I	3
08.26.21	TO VOB SUBMISSION 2	4
11.09.21	VOB SUBMISSION 2 AMENDMENT	6

PROJECT:

115 White Plains Rd  
BRONXVILLE, NY 10708

TITLE SHEET &  
DRAWING LIST

SCALE: AS NOTED



DATE: 08.17.2021  
PROJECT NO: 2103.01  
DRAWING BY: EL  
CHK BY: AK  
DWS NO:  
**T-001.00**  
CAD FILE NO:  
(2103.01)  
01 OF 11

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

DATE	ISSUE	NO
06.24.21	TO VILLAGE OF BRONXVILLE	1
06.25.21	CONTRACTOR PRICING	2
07.16.21	TO VILLAGE OF BRONXVILLE R1	3
08.26.21	TO VOB SUBMISSION 2	4
11.03.21	TO VOB SUB 3	5
11.09.21	VOB SUBMISSION 2 AMENDMENT	6

PROJECT:  
**115 White Plains Rd  
BRONXVILLE, NY 10708**

FEMA MAP

SCALE: AS NOTED

DATE: 08.17.2021  
PROJECT NO: 2103.01  
DRAWING BY: EL  
CHK BY: AK  
DWS NO:  
**G-001.00**  
CAD FILE NO:  
(2103.01)  
02 OF 11

### LEGEND

**SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, AV, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

**ZONE A** No Base Flood Elevations determined.

**ZONE AE** Base Flood Elevations determined.

**ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

**ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.

**ZONE AR** Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently identified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

**ZONE A99** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

**ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

**ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

**FLOODWAY AREAS IN ZONE AE**

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

**OTHER FLOOD AREAS**

**ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

**OTHER AREAS**

**ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.

**ZONE D** Areas in which flood hazards are undetermined, but possible.

**COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**

**OTHERWISE PROTECTED AREAS (OPAs)**

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary  
0.2% annual chance floodplain boundary  
Floodway boundary  
Zone D boundary  
CBRS and OPA boundary  
Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.  
Base Flood Elevation line and value elevation in feet\*  
Base Flood Elevation value where uniform within zone; elevation in feet\*

\* Referenced to the North American Vertical Datum of 1988

○ Cross section line  
— Limited detail cross section line  
— Transect line  
87°07'45", 32°22'30"  
Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere

76°N  
600000 FT  
500-foot grid ticks: New York State Plane coordinate system, East Zone (FIPS ZONE 3101), Transverse Mercator projection

DX5510 x  
Bench mark (see explanation in Notes to Users section of this FIRM panel)  
• M1.5  
River Mile

MAP REPOSITORY  
Refer to listing of Map Repositories on Map Index

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP  
September 28, 2007

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-538-6620.

MAP SCALE 1" = 500'

250 0 500 1000  
150 0 150 300  
FEET METERS

**NATIONAL FLOOD INSURANCE PROGRAM**

PANEL 0329F

**FIRM**  
FLOOD INSURANCE RATE MAP

for WESTCHESTER COUNTY, NEW YORK  
(ALL JURISDICTIONS)

CONTAINS:

COMMUNITY	NUMBER
BRONXVILLE, VILLAGE OF	360905
EASTCHESTER, TOWN OF	360909
TUCKAHOE, VILLAGE OF	360934
YONKERS, CITY OF	360936

PANEL 329 OF 426  
MAP SUFFIX: F  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER  
36119C0329F

EFFECTIVE DATE  
SEPTEMBER 28, 2007

Federal Emergency Management Agency



**NOTES TO USERS**

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was Universal Transverse Mercator (UTM) zone 18. The horizontal datum was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Survey of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NINGS12  
National Geodetic Survey  
SSM-C, #6202  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was derived from digital orthophotography provided by the New York State Office of Cyber Security & Critical Infrastructure Coordination. This information was produced as 20-centimeter resolution natural color orthophotography from photography dated April 2004.

Based on updated topographic information, this map reflects more detailed and up-to-date stream channel configurations and floodplain delineations than those shown on the previous FIRM for this jurisdiction. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map. Also, the road to floodplain relationships for unrevised streams may differ from what is shown on previous maps.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the county showing the layout of map panels, community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the FEMA Map Service Center at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://msc.fema.gov>.

If you have questions about this map or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov>.

**FLOOD ZONE: 'X' (OTHER AREAS) PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA**









OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

DATE	ISSUE	NO
06.24.21	NOT ISSUED	1
06.25.21	NOT ISSUED	2
07.16.21	NOT ISSUED	3
08.26.21	TO VOB SUBMISSION 2	4
11.03.21	TO VOB SUBMISSION 3	5
11.09.21	VOB SUBMISSION 2 AMENDMENT	6

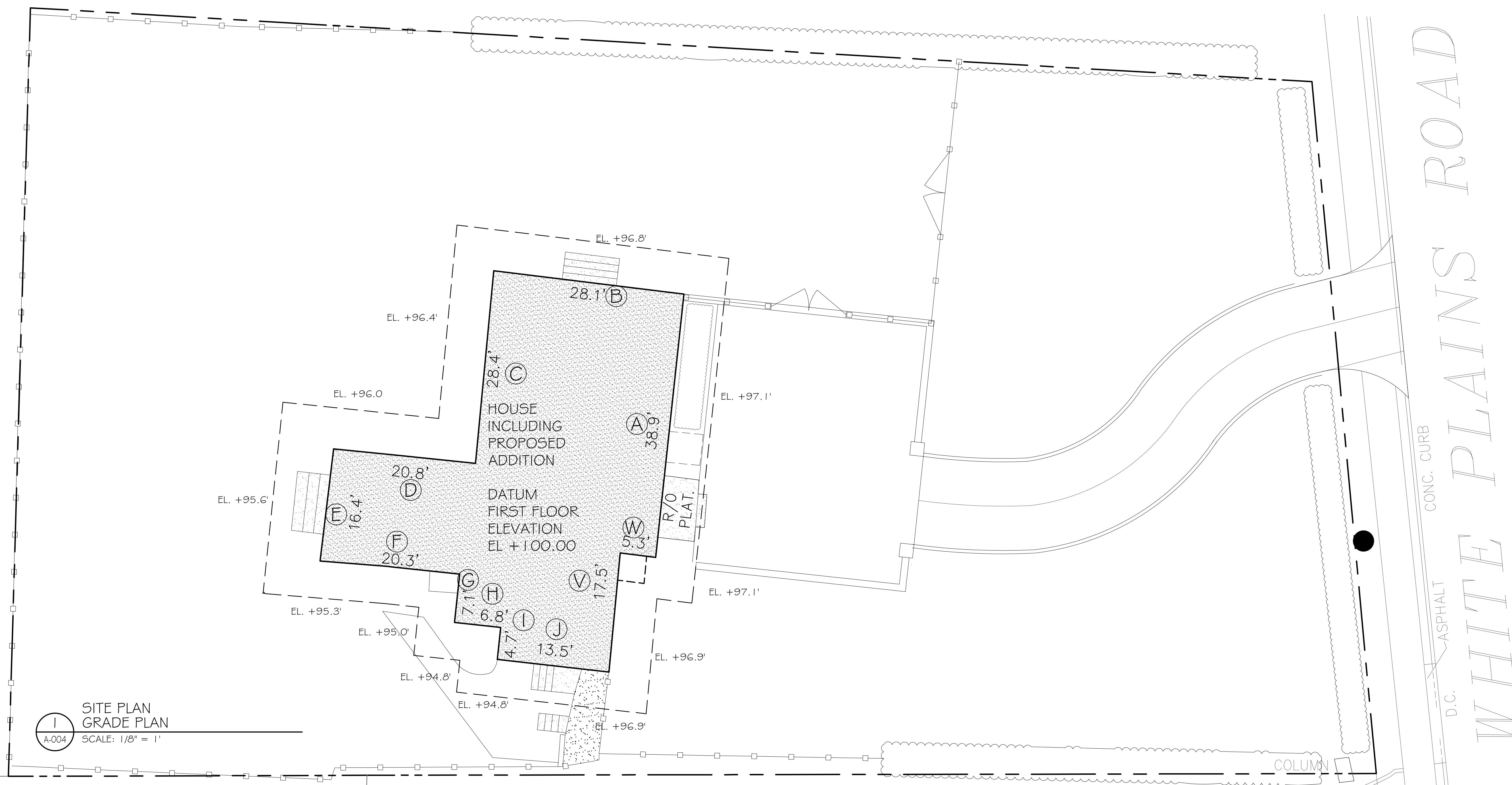
PROJECT:

115 White Plains Rd  
BRONXVILLE, NY 10708

SITE DEVELOPMENT PLAN

SCALE: AS NOTED

DATE: 08.17.2021  
PROJECT NO: 2103.01  
DRAWING BY: EL  
CHK BY: AK  
DWS NO:  
**A-004.00**  
CAD FILE NO:  
(2103.01)  
07 OF 11



**I**  
A-004  
SITE PLAN  
GRADE PLAN  
SCALE: 1/8" = 1'

WALL DESIGNATION	LOWEST / AVERAGE ELEVATION (FEET)		WALL LENGTH (FEET)	WEIGHTED PERIMETER
(A)	97.1	X	38.9	3,777.19
(B)	96.8	X	28.1	2,720.08
(C)	96.4	X	28.4	2737.76
(D)	96.0	X	28.8	2,764.8
(E)	95.6	X	16.4	1,567.84
(F)	95.3	X	20.3	1,934.59
(G)	95.0	X	7.1	674.5
(H)	94.8	X	6.8	644.64
(I)	94.8	X	4.7	445.56
(J)	94.8	X	13.5	1,279.8
(K)	94.8	X	4.67	442.716
(L)	96.9	X	14.5	1,405.05

WALL DESIGNATION	LOWEST / AVERAGE ELEVATION (FEET)		WALL LENGTH (FEET)	WEIGHTED PERIMETER
(M)	96.9	X	26.0	2,519.4
(N)	97.0	X	6.09	614.01
(O)	97.0	X	4.0	388
(P)	97.0	X	9.75	945.75
(Q)	97.0	X	4.0	388
(R)	97.0	X	6.09	614.01
(S)	97.1	X	26.0	2,524.6
(T)	97.1	X	14.99	1,446.79
(U)	97.1	X	10.5	1,019.55
(V)	97.1	X	17.5	1699.25
(W)	97.1	X	5.3	514.63
TOTAL			342.78	33,068.52

**GRADE PLANE ELEVATION**

$$\text{GRADE PLANE ELEVATION} = \frac{\text{TOTAL WEIGHTED PERIMETER}}{\text{TOTAL WALL LENGTH}}$$

$$= \frac{33,068.52}{342.78}$$

GRADE PLANE ELEVATION = 96.47 FEET  
(3.53 FEET BELOW FIRST FLOOR)

**MAX BUILDING COVERAGE**

LOT SIZE: 20,803.24  
ALLOWED: 22.5%  
EXISTING: 10%  
PROPOSED: 15%

**ANDERSON KENNY  
ARCHITECTURE, PLLC**

45 E Putnam Ave  
Greenwich, CT 06830  
WWW.ANDERSONKENNY.COM

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

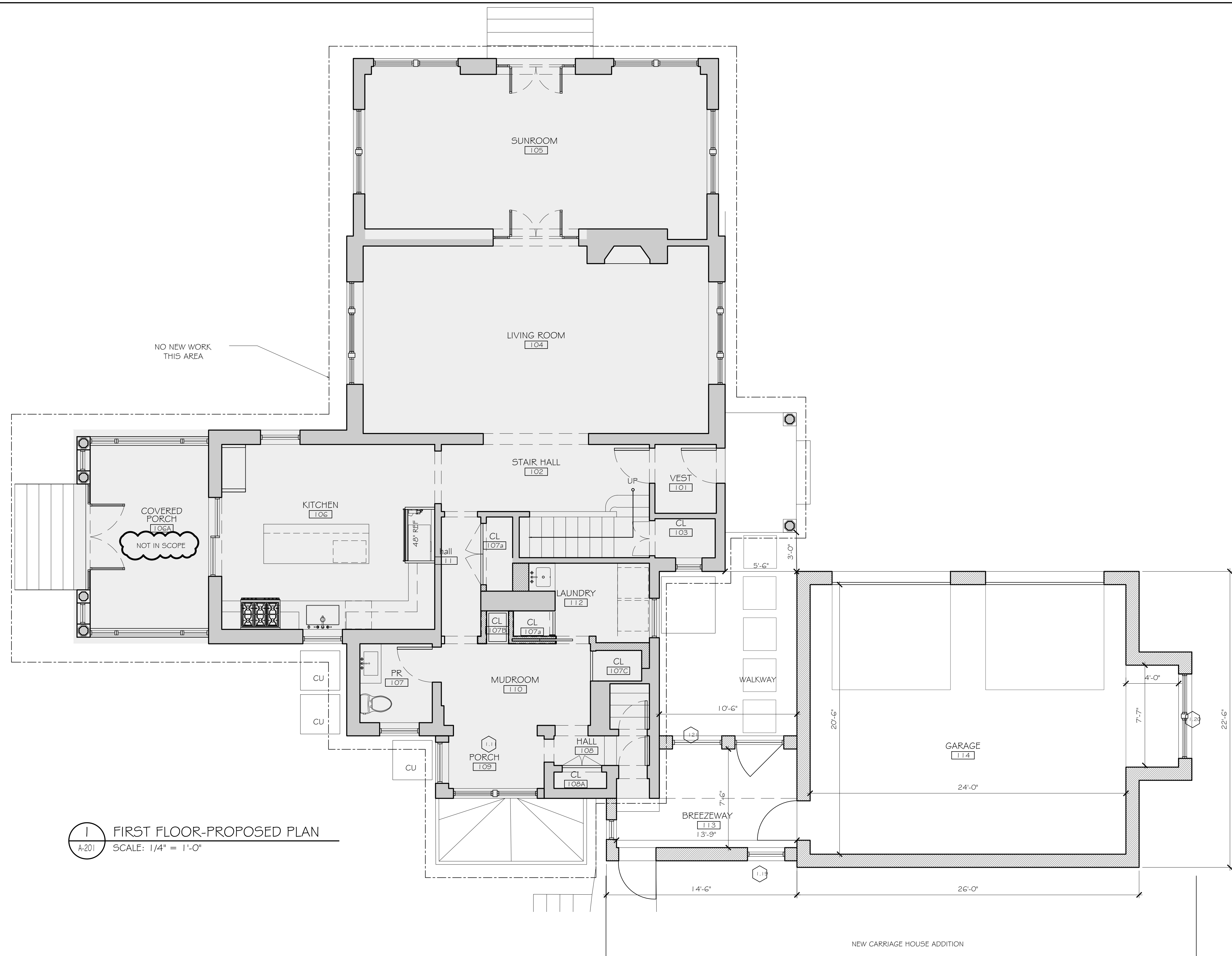
DATE	ISSUE	NO
06.24.21	TO VILLAGE OF BRONXVILLE	1
06.25.21	CONTRACTOR PRICING	2
07.16.21	TO VILLAGE OF BRONXVILLE R1	3
08.26.21	TO VOB SUBMISSION 2	4
10.27.21	ENGINEER	5
11.03.21	VOB SUBMISSION 3	6
11.09.21	VOB SUBMISSION 2 AMENDMENT	7

PROJECT:  
**115 White Plains Rd  
BRONXVILLE, NY 10708**

**FIRST FLOOR  
PROPOSED PLAN**

SCALE: AS NOTED

	DATE: 08.17.2021
	PROJECT NO: 2103.01
	DRAWING BY: EL
	CHK BY: AK
DWG NO:	<b>A-201.00</b>
CAD FILE NO: (2103.01)	08 OF 11



**FIRST FLOOR-PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

LEGEND	GENERAL NOTES
<ul style="list-style-type: none"> <li> EXISTING</li> <li> NEW WALL FEATURES</li> <li> WALL TYPE</li> <li> ROOM NAME</li> <li> ROOM NUMBER</li> <li> NEW DOOR</li> <li> WINDOW TYPE</li> </ul>	<ol style="list-style-type: none"> <li>1. CONTRACTORS SHALL NOT SCALE DRAWINGS.</li> <li>2. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES</li> <li>4. IF NEEDED, G.C. TO PATCH EXISTING FIRE RATED ENCLOSURES AS REQUIRED TO MAINTAIN REQUISITE FIRE RATING, TYPICAL AT ALL BUILDING CHASES AND STRUCTURAL MEMBERS.</li> <li>5. ON SITE COORDINATION MEETING W/ COMPLETE TEAM TO OCCUR BEFORE FRAMING IS INSTALLED</li> <li>6. PROVIDE BLOCKING FOR GRAB BARS AT ALL WATERCLOSETS &amp; SHOWERS PER ANSI A117.1.</li> <li>7. PROVIDE ARC-FAULT (AFCI) OUTLETS AT ALL NEW BEDROOM OUTLETS, TYP.</li> <li>8. STORAGE AREAS ARE NOT TO BE USED FOR HUMAN HABITATION.</li> <li>9. CONTRACTOR TO COORDINATE FINAL LOCATION OF ALL MECH. SYSTEMS WITH MECH. SUB CONTRACTOR; SUB TO KEEP DUCTWORK TIGHT TO EACH OTHER TO MAXIMIZE FINISH CEILING HEIGHT</li> </ol>





OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

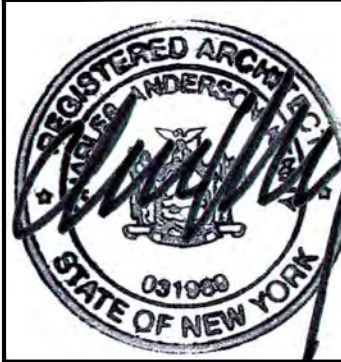
MEP ENGINEERS:

DATE	ISSUE	NO
08.26.21	TO VOB AMENDMENT	1
11.03.21	TO VOB SUBMISSION 3	2
11.09.21	VOB SUBMISSION 2 AMENDMENT	3

PROJECT:  
115 White Plains Rd  
BRONXVILLE, NY 10708

EXTERIOR ELEVATION  
EXISTING

SCALE: AS NOTED

	DATE: 08.17.2021
	PROJECT NO: 2103.01
	DRAWING BY: EL
	CHK BY: AK
	DWG NO: <b>A-501.00</b>
CAD FILE NO: (2103.01)	10 OF 11



1 EXISTING  
SOUTH ELEVATION - SIDE  
SCALE: 3/16" = 1'

2 EXISTING  
EAST ELEVATION - FRONT  
SCALE: 3/16" = 1'



3 EXISTING  
NORTH ELEVATION - SIDE  
SCALE: 3/16" = 1'



4 EXISTING  
WEST ELEVATION - REAR SIDE  
SCALE: 3/16" = 1'

OWNER REPRESENTATIVE:

CONSTRUCTION MANAGER:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

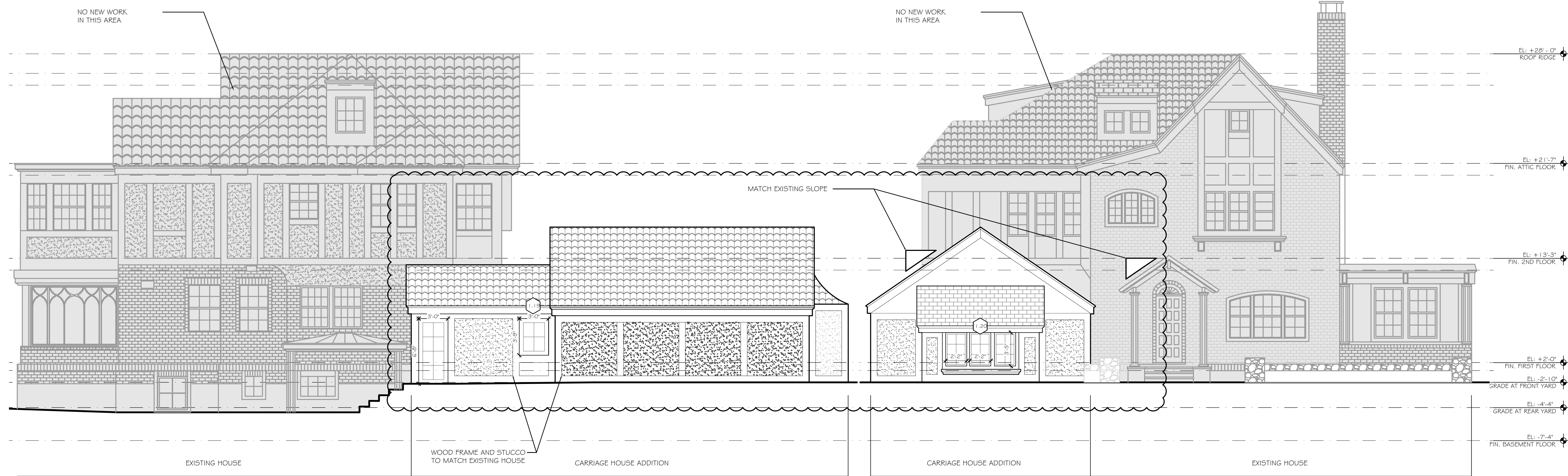
DATE	ISSUE	NO
08.26.21	TO VOB SUBMISSION 2	1
11.03.21	TO VOB SUBMISSION 3	2
11.09.21	VOB SUBMISSION 2 AMENDMENT	3

PROJECT:  
115 White Plains Rd  
BRONXVILLE, NY 10708

EXTERIOR ELEVATION  
PROPOSED

SCALE: AS NOTED

DATE: 08.17.2021  
PROJECT NO: 2103.01  
DRAWING BY: EL  
CHK BY: AK  
DWG NO: **A-502.00**  
CAD FILE NO: (2103.01)  
11 OF 11



1 PROPOSED SOUTH ELEVATION - SIDE  
A-502 SCALE: 3/16" = 1"

2 PROPOSED EAST ELEVATION - FRONT  
A-502 SCALE: 3/16" = 1"



3 PROPOSED NORTH ELEVATION - SIDE  
A-502 SCALE: 3/16" = 1"

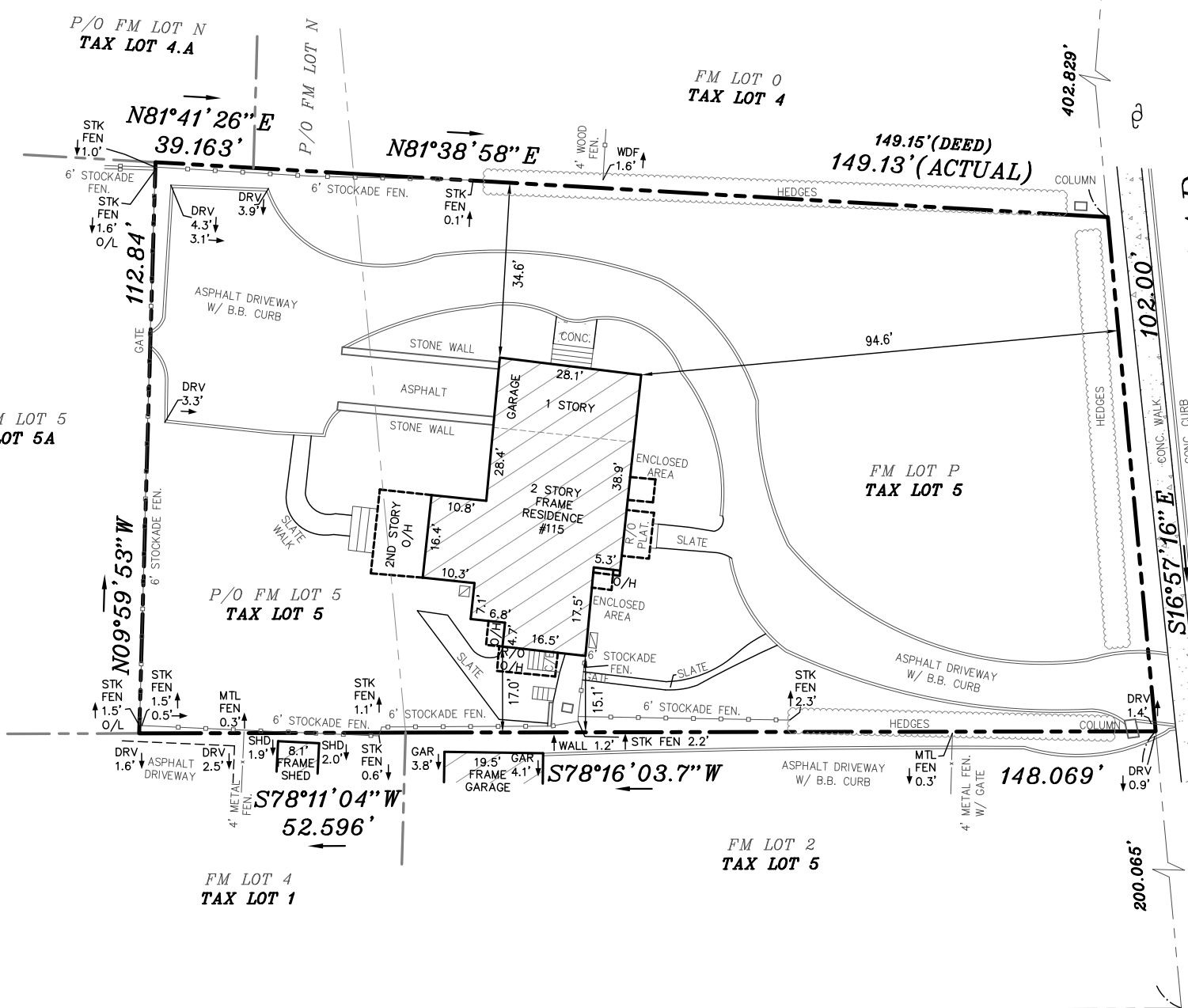
4 PROPOSED WEST ELEVATION - REAR  
A-502 SCALE: 3/16" = 1"

SYMBOL LEGEND		
□ MONUMENT FND	⊙ MANHOLE	⊕ TEST HOLE
○ I.P. / I.B. FND	▢ "A"-INLET	🌳 TREE
● I.P. / I.B. SET	▢ "B"-INLET	🌿 SHRUB
⊙ SPOT ELEVATIONS	▢ YARD INLET	● BOLLARD
⊙ UTILITY POLE	⊙ YARD INLET	▲ WETLAND FLAG
— GUY WIRE	⊙ ELECTRIC METER	— CANT. CANTILEVER
— UTILITY POLE W/LIGHT	⊙ GAS METER	— FE. FENCE
⊙ LIGHT POLE	⊙ WATER METER	— MAS. MASONRY
— SIGN	⊙ GAS VALVE	— PLAT. PLATFORM
— PVC FENCE (PVC)	⊙ WATER VALVE	— W.W. WINDOW WELL
— STOCKADE FENCE (STK)	— O/H OVERHANG	— B/W BAY WINDOW
— CHAIN LINK FENCE (CLF)	— R/O ROOF OVER	— C/E CELLAR ENTRANCE
— WIRE FENCE	— D.C. DEPRESSED CURB	□ A/C UNIT
— FIRE HYDRANT	— G.O.L. GENERALLY ON LINE	△ STAKE
— CROSS CUT		
— O/L ON LINE		

BEARINGS SHOWN HEREON ARE BASED ON FILE MAP NO. 2069

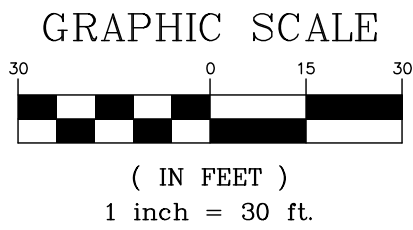


WOODLAND AVENUE  
(50' WIDE)



WHITE PLAINS ROAD  
WHITE PLAINS POST ROAD  
(50' WIDE)

ELM ROCK ROAD  
ELM ROCK AVENUE  
(50' WIDE)



LOT AREA  
20,803.24 S.F.  
0.48 AC.

GUARANTEED TO:  
TITLE NO. TTS45714  
THOROUGHbred TITLE SERVICES, LLC  
RADIAN TITLE INSURANCE INC.  
ASHLEY LAUREN BOROM ROSS AND IAN  
TARGOVNIK ROSS  
TAGUE & VANDEN HEUVEL LLP



**SCALICE**  
land surveying  
mjslandsurvey.com P:631-957-2400

**SURVEY OF PROPERTY**  
LOT P AND P/O LOT 5  
MAP OF  
TANGLEWYLDE PROPERTY  
FILE DATE: 08/01/1914 MAP NO. 2069  
SITUATE  
BRONXVILLE  
TOWN OF EASTCHESTER  
WESTCHESTER COUNTY, NEW YORK

DR.:MC	CREW.:JM	SCALE: 1" = 30'	TAX MAP NO. 17-2-5
DATE SURVEYED: 05/28/2021		JOB No. W21-1691	

(1) UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. (2) ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION. (3) CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP. (4) THE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE. (5) THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS SURVEY. (6) THE OFFSET (OR DIMENSIONS) SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING AREAS, ADDITIONS TO BUILDINGS, AND ANY OTHER TYPE OF CONSTRUCTION. (7) PROPERTY CORNER MONUMENTS WERE NOT SET AS PART OF THIS SURVEY. (8) THIS SURVEY WAS PERFORMED WITH A SPECTRA FOCUS 30 ROBOTIC TOTAL STATION. (9) THE EXISTENCE OF RIGHTS OF WAY AND/OR EASEMENTS OF RECORD IF ANY, NOT SHOWN ARE NOT GUARANTEED. (10) SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.

## **NOTICE OF PUBLIC HEARING FOR ADJOINING PROPERTIES**

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Zoning Board of Appeals of the Village of Bronxville, in the Trustee Chamber/Court Room at 200 Pondfield Road, Bronxville NY on **December, 14 2021** at 6:30 P.M. to consider an application of **Ashley and Ian Ross** for a zoning variance from **Section(s) 310-10 D (2)** at property located at **115 White Plains Road**, Bronxville NY Section **17**; Block **2**; Lot **5**

A copy of the ZBA application, including the proposed plans and all other maps and documents filed therewith, is on file and available for public inspection on any business day prior to the hearing between the hours of 10:00 A.M. and 2:00 P.M. at the office of the Superintendent of Buildings, 2nd floor, Village Hall, Bronxville NY.

The public is invited to attend and will be given reasonable opportunity to present oral or written presentations relevant to the application. The hearing maybe adjourned from time to time at the discretion of the Zoning Board.

**(APPLICANT TO ATTACH A COPY OF ZONING DENIAL TO THIS NOTICE)**

VILLAGE OF BRONXVILLE  
Department of Buildings  
200 Pondfield Road  
(914) 337-7338  
(914) 337-0158 (Fax)

## PLAN REVIEW COMMENTS

**APPLICATION NUMB:** ALT 171-21  
**DATE RECEIVED:** August 31, 2021  
**LOCATION:** 115 White Plains Road  
**SBL:** 17./2/5  
**APPLICANT NAME:** Ross, Ashley & Ian  
**APPLICANT ADDRESS:** 115 White Plains Road  
Bronxville, NY 10708

**DESCRIPTION OF WORK :** Below is a narrative of the proposed scope of work intended for the exterior:  
1. Remove existing driveway at side and rear yard, Remove curb to construct new asphalt corner. Construct two car garage at southeast corner. Install new windows to enclose porch at rear yard.

**DISAPPROVED August 31, 2021, FOR THE FOLLOWING:**

Your revised application for a permit on the above location has been reviewed and a permit may not be issued at this time for the reasons indicated below.

**ZONING CODE REVIEW** (Section Numbers refer to Village Code of 1981)

Zoning Review -

- 1) Proposed work includes a substantial increase in open space 73%, therefore the impervious area is being decreased.
- 2) The proposed new garage will replace the existing garage tying into a new driveway court.
- 3) As per 'Village of Bronxville Municipal Code, section 310-10 D (2)' the side yard setback required is 15' minimum. The proposed side yard setback for the new garage is 8.9'. The variance required for this proposed new garage is 6.1'. Referral to the Village of Bronxville Zoning Board of Appeals is required for an area variance.
- 4) Building Coverage calculations are required to be provided
- 5) FAR Calculations - the calculations don't seem to consider the definitions of the FAR. Please refer to the definitions/ what exceptions are allowed.
- 6) Provide the story above grade worksheet to determine if the basement is considered a story above grade.
- 7) Affidavit of Owner form is required for application to be processed, as well as the application requires a signature. All paperwork is required to be completed.

VILLAGE OF BRONXVILLE  
Department of Buildings  
200 Pondfield Road  
(914) 337-7338  
(914) 337-0158 (Fax)

This document constitutes a final administrative determination by the Building Inspector denying your application for the reasons set forth above. Section 7-712(a) of the New York State Village Law provides that any appeal of this decision must be filed within 60 days of the date hereof with the Zoning Board of Appeals of the Village of Bronxville.

**APPLICATION REVIEW to be completed upon Zoning Board of Appeals Approval**

**PLAN REVIEW to be completed upon Zoning Board of Appeals Approval**

  
\_\_\_\_\_  
Paul Taft  
Building Inspector

CC: Ross, Ashley & Ian

# AFFIDAVIT OF MAILING FOR ZONING AND PLANNING BOARD

Name and Location of Project:

115 WHITE PLAINS ROAD

BRONXVILLE NY

Section 17, Block 2, Lot(s) 5

State of New York }

County of Westchester } ss:

I, CHARLES ANDERSON KENNY, being duly sworn, depose and say as follows:

1. I am the agent, owner or legal representative of the referenced property.
2. I have prepared a list of property owners located within 100 feet for Zoning and 400' for Planning of the boundaries for of the referenced property, by street address and section, block and lot.
3. I have sent, by certificate of mailing, a copy of the legal notice to each and every property owner within 100 feet of the boundaries of the referenced property.
4. I have published the legal notice in a newspaper of general circulation in the Town of Eastchester on NOVEMBER 29, 2021, no less than 10 days prior to a Planning Board or Zoning Board of Appeals meeting.
5. I have attached the affidavit of publication from the publisher of the newspaper.
6. I understand that I must bring this signed and notarized Affidavit of Publication, along with the certificate of mailing receipts, to the Planning and Zoning Office one week prior to the meeting.

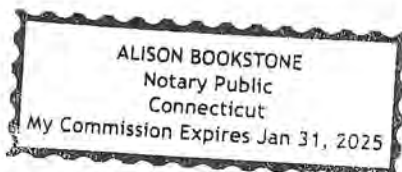
CHARLES ANDERSON KENNY

(print name)

Charles Anderson Kenny

(signature)

Sworn to me this 30 day of November, 2021





7020 3160 0002 2841 4608

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 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58  
\$  
Total Postage and Fees \$4.33

0830  
58

Postmark  
Here

11/30/2021

Sent To  
JENKINS DONALD  
Street and Apt. No., or PO Box No.  
18 GREENFIELD AVE  
City, State, ZIP+4®  
BRONXVILLE NY 10708

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Postage \$0.58  
\$  
Total Postage and Fees \$4.33

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11/30/2021

Sent To  
DOUKAS KONSTANTINOS  
Street and Apt. No., or PO Box No.  
17 GREENFIELD AVE  
City, State, ZIP+4®  
BRONXVILLE NY 10708

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 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58  
\$  
Total Postage and Fees \$4.33

0830  
58

Postmark  
Here

11/30/2021

Sent To  
VERMETTE PETER  
Street and Apt. No., or PO Box No.  
119 WHITE PLAINS ROAD  
City, State, ZIP+4®  
BRONXVILLE NY 10708

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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\$  
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 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58  
\$  
Total Postage and Fees \$4.33

0830  
58

Postmark  
Here

11/30/2021

Sent To  
S: A MAXEINER  
Street and Apt. No., or PO Box No.  
111 WHITE PLAINS ROAD  
City, State, ZIP+4®  
BRONXVILLE NY 10708

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58  
\$  
Total Postage and Fees \$4.33

0830  
58

Postmark  
Here

11/30/2021

Sent To  
LIANA WORTEL  
Street and Apt. No., or PO Box No.  
6 GREENFIELD AVE  
City, State, ZIP+4®  
BRONXVILLE NY 10708

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



## PHOTO AT EXISTING FRONT YARD



NEIGHBOR'S DRIVEWAY



NEIGHBOR'S DRIVEWAY

115 WHITE PLAIN RD. DRIVEWAY

## EXISTING DRIVEWAY ENTRANCE



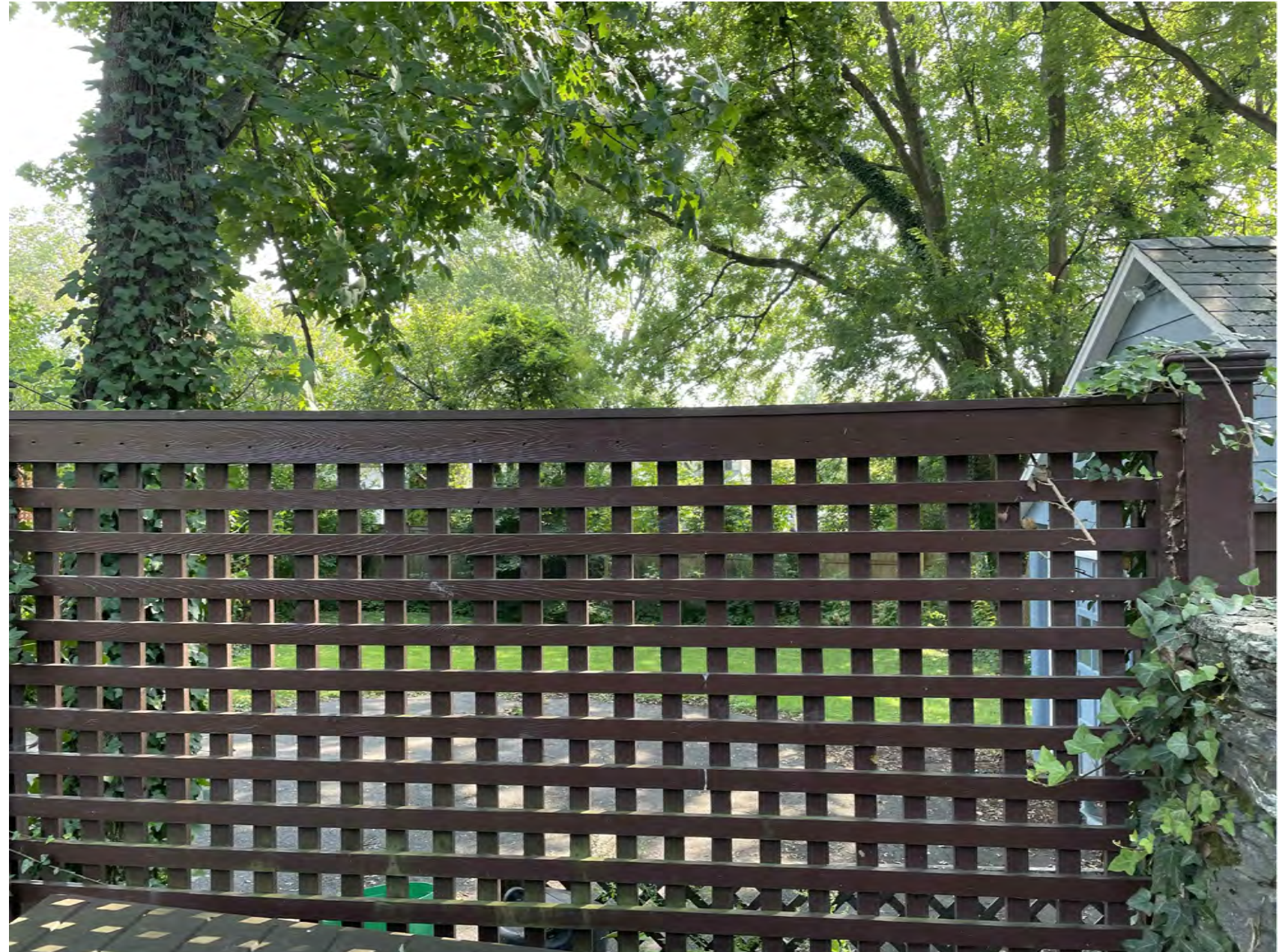
## EXISTING DRIVEWAY



## AREA OF PROPOSED GARAGE



PHOTO AT SOUTH EAST CORNER OF EXIST. HOUSE



## FENCE AT ALONG NEIGHBORS DRIVEWAY



## VIEW SOUTH TO NEIGHBOR

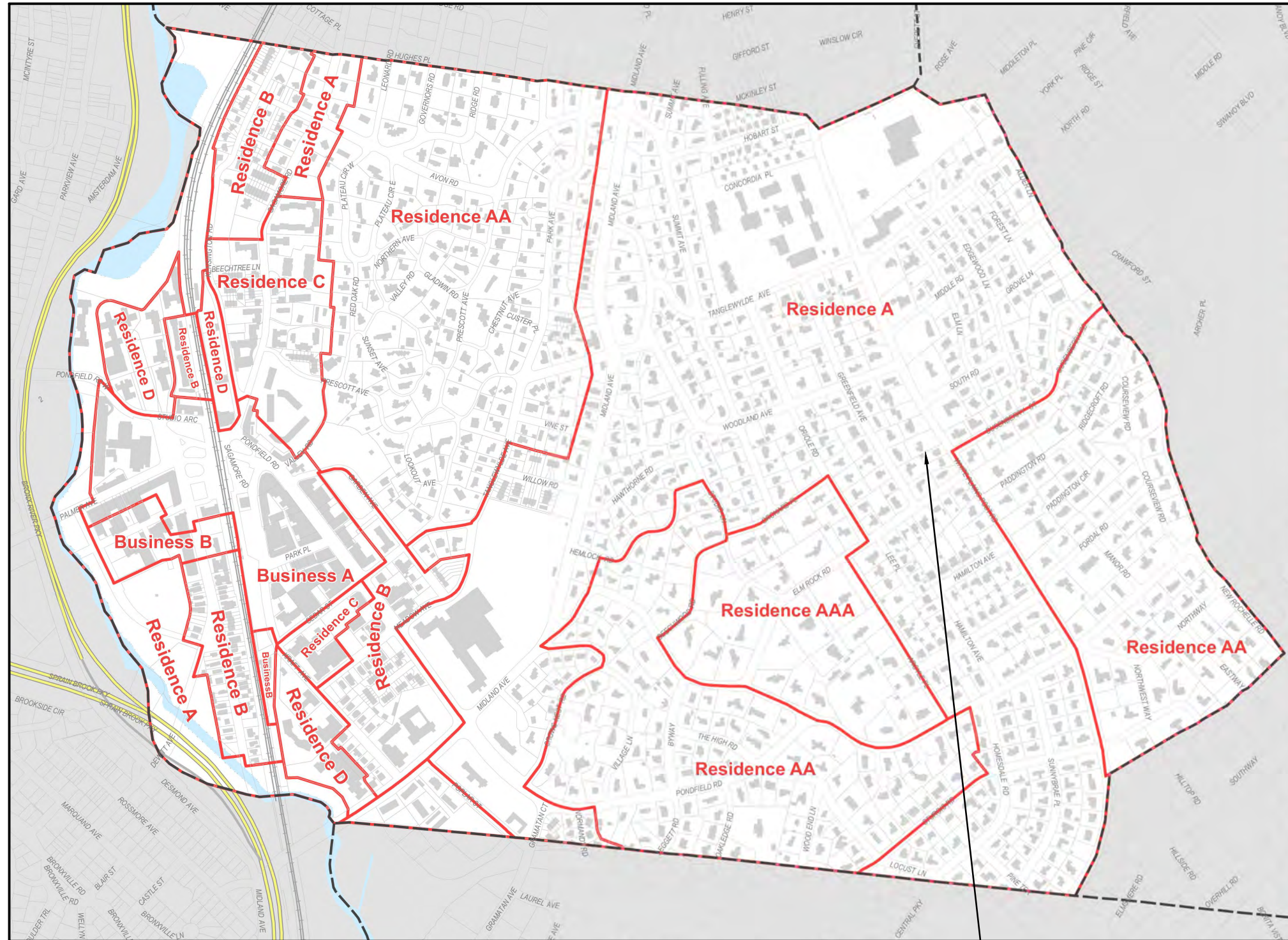




## REAR PATIO



## FENCE AT REAR PATIO

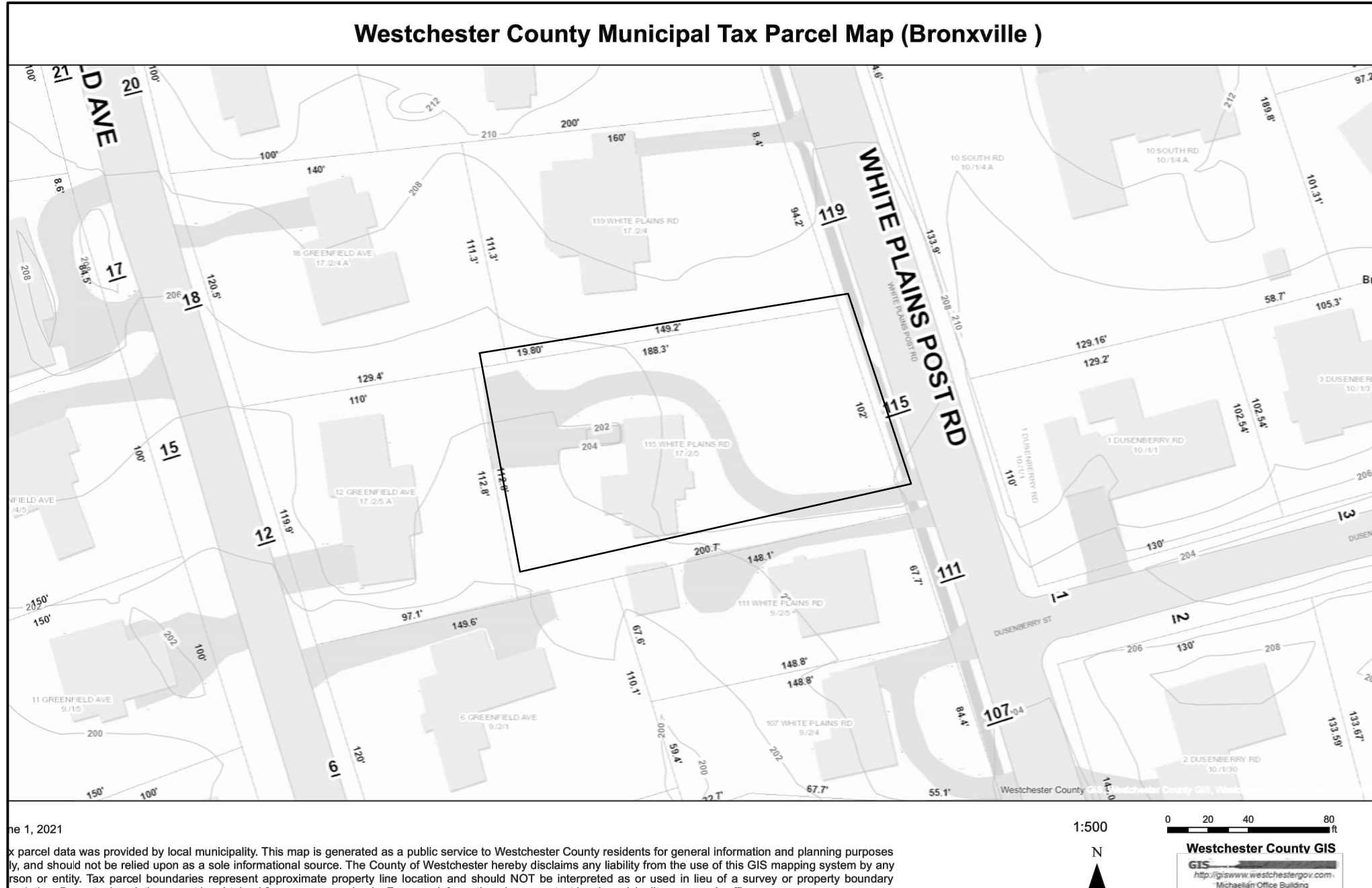


**LOCATION PLAN**

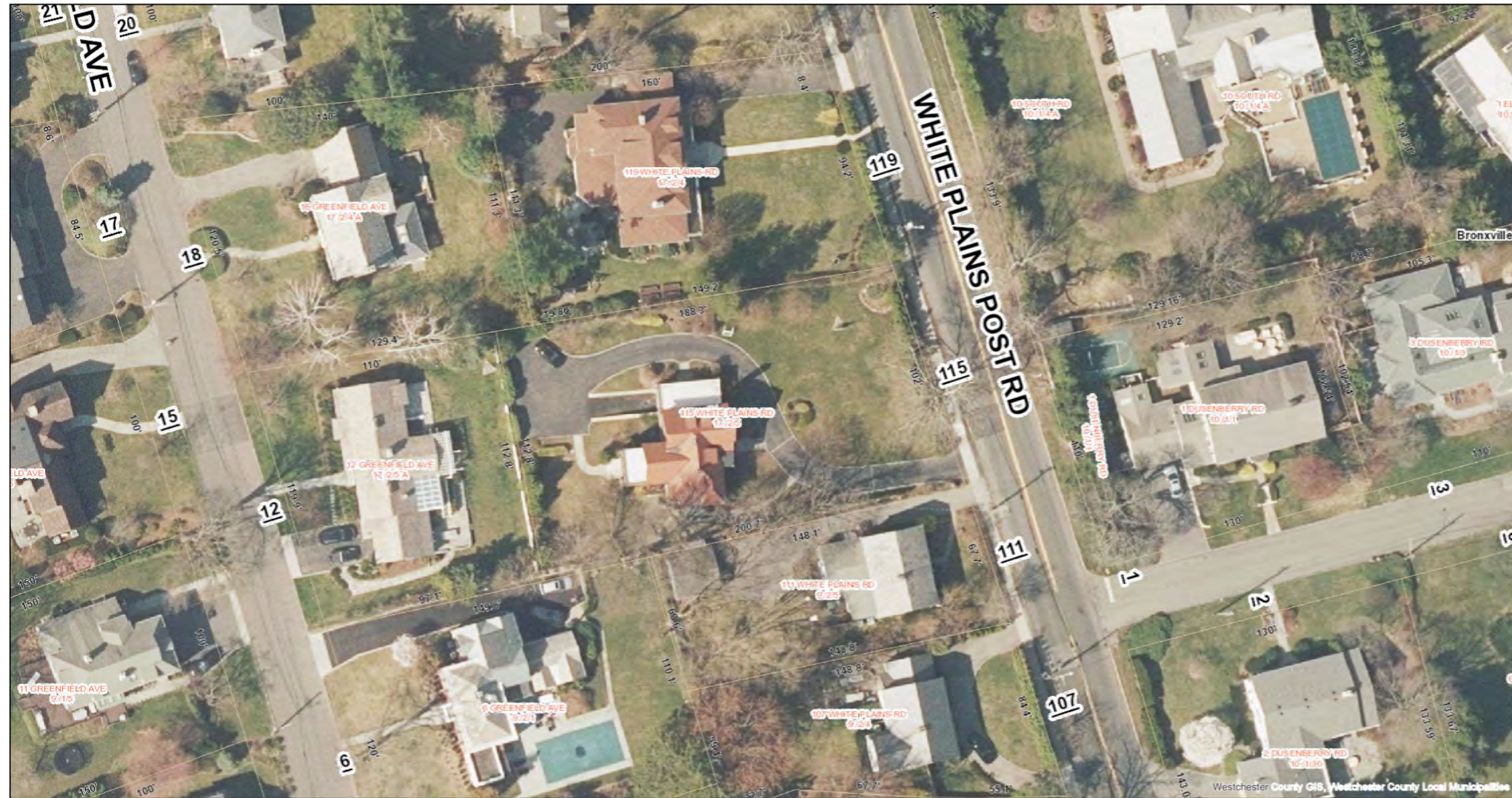


115 WHITE PLAINS ROAD

### Westchester County Municipal Tax Parcel Map (Bronxville )



### Westchester County Municipal Tax Parcel Map (Bronxville)



June 1, 2021

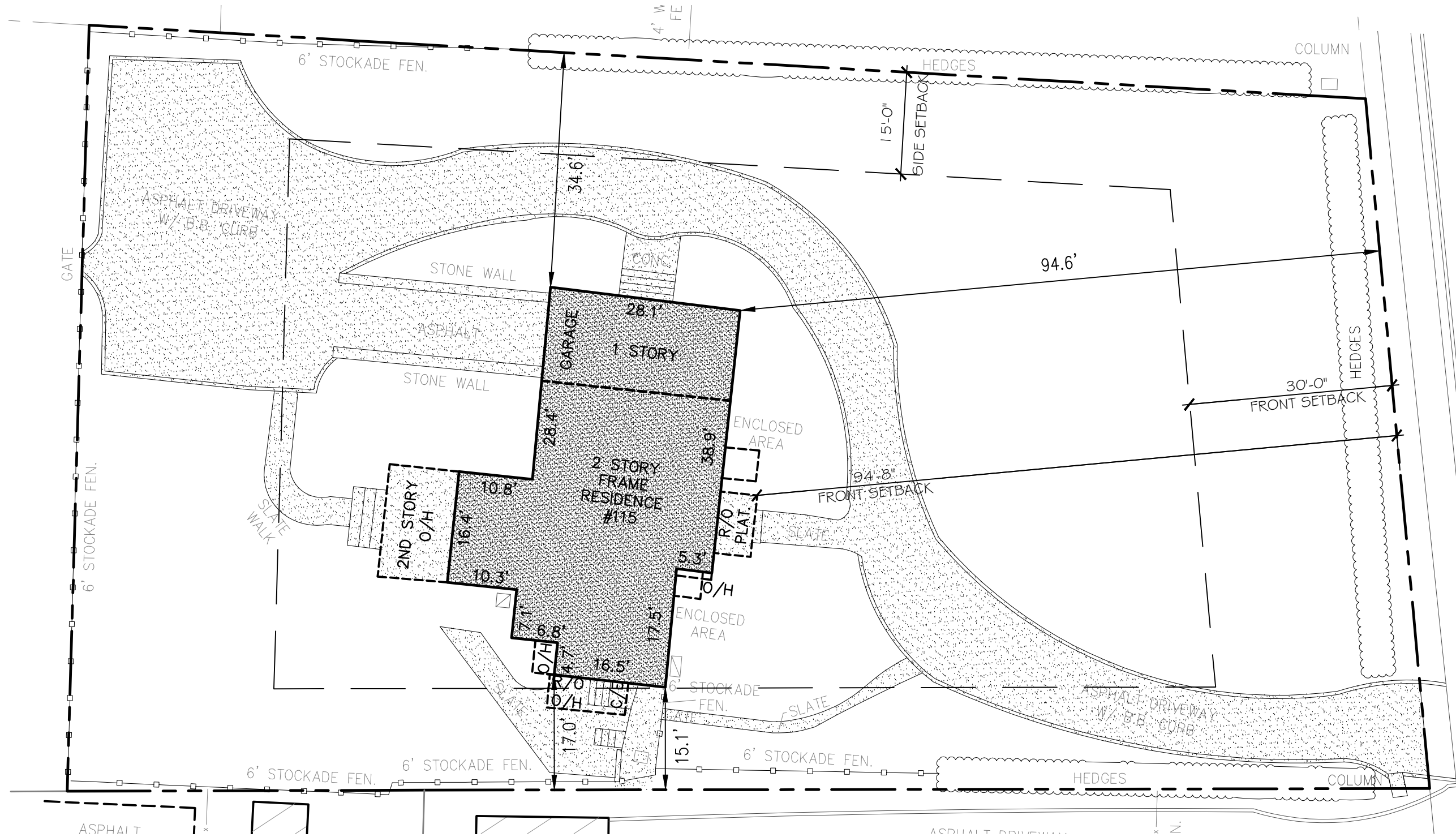
Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:500

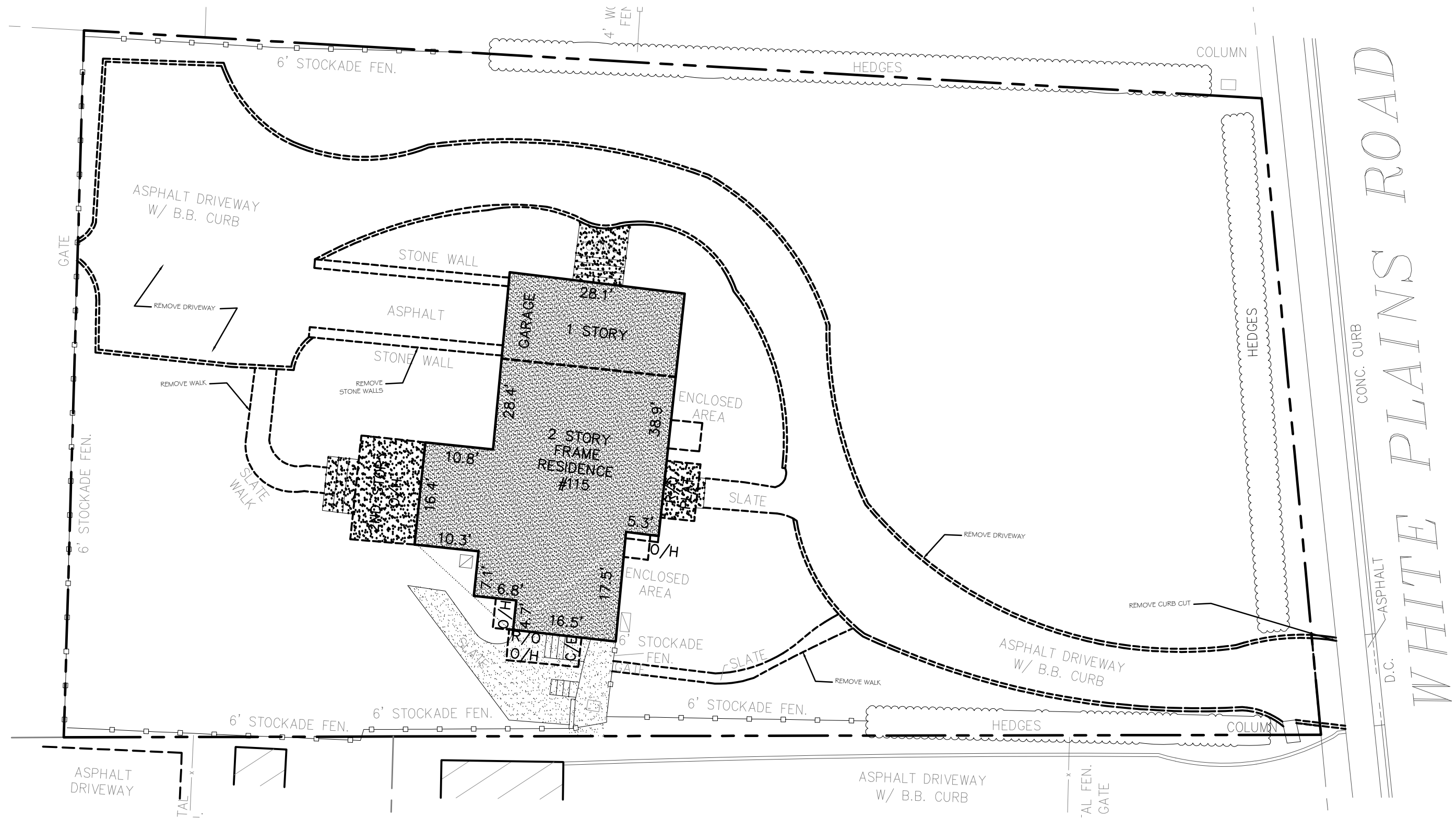


Westchester County GIS

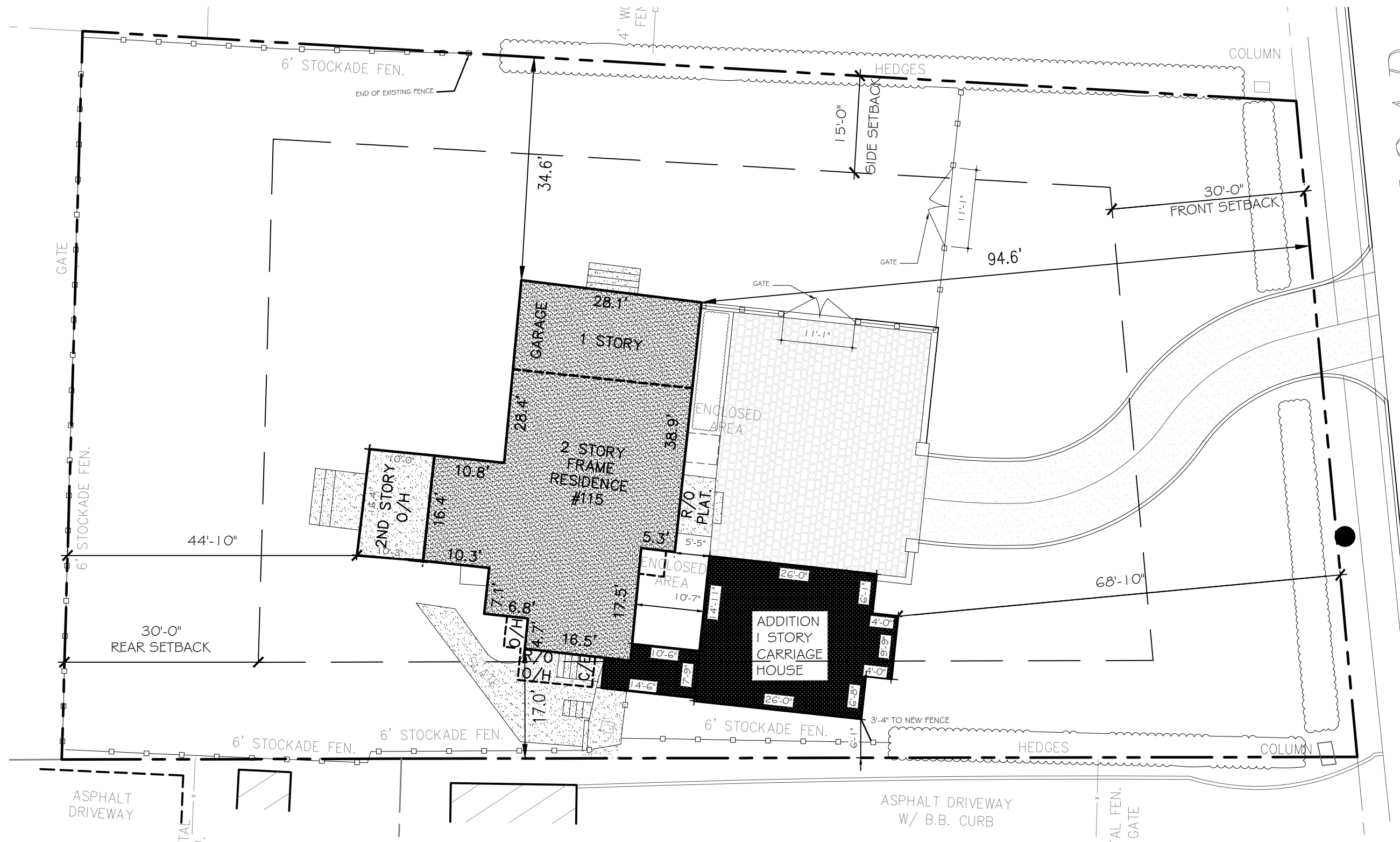
<http://giswww.westchestergov.com>  
Michaela's Office Building  
148 Martine Avenue Rm 214  
White Plains, New York 10601



# EXISTING CONDITIONS



# SITE REMOVALS PLAN

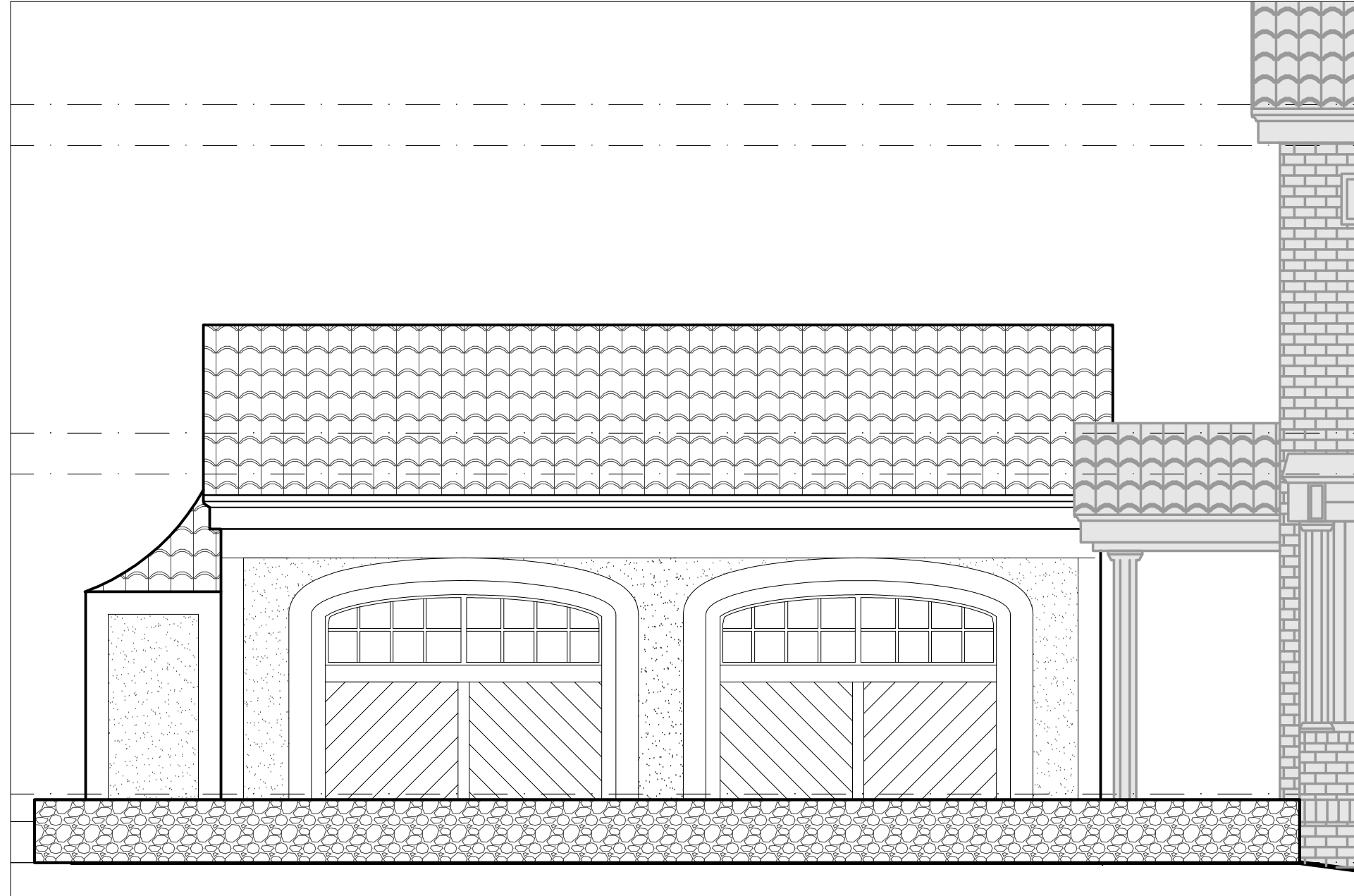


# SITE DEVELOPMENT PLAN

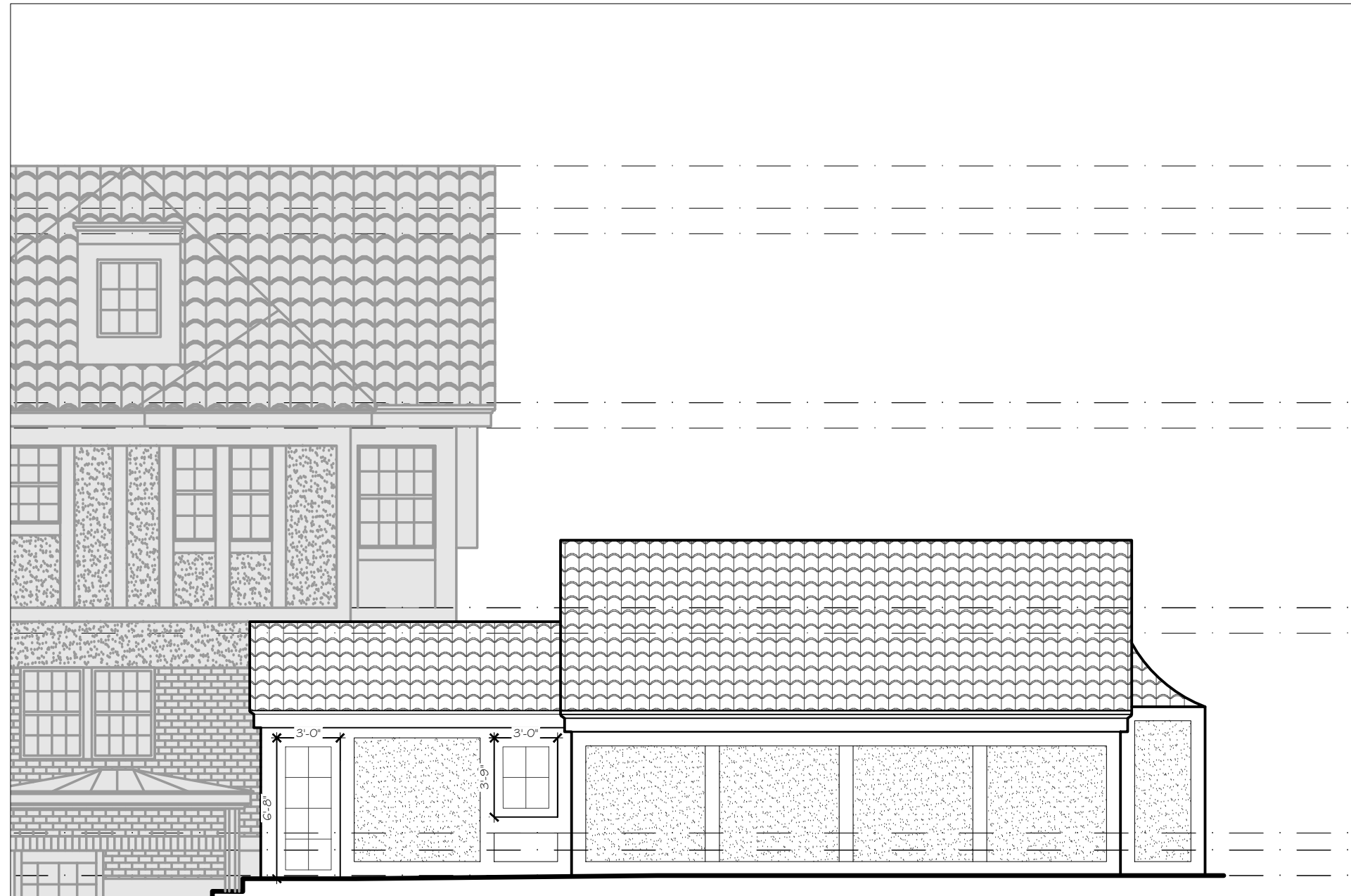




## EXTERIOR ELEVATION - EAST / FRONT



# EXTERIOR ELEVATION - NORTH / SIDE YARD 1



## EXTERIOR ELEVATION - SOUTH / SIDE YARD 2

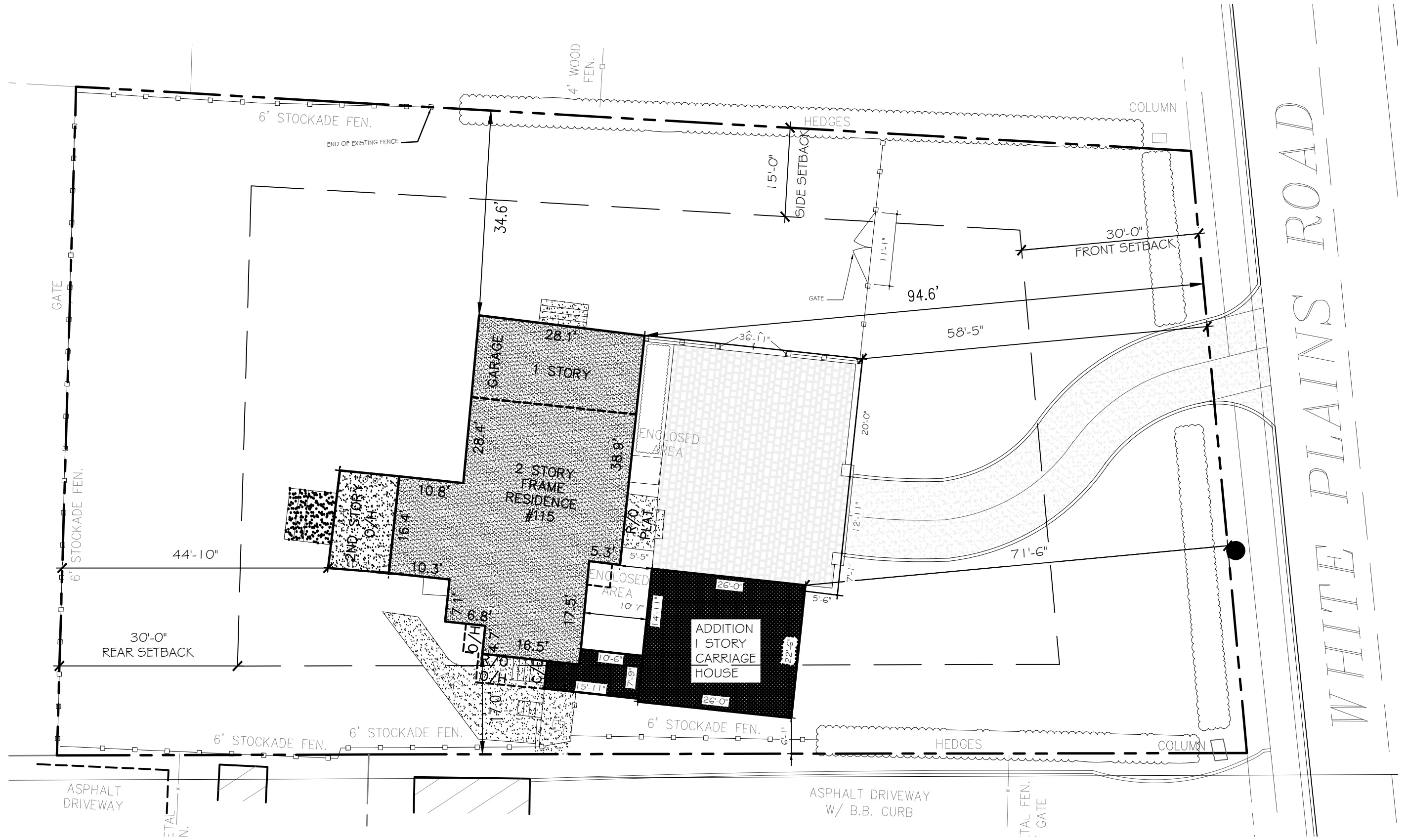
### Zoning Compliance Worksheet – District ‘A’

<b>Bronxville District 'A'</b>	District	Height	Stories	Lot Area	Lot Width	Lot Depth	Front Yard	Alt. Front Yard	Side Yard with Garage	Side Yard without Garage	Side Yard corner lot with garage	Side Yard Corner Lot w/o garage	Side Yard Alternative	Rear Yard	Fence > than 6-1/2'	Paved terraces, steps, and walks	ACC Building	Max Building coverage	Off street parking	FAR	Open space
<b>Bronxville District 'A' Description of Bulk Requirements</b>	A	30' Mean Height	2-1/2	12000 SF	80'	100'	30'	a) angle of building b) average of homes within 300'	15'	15'/27' min side yard/ second side min.	30'/15' opposite principal front/ opposite second front	30'/27'	Lesser side yard reduced by 5'	30'	same as a building	15' street line, 4' property line	no nearer to to the street	22.5%	Not less than 1 spaces	Complete FAR Chart	55% Open Space; 45 Impervious Area-Complete Chart
<b>310-10 Code Section- <a href="https://ecode360.com/9450363">https://ecode360.com/9450363</a></b>	310-10 A	310-10 B	310-10 B	310-10 C	310-10 C	310-10 C	310-10 D(1)	310-10 D(1)	310-10 D(2)	310-10 D(2)	310-10 D(2)	310-10 D(2)	310-10 D(2)	310-10 D(3)	310-10 D(4)	310-10 D(4)	310-10 D(5)	310-10 E	310-10 F	310-10 G: 310-22 E	310-10 H
<b>Property Address:</b>	115 WHITE PLAINS ROAD																				
<b>Allowed</b>	A	30'	2.50	12,000	80'	100'	30'		15'	15'27'	30'/15'	30'/27'		30'		15'/4'		22.5%	1	.270	55%
<b>Existing</b>		30	2.50	20,803.24	102.00	149.15	94.6		34.6	15.1	N/A	N/A		44.8		94.67'		10%	1	0.172	69%
<b>Proposed</b>							68.83		6.1	34.6						58.5'		15%	2	.022	72 %
<b>Variance required = (proposed - allowed)</b>									8.9											increase 5% but still below allowed FAR	





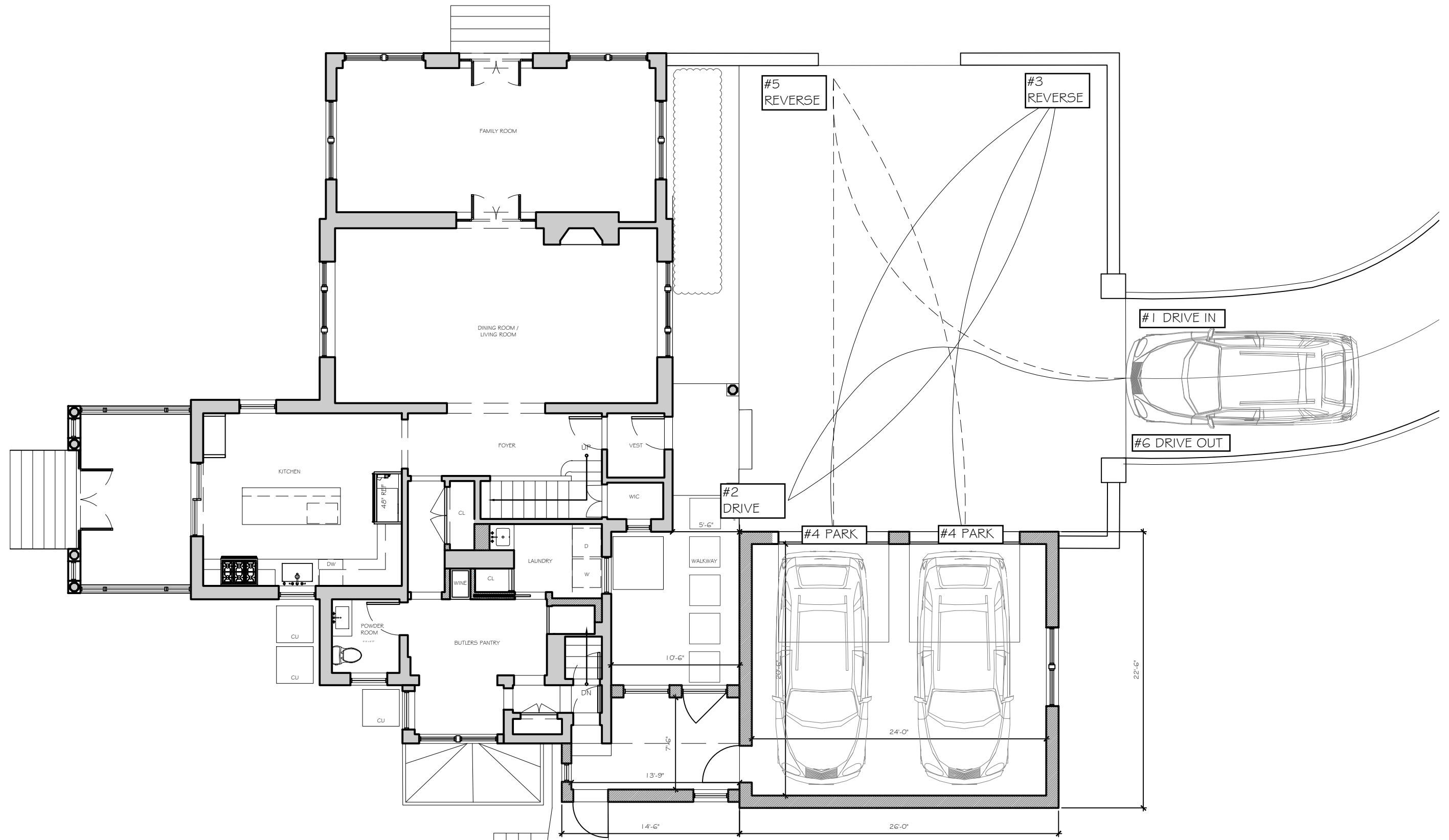




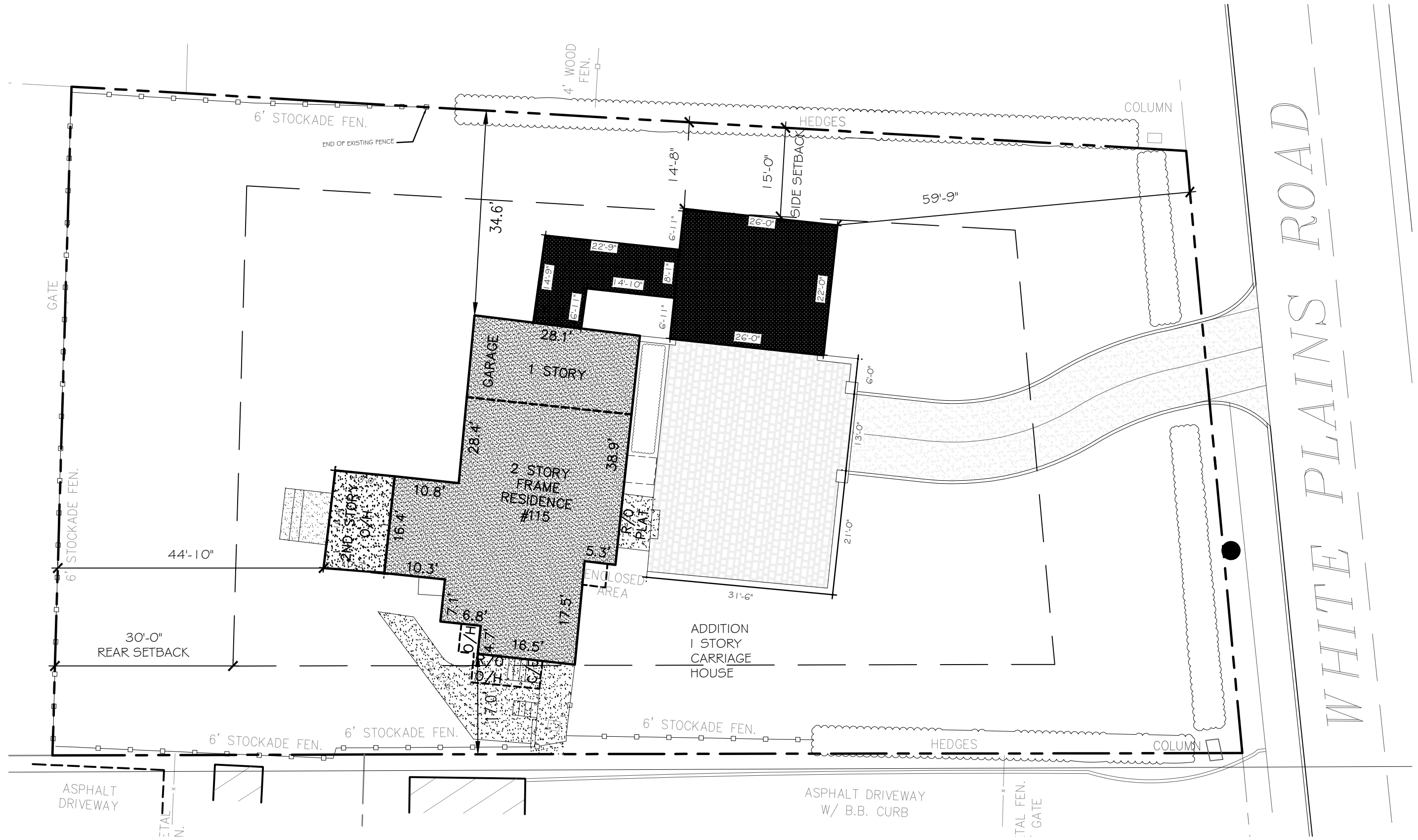
WHITE PLAINS ROAD

# ALTERNATIVE OPTION 1



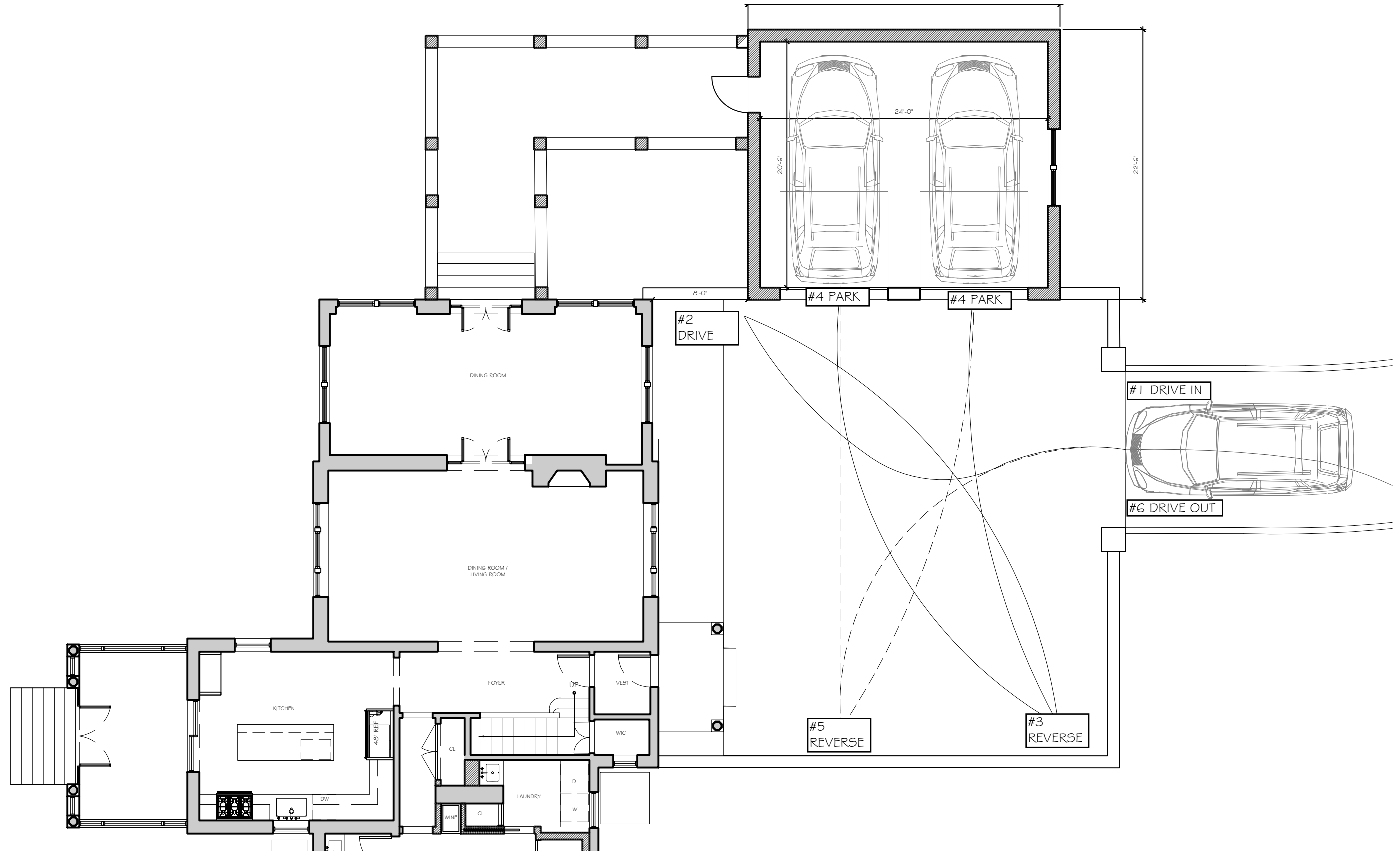


# ALTERNATIVE OPTION 1 - PARKING DIAGRAM

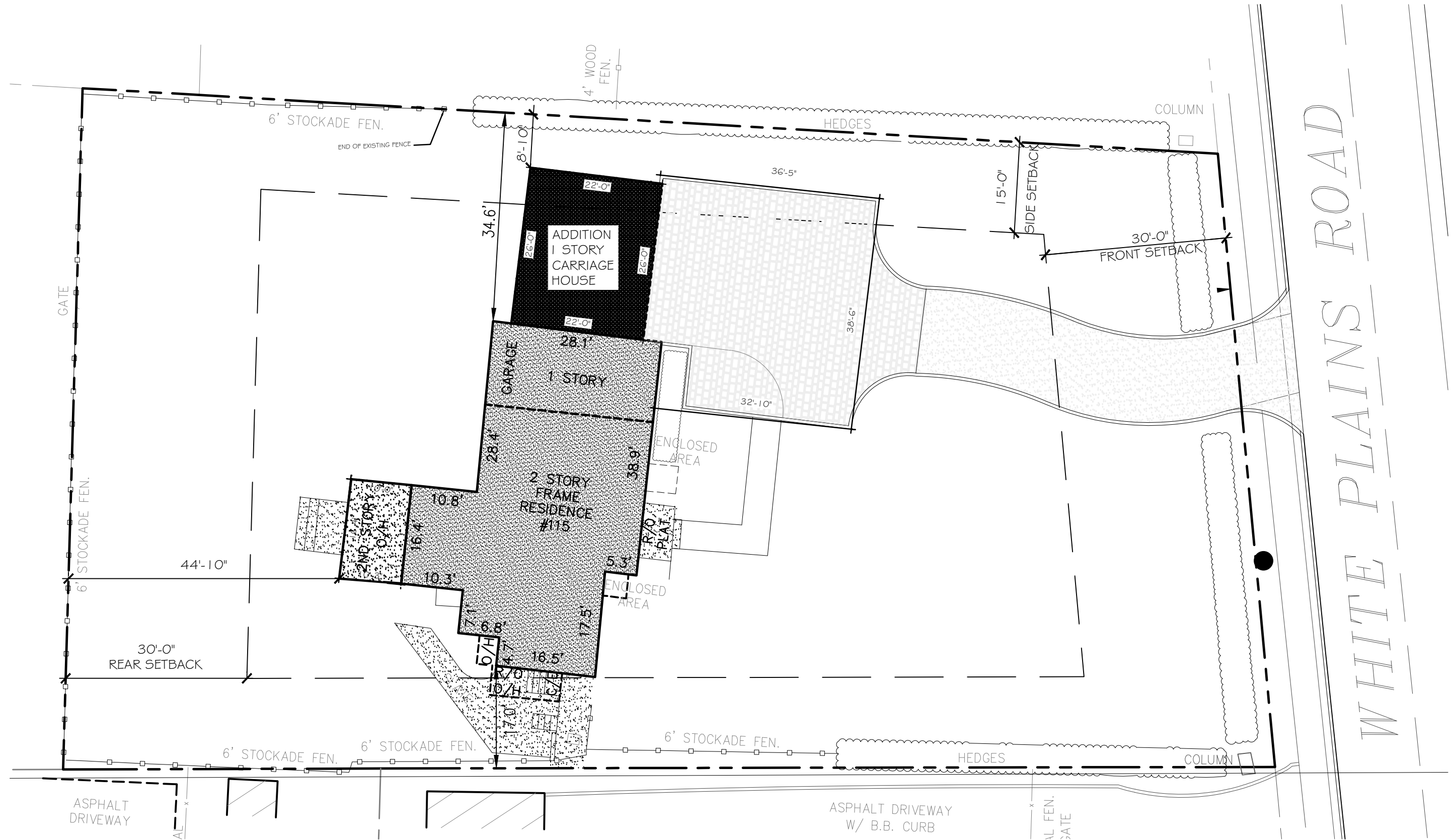


WHITE PLAINS ROAD

# ALTERNATIVE OPTION 2

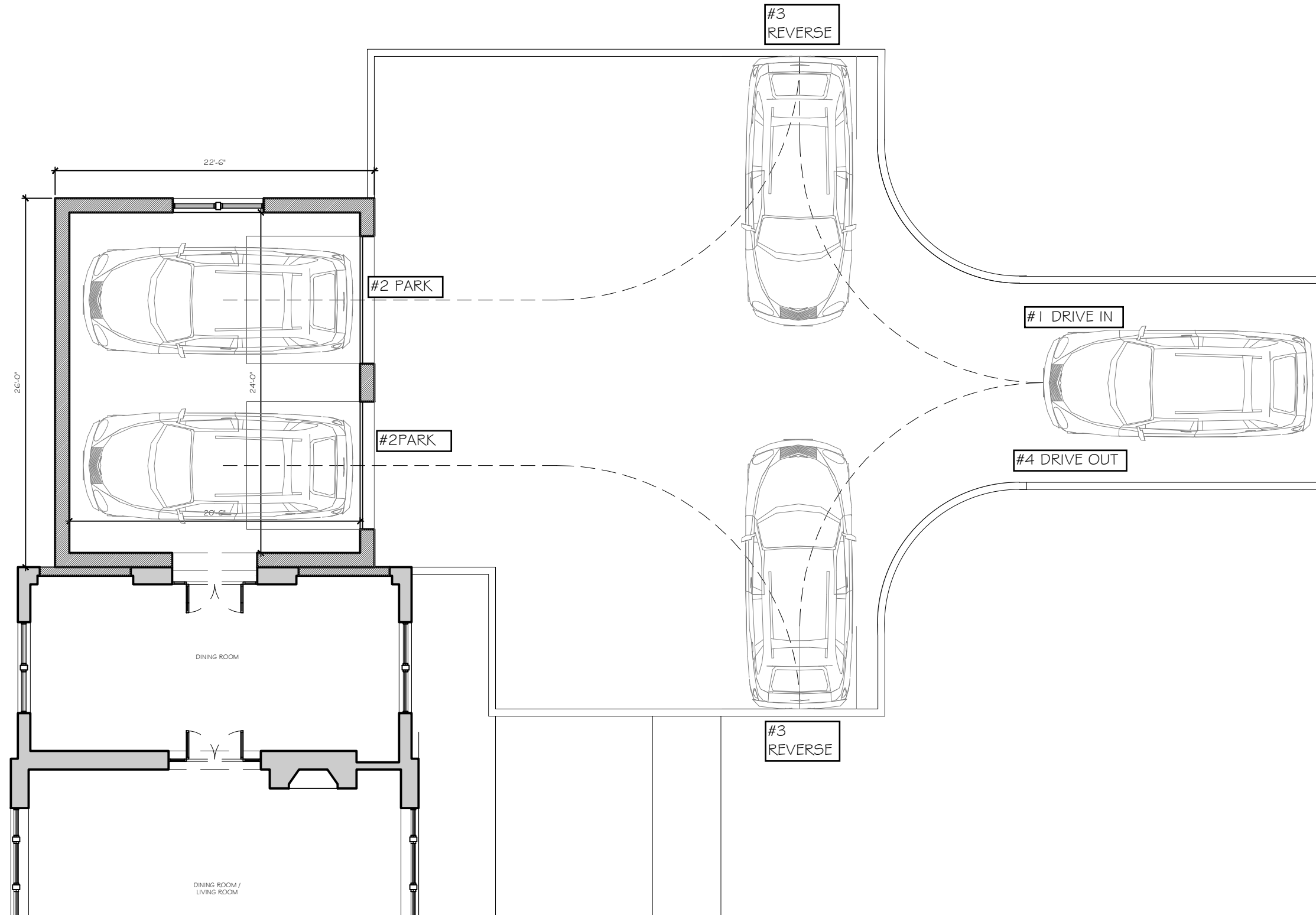


## ALTERNATIVE OPTION 2 - PARKING DIAGRAM

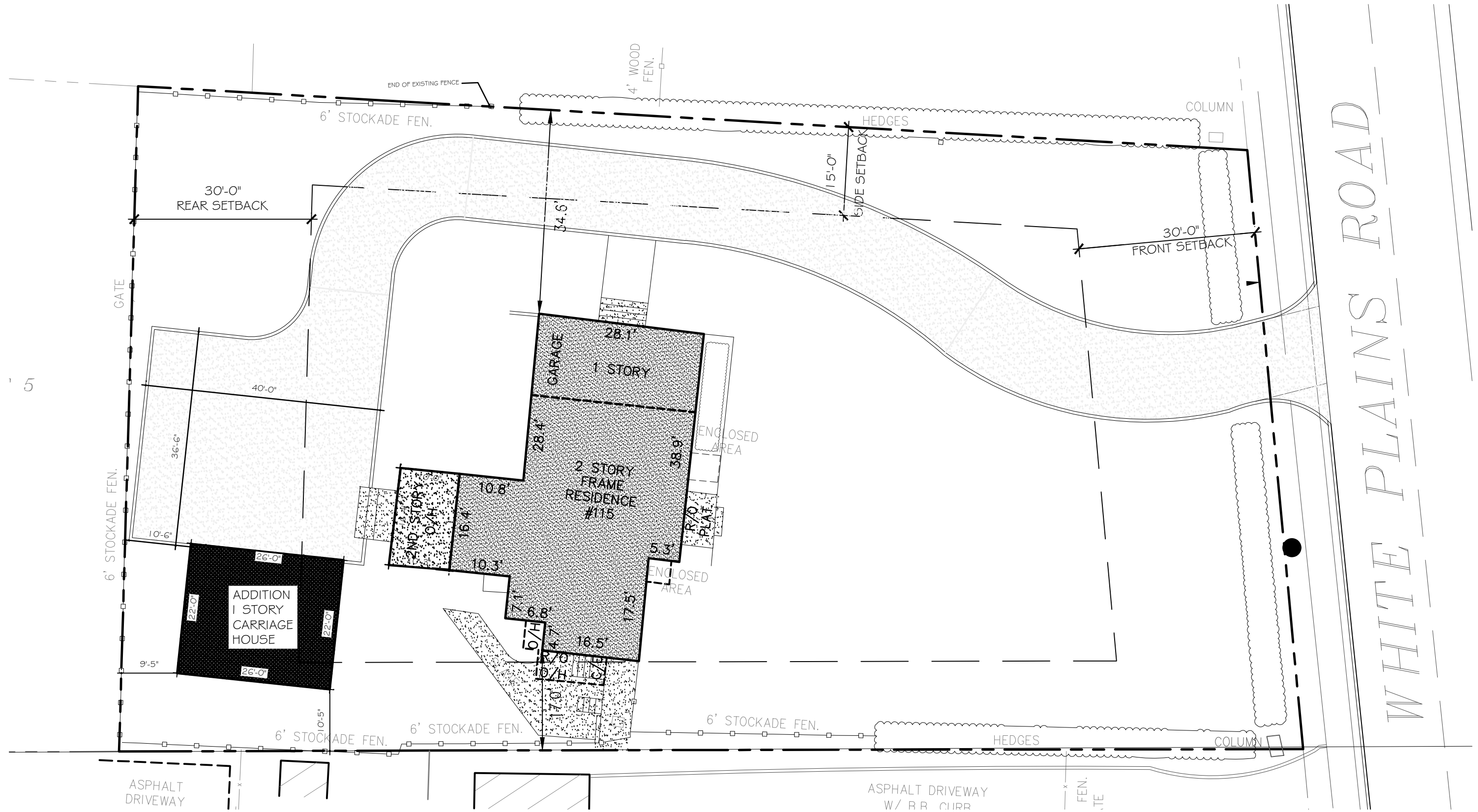


WHITE PLAINS ROAD

### ALTERNATIVE OPTION 3



## ALTERNATIVE OPTION 3 - PARKING DIAGRAM



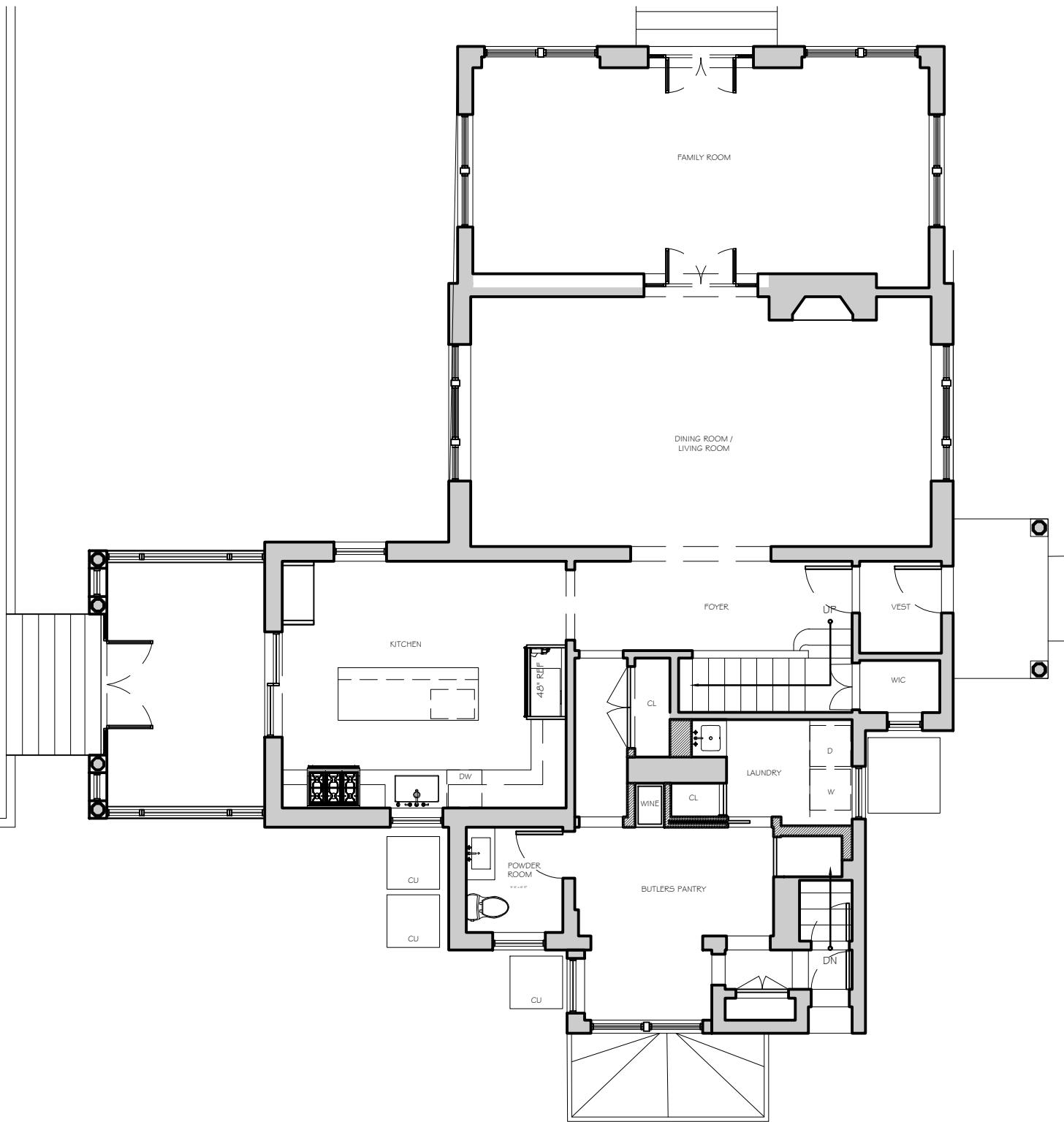
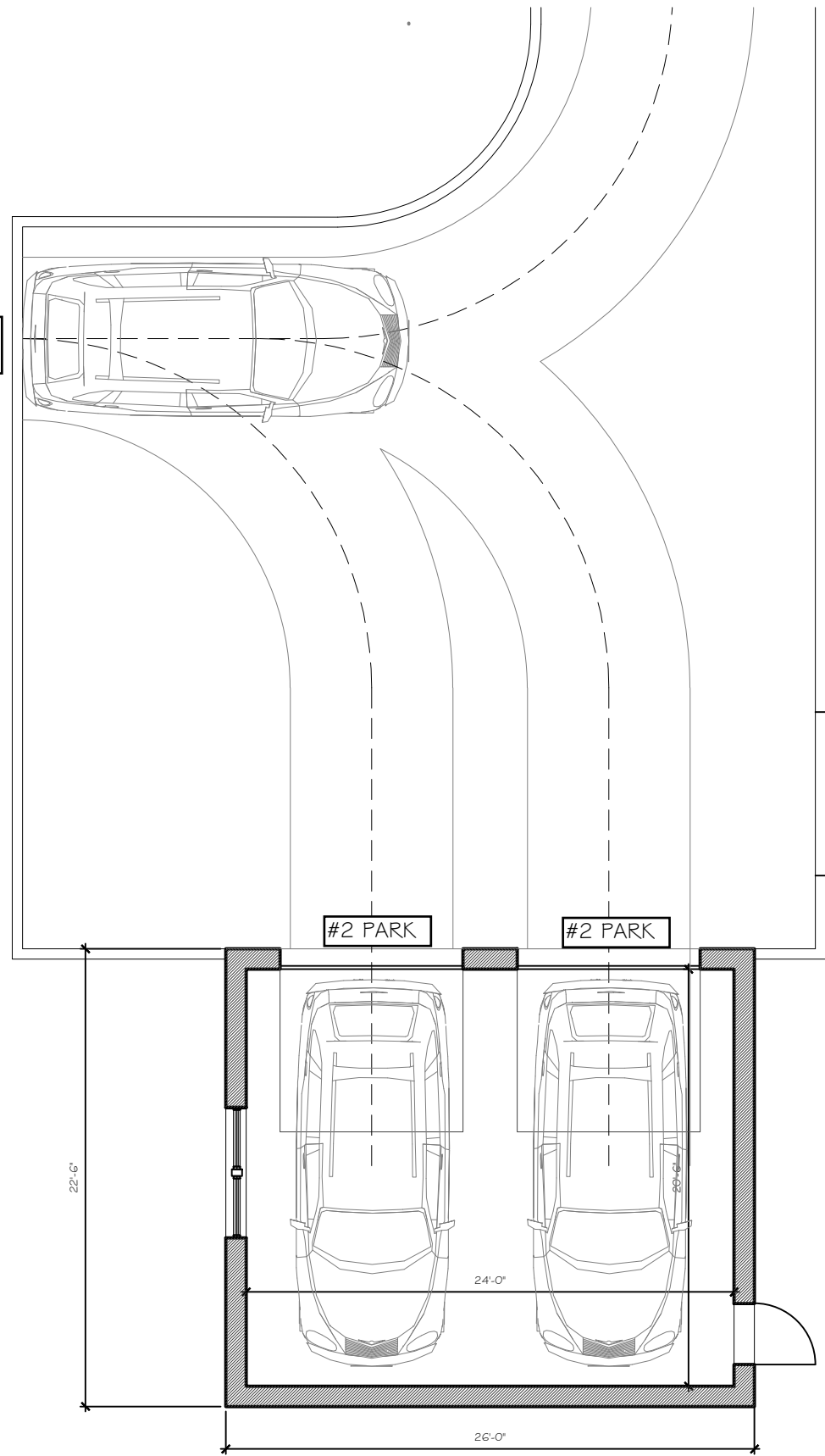
WHITE PLAINS ROAD

# ALTERNATIVE OPTION 4

#1 DRIVE IN #4 DRIVE OUT

ANDERSON KENNY AIA ARCHITECTURE PLLC

#3 REVERSE



# ALTERNATIVE OPTION 4 - PARKING DIAGRAM