

100 PONDFIELD ROAD BRONXVILLE, NEW YORK

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NO.	REVISION	DATE	BY
-	ISSUED FOR REVIEW	06/02/14	-
-	REV PER FIRE DEPT. COMMENTS	03/25/14	-
-	ISSUED FOR REVIEW, REV PER COMMENTS	02/27/14	-
-	ISSUED FOR REVIEW	02/26/14	-

TPGArchitecture

TPG ARCHITECTURE, LLP
31 PENN PLAZA
132 WEST 31ST STREET, 5TH FLOOR, NEW YORK, NY 10001
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PROJECT
100 PONDFIELD ROAD

100 PONDFIELD ROAD
BRONXVILLE, NY

DRAWING
COVER SHEET

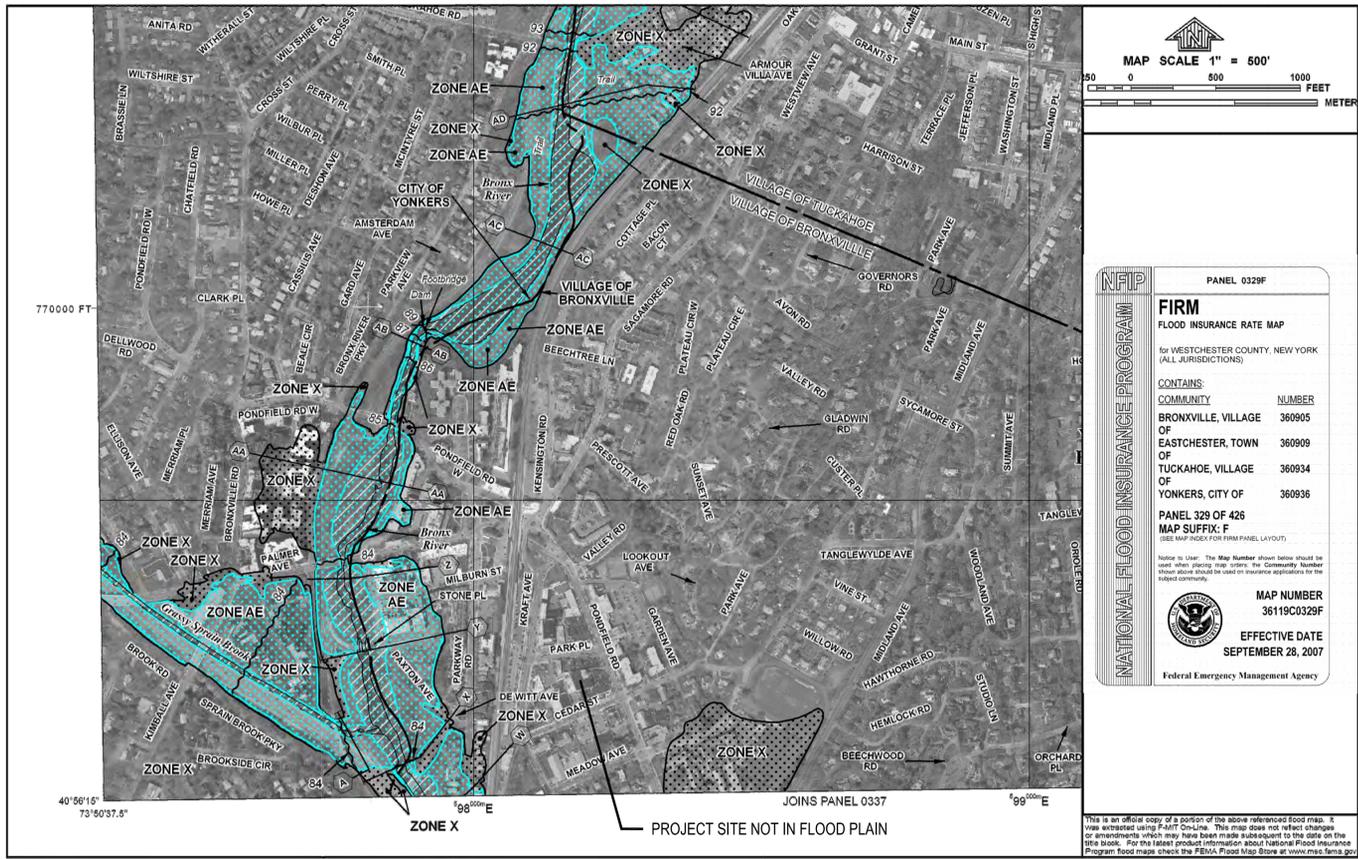
SEAL	DATE	-
	PROJECT NO.	1513871-00
	SCALE	NA
	DWG NO.	A-000
	CAD FILE NO.	
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Preliminary Zoning Overview
100 Pondfield Road, Bronxville, NY
 Tax Lot 11, Block 3, Section 4, Village of Bronxville, Town of Eastchester, Westchester County, NY
 Zoning: BA (Business-A Central Business)
 Minimum Lot Size: None
 Uses: Retail, service establishment, professional and business office, restaurant, dry cleaner counter service, dwelling unit

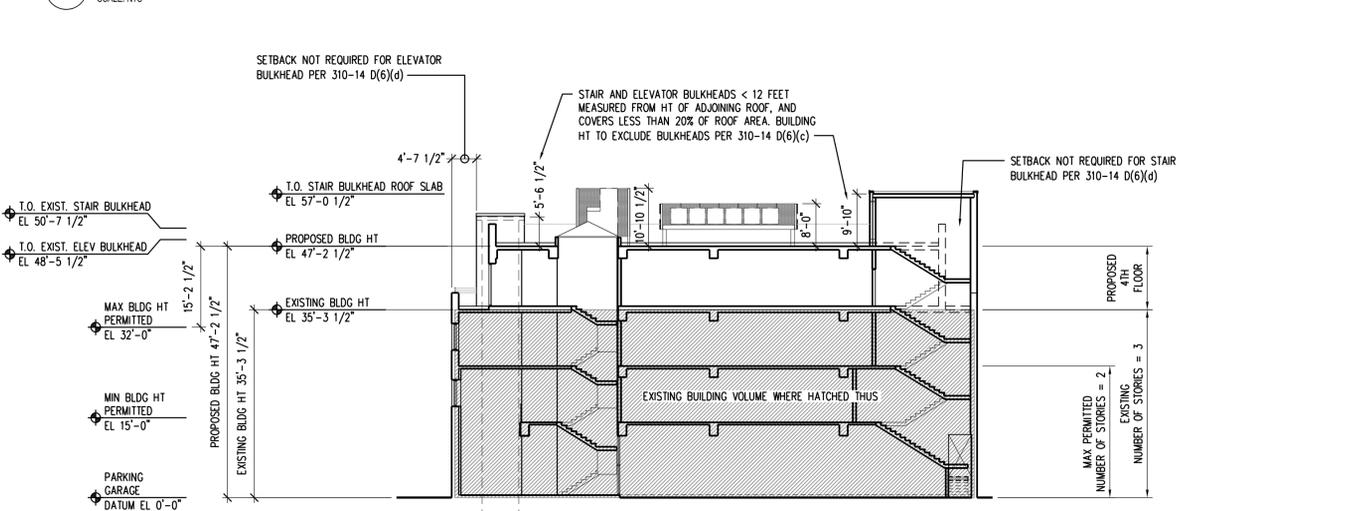
TOPIC	PERMITTED	EXISTING BUILDING	PROPOSED	REFERENCE
15'(+/-) access/egress easement provided on adjacent Lot 9 for access/egress from/to Pondfield Rd				
Total Site Area	11,844 SF	11,414 SF (96% - Complies)	11,414 SF (96% - Complies)	
Lot Coverage :	100%	11,844 SF	11,414 SF (96% - Complies)	
Street Frontage :	35 ft	None	No Change	310-14 D(4)
1Flr Area:		11,414 SF	3,247 SF (excludes 8,167 SF of Parking Area)	
2Flr Area:		11,414 SF	11,414 SF	
3Flr Area:		11,414 SF	11,414 SF	
4Flr Area:		N.A.	7,779 SF	
Total Area		34,242 SF	33,854 SF (excluding Parking Area) 42,021 SF (including Parking Area)	
Front Yard	Not Required	East Yard ranges from +/-0.5' to +/-0.75' (Does not Comply)		310-14 D(5)
Rear Yard	Not Required (6'-0" Min. if provided)	West Yard ranges from +/-1.3' to +/-1.5' (Does not Comply)	No Change	310-14 D(5)
Side Yard	Not Required (6'-0" Min. if provided)	North Yard ranges from +/-1.3' to +/-0.70' (Complies) South Yard +/- 1.1' (Does not Comply)		310-14 D(5)
Number of residential units		N.A.	(2) One-Bedrooms (9) Two-Bedrooms	

Max SF/residential unit	2000 SF	N.A.	Apt-2A: 2106 SF Apt-2B: 1920 SF Apt-2C: 2074 SF Apt-2D: 2054 SF Apt-3A: 2467 SF Apt-3B: 1827 SF Apt-3C: 2322 SF Apt-3D: 2075 SF Apt-3E: 1998 SF Apt-4A: 2248 SF Apt-4B: 2658 SF Apt-2A, 2C, 2D, 3A, 3C, 3D, 4A, 4B (Do not comply) Average Apt Unit size = 2159 SF	310-14 A(8)(b)
FAR	1.00	Permitted Floor Area = 11,844 SF	33,854 SF/11,844 SF = 2.86 SF (Does not Comply) (excludes 8,167 SF of Parking Area)	310-14 D(3)
Building Height	32'-0" Max 15'-0" Min		80'-7 1/2" to T.O. stair bulkhead (Does not Comply) 47'-2 1/2" (Does not Comply)	310-14 D(6)(a)
Max. number of stories	2		3 (Does not Comply) 4 (Does not Comply)	310-14 D(6)(a)
Usable Open Space	N.A. in Zoning District BA	N.A.	N.A.	

Parking Requirements	Private parking accessory to principle permitted use on 1Flr (1) parking space per studio, (2) parking spaces for all other dwelling types (11) One and Two-Bedroom units requires 22 parking spaces	N.A.	22 spaces provided (Complies)	310-14 B(1) 310-14 E(6)(e)
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1 FEMA MAP
SCALE: NTS



2 BUILDING HT AND PENTHOUSE SETBACK ANALYSIS
SCALE: 1/16" = 1'-0"

- LIST OF REQUIRED ZONING VARIANCES:**
- MAX SF PER APARTMENT UNIT LIMITATION EXCEEDED BY 8 UNITS, RANGING FROM 2011 SF TO 2658 SF.
 - EXISTING BUILDING FAR OF 2.89 EXCEEDS PERMITTED FAR OF 1.0. PROPOSED BUILDING FAR TO BE 2.86 (EXCLUDING AREA OF PARKING AREA).
 - EXISTING BUILDING HEIGHT OF 35'-3 1/2" EXCEEDS PERMITTED MAX BUILDING HEIGHT OF 32'-0". PROPOSED BUILDING HEIGHT TO BE INCREASED TO 47'-2 1/2". SEE 2/Z001.
 - EXISTING 3 STORY BUILDING EXCEEDS MAX PERMITTED 2 STORIES. PROPOSED BUILDING TO ADD A 4TH FLOOR TO THE EXISTING 3 STORY BUILDING. SEE 2/Z001.

- LIST OF REQUIRED WAIVERS:**
- EXISTING COLUMN SPACING RESULTS IN 4 PARKING SPACES WITH WIDTH LESS THAN REQUIRED 8'-6" (SPACES 8 AND 7 IS 8'-2 1/2" WIDE, SPACES 18 AND 19 IS 8'-4" WIDE). SEE 1/A101.
 - HANDICAP PARKING ACCESS ISLE IS 8'-4" WIDE AT THE ACCESSIBLE END AND TAPERS TO 5'-10 1/2" AT THE NON-ACCESSIBLE END. STATE REQUIREMENT REQUIRES HANDICAP PARKING ACCESS ISLE TO BE 8'-0" WIDE (SECTION 1106.1.1). SEE 1/A101.

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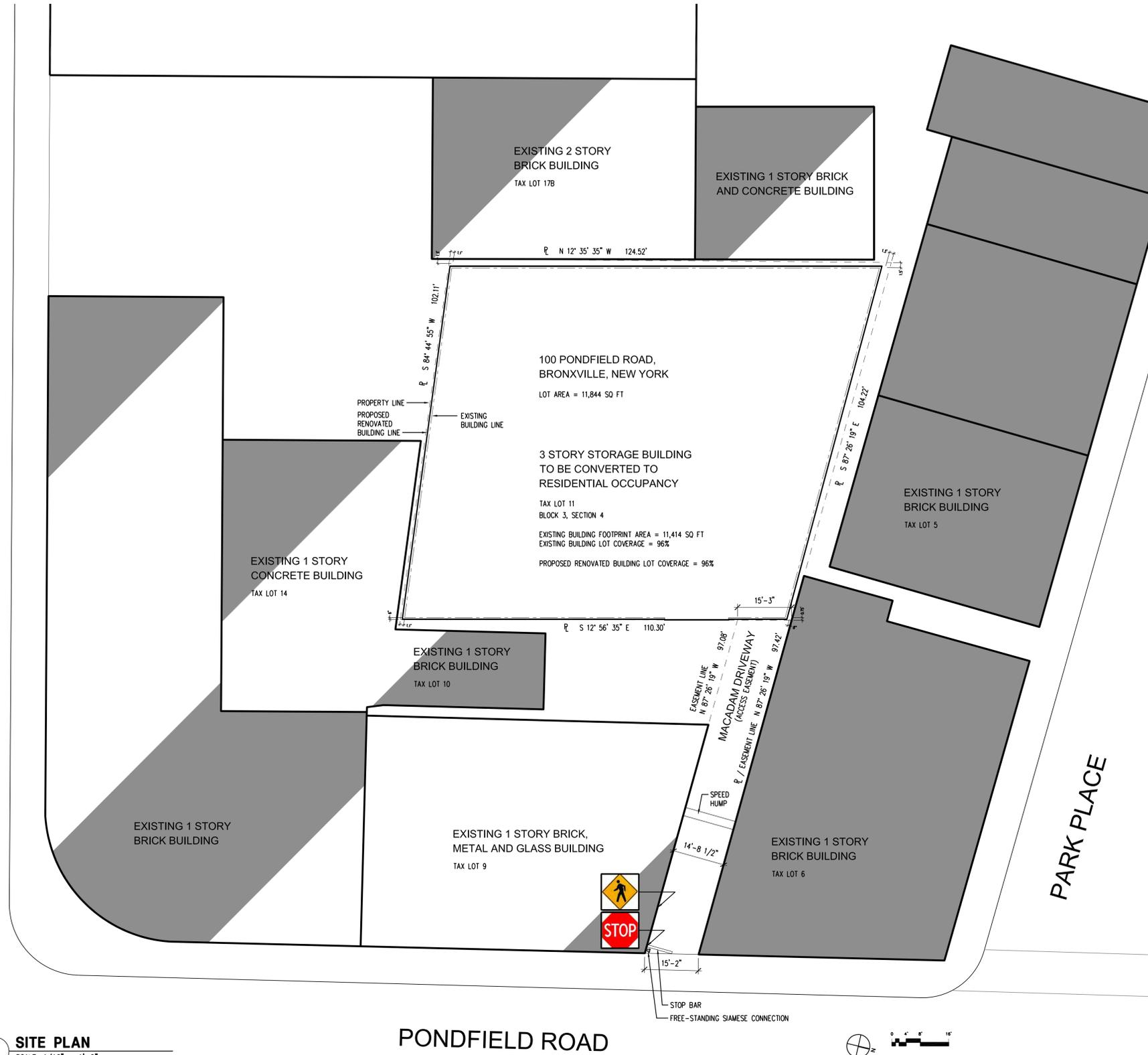
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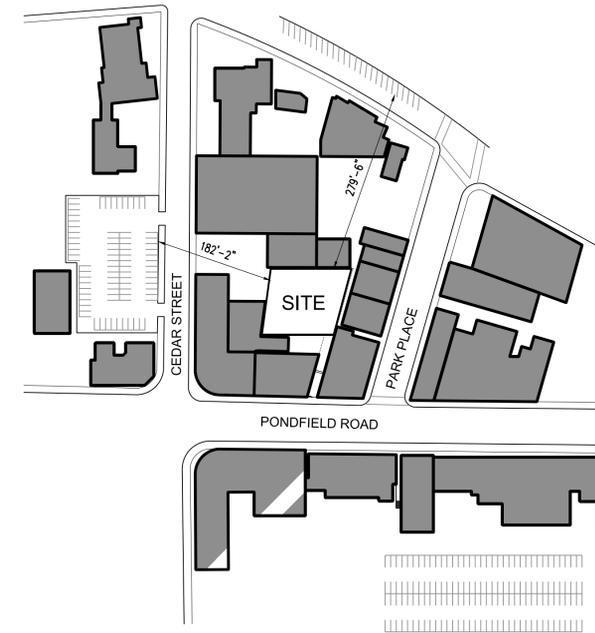
PROJECT
100 PONDFIELD ROAD
 100 PONDFIELD ROAD
 BRONXVILLE, NY
 DRAWING
ZONING ANALYSIS

SEAL	DATE
PROJECT NO.	1513871-00
SCALE	1/16" = 1'-0"
DWG NO.	Z-001
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CEDAR STREET



2 SITE PLAN
SCALE: 1/16" = 1'-0"



2 KEY PLAN
SCALE: 1/128" = 1'-0"

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PROJECT
100 PONDFIELD ROAD

100 PONDFIELD ROAD
BRONXVILLE, NY

DRAWING
SITE PLAN

SEAL	DATE
PROJECT NO. 1513871-00	SCALE 1/16" = 1'-0"
DWG NO. SP-001	
CAD FILE NO.	PAGE

GENERAL NOTES

THESE GENERAL NOTES PROVIDED HEREIN ARE INTENDED TO SUPPLEMENT THE NOTES AND/OR SPECIFICATIONS PROVIDED ELSEWHERE IN THESE CONTRACT DOCUMENTS AND ANY CODES, RULES, REGULATIONS, AND OR LAWS PROMULGATED BY APPLICABLE GOVERNING JURISDICTIONS. CONTRACTORS ARE MADE FULLY AWARE THAT THIS GENERAL NOTES SHEET IS PART OF THE ENTIRE CONTRACT DOCUMENTS AND SHALL NOT BE OMITTED IN ANY PARTIAL TRANSMISSIONS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ANY PARTIAL TRANSMISSION OR RECEIPT OF THE CONTRACT DOCUMENTS INCLUDES THIS GENERAL NOTES SHEET.

BOHLER ENGINEERING, PLLC IS NOT RESPONSIBLE OR RETAINED BY ANY PARTY FOR JOB SITE SAFETY OR CONSTRUCTION SUPERVISION, NOR IS THE ENGINEER OF RECORD FOR SAME. CONTRACTOR SHALL PERFORM ALL ITS ACTIVITIES IN A SYSTEMATIC AND SAFE MANNER IN ACCORDANCE WITH OSHA REQUIREMENTS, AND ANY CODES, RULES, REGULATIONS, AND OR LAWS OF THE APPLICABLE GOVERNING JURISDICTIONS TO ENSURE THE PROTECTION AND SAFETY OF THE PUBLIC AND THE JOB SITE.

DO NOT SCALE PLANS. COPYING, PRINTING, SOFTWARE AND OTHER PROCESSES REQUIRED TO PREPARE THE DESIGN PLANS CAN STRETCH OR SHRINK THE ACTUAL PAPER THEREFORE AFFECTING THE LAYOUT. THEREFORE, SCALING OF THE DESIGN PLANS MAY RESULT IN INACCURACIES. CONTACT THE ENGINEER OF RECORD WITH ANY NEED FOR ADDITIONAL DIMENSIONS OR CLARIFICATIONS.

THE ENGINEER OF RECORD SHALL NOT SUPERVISE, DIRECT OR HAVE CONTROL OVER THE CONTRACTOR'S WORK NOR HAVE ANY RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES SELECTED NEITHER BY THE CONTRACTOR NOR FOR THE CONTRACTOR'S SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. THESE RIGHTS AND RESPONSIBILITIES ARE SOLELY THOSE OF THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE ENGINEER OF RECORD SHALL NOT BE RESPONSIBLE FOR ANY ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, AND ANY ENTITY PERFORMING ANY PORTIONS OF THE WORK, OR ANY AGENTS OR EMPLOYEES OF ANY OF THEM. THE ENGINEER OF RECORD DOES NOT GUARANTEE THE PERFORMANCE OF THE CONTRACTOR AND SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM ITS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR ANY APPLICABLE LAWS, CODES, RULES OR REGULATIONS.

PRIOR TO STARTING ANY CONSTRUCTION RELATED ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THAT ANY AND ALL PERMITS AND APPROVALS HAVE BEEN OBTAINED, AND/OR WILL OBTAIN THOSE THAT ARE TO BE OBTAINED DURING CONSTRUCTION, BY AND OR FROM THE APPROPRIATE GOVERNING JURISDICTIONS. CONTRACTOR WILL ALSO RENEW ANY SUCH PERMITS. THE CONTRACTOR ASSUMES ALL RISK ASSOCIATED WITH THE COMMENCEMENT OF CONSTRUCTION WITHOUT SATISFYING ALL OF THE LEGAL REQUIREMENTS.

CONTRACTOR SHALL BE LIABLE FOR ANY COSTS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF THE VIOLATION OF ANY SUCH LEGAL REQUIREMENTS BY THE CONTRACTOR, ANY SUBCONTRACTORS OR ANYONE FOR WHOM THE CONTRACTOR IS RESPONSIBLE. THE CONTRACTOR SHALL INDEMNIFY, DEFEND AND SAVE HARMLESS THE OWNER AND BOHLER ENGINEERING, PLLC FROM AND AGAINST ANY SUCH COSTS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY FEES AND DISBURSEMENTS, ATTRIBUTABLE TO ANY SUCH VIOLATION OR NONCOMPLIANCE BY CONTRACTOR OR ANY SUBCONTRACTOR AS WELL AS ANY DELAY IN THE COMPLETION OF THE WORK. NO CONSTRUCTION RELATED ACTIVITIES SHOULD COMMENCE UNTIL THE CONTRACTOR HAS THOROUGHLY REVIEWED THE ENTIRE CONTRACT DOCUMENTS AND THOROUGHLY REVIEWED THE APPROVALS AND PERMITS OBTAINED FROM THE APPLICABLE GOVERNING JURISDICTIONS. THE CONTRACTOR SHALL MAINTAIN ALL SUCH PERMITS AND APPROVALS AT THE JOB SITE AT ALL TIMES AND MAKE SAME AVAILABLE UPON REQUEST.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, CONTRACTOR MUST INSPECT THE SITE, SATISFY ITSELF AS TO THE CONDITION OF THE SITE INCLUDING, BUT NOT LIMITED TO, ALL STRUCTURAL, SURFACE AND SUBSURFACE CONDITIONS, FAMILIARIZE ITSELF WITH THE SITE AND THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATE ITS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR IS AWARE THAT THE CONTRACT DOCUMENTS FOR THIS PROJECT INCLUDE VARIOUS RESOURCES, WHICH MAY BE IN A FORMAT OTHER THAN DRAWING DOCUMENTS. SUCH RESOURCES MAY INCLUDE, BUT ARE NOT LIMITED TO, SOIL MECHANICS STUDIES, ENVIRONMENTALLY RELATED INVESTIGATIONS, STUDIES, MAPPING, RECOMMENDATIONS, LAND SURVEYS, TITLE REPORTS, ARCHITECTURAL DOCUMENTS INCLUDING STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING, TESTING REPORTS, ET AL. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL SUCH ITEMS PRIOR TO COMMENCEMENT OF CONSTRUCTION RELATED ACTIVITIES. ANY REQUIRED CLARIFICATION BY THE CONTRACTOR SHALL BE IN WRITING TO THE OWNER AND BOHLER ENGINEERING, PLLC PRIOR TO COMMENCING CONSTRUCTION RELATED ACTIVITIES.

WHEN WORK IS INDICATED ON THE DRAWINGS BUT IS NOT CALLED FOR IN THE OTHER CONTRACT DOCUMENTS, OR IS CALLED FOR IN THE OTHER CONTRACT DOCUMENTS BUT IS NOT INDICATED ON THE DRAWINGS, AND THE NATURE OF THE WORK IS SUCH THAT IT SHOULD BE PERFORMED BY WORKERS EMPLOYED BY THIS CONTRACTOR, OR IF STANDARD BUILDING PRACTICES IN THE LOCALITY OF THE PROJECT WOULD REQUIRE SUCH WORK TO BE PERFORMED BY THIS CONTRACTOR, THEN SUCH WORK SHALL BE DEEMED A PART OF THE WORK COVERED BY THIS CONTRACT AND SHALL BE PERFORMED BY THIS CONTRACTOR WITHOUT ADDITIONAL COMPENSATION.

ALL CONSTRUCTION RELATED ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AS WELL AS IN ACCORDANCE WITH ALL THE REQUIREMENTS OF THE APPROPRIATE GOVERNING JURISDICTIONS. THE CONTRACTOR SHALL PROMPTLY REPORT TO THE OWNER AND BOHLER ENGINEERING, PLLC ANY ERROR, OMISSION, INCONSISTENCY, CONFLICT, AMBIGUITY OR SIMILAR DEFECT THAT MAY BE APPARENT FROM CONTRACTOR'S REVIEW OF THE CONSTRUCTION DOCUMENTS, THE CONTRACT DOCUMENTS, AND/OR EXISTING CONDITIONS AT THE PROJECT SITE. CONTRACTOR SHALL IMMEDIATELY UPON DISCOVERY BRING SUCH ERROR, OMISSION, INCONSISTENCY, CONFLICT, AMBIGUITY OR SIMILAR DEFECT TO THE ATTENTION OF THE OWNER AND BOHLER ENGINEERING, PLLC FOR RESOLUTION. IT IS EXPRESSLY UNDERSTOOD AND AGREED THAT OWNER, IN CONSULTATION WITH BOHLER ENGINEERING, PLLC AND THE ARCHITECT, SHALL BE THE INTERPRETER OF THE CONTRACT DOCUMENTS AND SHALL RESOLVE ANY SUCH CONFLICTS AND AMBIGUITIES. IN THE EVENT THERE IS ANY SUCH ERROR, OMISSION, INCONSISTENCY, CONFLICT, AMBIGUITY OR SIMILAR DEFECT, THEN THE MORE STRINGENT PROVISION SHALL APPLY. IN ADDITION, IN THE EVENT THERE IS ANY SUCH ERROR, OMISSION, INCONSISTENCY, CONFLICT, AMBIGUITY OR SIMILAR DEFECT, WHICH RESULT IN A CHOICE BETWEEN DIFFERENT MEANS AND METHODS TO PERFORM THE WORK AFTER THE RESOLUTION OF THE CONFLICT OR AMBIGUITY, CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM THE WORK WITHOUT ADDITIONAL COMPENSATION FOR THE COSTLY MEANS AND METHODS. IF CONTRACTOR PERFORMS ANY SUCH WORK BEFORE THE OWNER AND BOHLER ENGINEERING, PLLC HAVE HAD A REASONABLE TIME TO RESPOND, THE CONTRACTOR SHALL SOLELY BEAR THE RISK OF PERFORMING SUCH WORK CONTRARY TO THE RESOLUTION THEREOF BY OWNER.

THE CONTRACTOR SHALL BE FAMILIAR WITH AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT AND SCHEDULING OF ANY AND ALL CERTIFICATIONS, TESTING, INSPECTIONS, ETC., INCLUDING THOSE THAT SHALL BE PERFORMED BY THIRD PARTIES, REQUIRED BY THE APPROPRIATE GOVERNING JURISDICTIONS DURING THE COURSE OF CONSTRUCTION OR FOR THE PURPOSES OF PROCURING SIGNOFFS, CERTIFICATE OF COMPLETION OR CERTIFICATE OF OCCUPANCY. IF THE CONTRACT DOCUMENTS OR ANY LAWS, RULES, ORDINANCES OR REGULATIONS OF ANY FEDERAL, STATE OR LOCAL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THE WORK REQUIRE THAT ANY WORK BE INSPECTED OR TESTED, CONTRACTOR SHALL GIVE SUCH GOVERNING ENTITIES TIMELY NOTICE OF READINESS OF THE WORK FOR INSPECTION OR TESTING, COORDINATE AND FIX THE DATE FOR SUCH INSPECTION OR TESTING BY SUCH JURISDICTIONAL ENTITIES AND PROCURE THE NECESSARY MEANS TO HAVE SUCH INSPECTION OR TESTING PERFORMED TO THE SATISFACTION OF THE GOVERNING JURISDICTIONAL ENTITIES.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE CIVIL DESIGN DOCUMENTS AND THE ARCHITECTURAL DOCUMENTS FOR REFERENCE TO EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS AND DETAILS, ENTRY AND EXIT LOCATIONS, FINISHED FLOOR ELEVATIONS AND EXTERIOR GRADING, ETC. THE UTILITY SERVICE SIZES SHALL BE DETERMINED BY THE ARCHITECT.

ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT TWENTY-EIGHT (28) DAYS UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS. UNSUITABLE MATERIALS, CONSTRUCTION DEBRIS, EXCESS SOIL, ETC., SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL CODES, ORDINANCES, AND LAWS OF THE APPLICABLE GOVERNING JURISDICTIONS. ALL FILL, COMPACTION AND BACKFILL MATERIALS AND PLACEMENT METHODS REQUIRED FOR THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE SOIL MECHANICS STUDIES. THE CONTRACTOR SHALL PLACE ASPHALT WITH SUITABLE GRADES TO PREVENT PONDING.

THE CONTRACTOR SHALL BE RESPONSIBLE TO USE APPROPRIATE DUST CONTROL AND EROSION CONTROL MEASURES IN ACCORDANCE WITH FEDERAL, STATE AND OR LOCAL STANDARDS, RULES, REGULATIONS OF THE APPROPRIATE GOVERNING JURISDICTIONS. AFTER CONSTRUCTION IS COMPLETE, ADJACENT STRUCTURES AND AREAS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE CONSTRUCTION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR PRE-CONSTRUCTION CONDITIONS.

THE CONTRACTOR SHALL SAFEGUARD THE PROJECT SITE IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL CODES AS NECESSARY TO PERFORM THE CONSTRUCTION IN SUCH A MANNER AS TO PREVENT ENTRY BY UNAUTHORIZED PERSONS AT ANY AND ALL TIMES.

THE CONTRACTOR SHALL NOT USE AREAS OUTSIDE THE PROPERTY LINE AND OR WORK LIMITS WITHOUT WRITTEN PERMISSION FROM THE OWNER AND OR THE APPROPRIATE GOVERNING JURISDICTIONS, WHICH MAY BE IN THE FORM OF PERMITS.

DURING ALL CONSTRUCTION RELATED OPERATIONS, THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE OPERATION, IN A MANNER SATISFACTORY TO OWNER, OF ALL ACTIVE SYSTEMS THAT ARE NOT TO BE REMOVED.

PROPOSED WATER SERVICE MATERIALS, BURIAL DEPTH AND COVER REQUIREMENT SHALL BE IN ACCORDANCE WITH THE LOCAL UTILITY COMPANIES REQUIREMENTS. CONTRACTOR SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE LOCAL UTILITY COMPANIES TO PROVIDE THE OWNER WITH A COMPLETE WORKING WATER SERVICE. ALL TOPOGRAPHY SHOWN IN THESE CONSTRUCTION DOCUMENTS DEPICT THE EXISTING CONDITIONS AT THE TIME OF THE CONTRACT DOCUMENTS PREPARATION. CONTRACTOR SHALL OBSERVE THE CONDITIONS OF THE PROJECT PRIOR TO COMMENCING CONSTRUCTION RELATED ACTIVITIES AND NOTIFY THE OWNER AND THE ENGINEER OF RECORD IN WRITING IF ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS ARE OBSERVED.

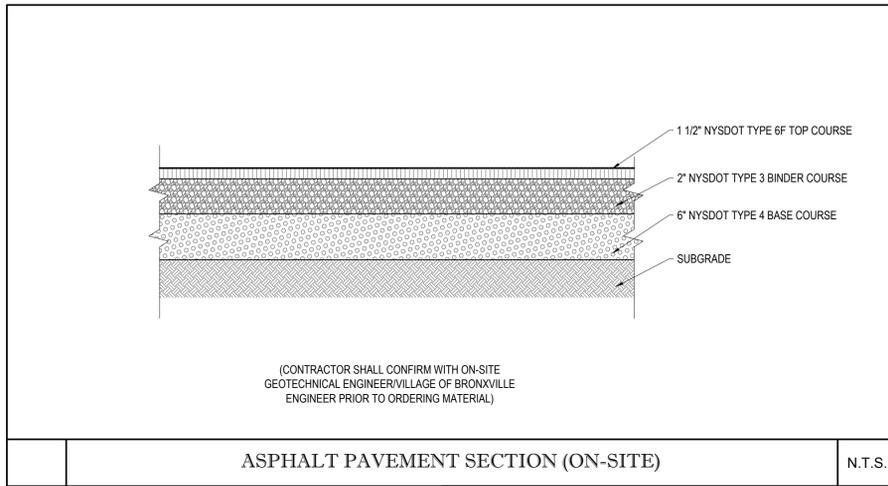
CONTRACTOR MUST CARRY STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). CONTRACTOR MUST HAVE THEIR CGL POLICY ENDORSED NAMING BOHLER ENGINEERING, PLLC AND ITS AFFILIATES AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO ENSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH CERTIFICATES TO BOHLER ENGINEERING, PLLC AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND WITHIN THIRTY (30) DAYS UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. CONTRACTOR MUST HAVE ITS INSURANCES IN FULL FORCE THROUGHOUT THE CONSTRUCTION. IN ADDITION, THE CONTRACTOR WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS BOHLER ENGINEERING, PLLC AND ITS AFFILIATES FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR.

UNLESS OTHERWISE AGREED TO IN WRITING SIGNED BY AN OFFICER OF BOHLER ENGINEERING, PLLC, UNDER NO CIRCUMSTANCE IS ANY PERSON A THIRD PARTY BENEFICIARY OF THE AGREEMENT BETWEEN BOHLER ENGINEERING, PLLC AND THE OWNER.

ACCESSIBILITY NOTE

ALL ACCESSIBLE PARKING STALLS, SIDEWALKS, RAMPS AND ALL OTHER ACCESS PROVISIONS TO, INTO AND FROM BUILDINGS AND TO AND FROM PARKING AREAS AND PUBLIC WAYS SHALL BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH ADA REQUIREMENTS. THE OWNER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADA COMPLIANCE WITH ANY PROPOSED SIDEWALK CONSTRUCTION AND OTHER SITE WORK ELEMENTS (WHETHER ON OR OFF SITE). IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTINUED ADA COMPLIANCE AT THE PROJECT SITE REGARDING ACCESS, PARKING AND DIMENSIONAL REQUIREMENTS.

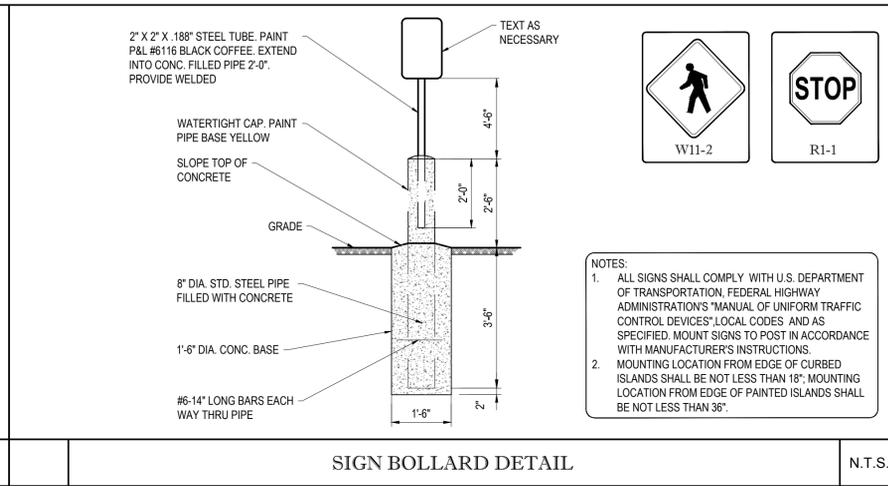
THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)



(CONTRACTOR SHALL CONFIRM WITH ON-SITE GEOTECHNICAL ENGINEER/VILLAGE OF BRONXVILLE ENGINEER PRIOR TO ORDERING MATERIAL)

ASPHALT PAVEMENT SECTION (ON-SITE)

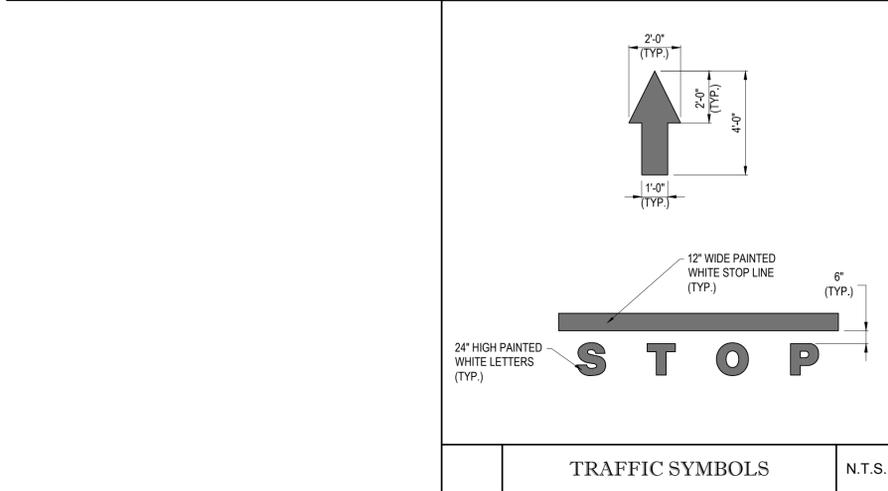
N.T.S.



- NOTES:
1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATOR'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES' LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. MOUNTING LOCATION FROM EDGE OF CURBED ISLANDS SHALL BE NOT LESS THAN 18". MOUNTING LOCATION FROM EDGE OF PAINTED ISLANDS SHALL BE NOT LESS THAN 36".

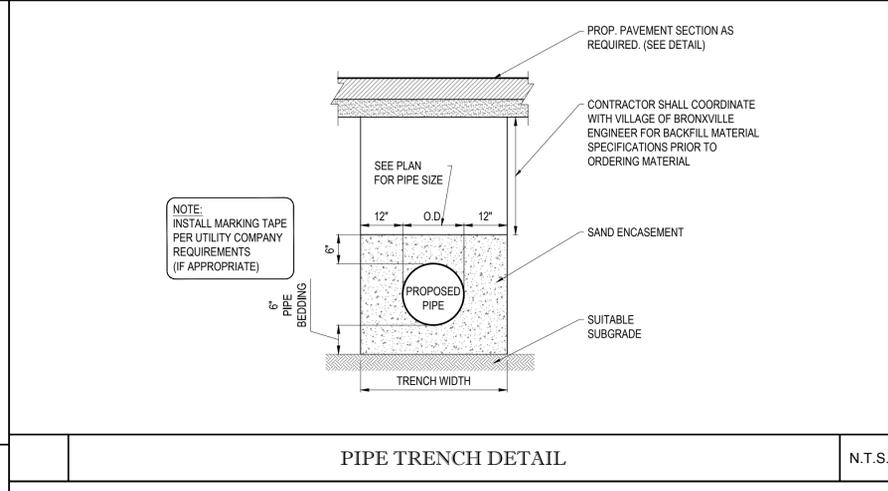
SIGN BOLLARD DETAIL

N.T.S.



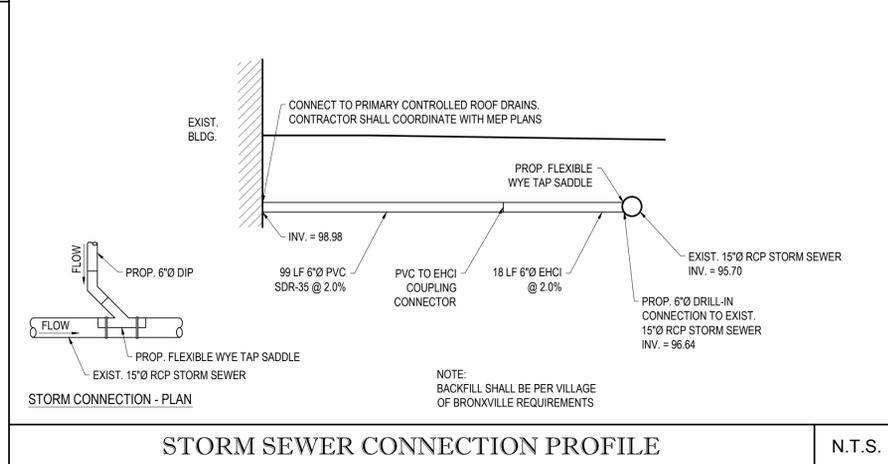
TRAFFIC SYMBOLS

N.T.S.



PIPE TRENCH DETAIL

N.T.S.



STORM SEWER CONNECTION PROFILE

N.T.S.

BOHLER ENGINEERING
 2929 EXPRESSWAY DRIVE NORTH
 HAUPPAUGE, NY 11749
 Phone: (631) 738-1200
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Project
100 PONDFIELD ROAD
VILLAGE OF BRONXVILLE
 WESTCHESTER, NY
 SECTION 4; BLOCK 3; LOTS 9 & 11

Drawing Title:
DETAIL SHEET

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Project No: 1000000.00	Scale: -
Drawing By: JOSEPH A. DEAL	DWG No: SWP-2
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- UTILITIES
- CORRIDOR/Common AREA
- STAIRS/TRASH CHUTE

1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



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PROJECT
100 PONDFIELD ROAD

100 PONDFIELD ROAD
BRONXVILLE, NY

DRAWING
GROUND FLOOR PLAN

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	SCALE	1/8" = 1'-0"
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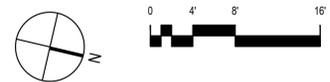


- CONDO UNITS
- CORRIDOR/Common AREA
- STAIRS/TRASH CHUTE
- GYM/LOUNGE AREA

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

UNIT MIX:

- (1) FITNESS CENTER
- (1) RESIDENTS' LOUNGE
- (1) ONE BEDROOM UNIT
- (3) 2 BEDROOM UNITS



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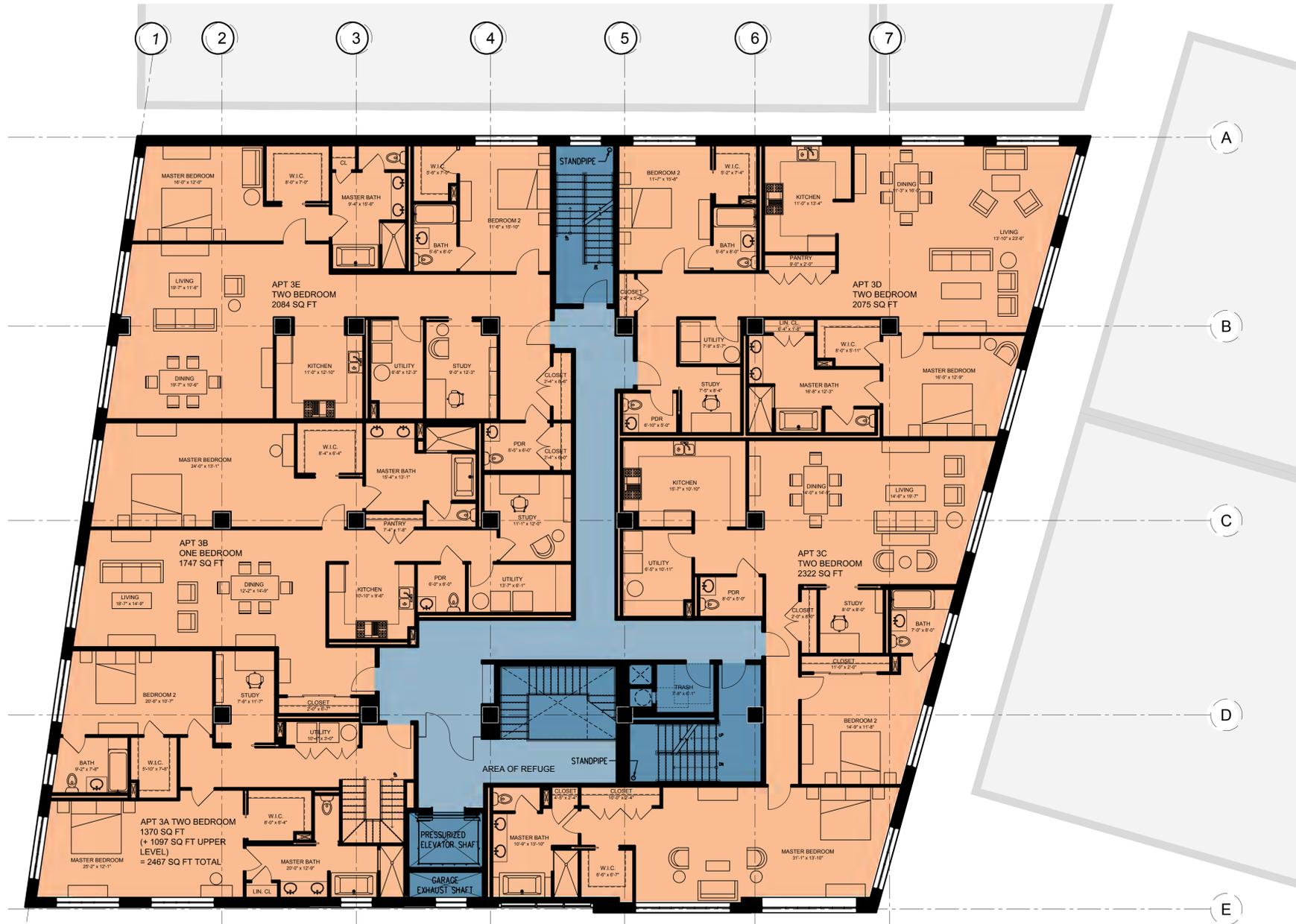
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100 PONDFIELD ROAD
BRONXVILLE, NY
DRAWING
SECOND FLOOR PLAN

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- CONDO UNITS
- CORRIDOR/Common AREA
- STAIRS/TRASH CHUTE

1 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

UNIT MIX:

(1) ONE BEDROOM UNIT
 (3) 2 BEDROOM UNITS
 (1) 2 BEDROOM DUPLEX UNIT



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PROJECT
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 100 PONDFIELD ROAD
 BRONXVILLE, NY

DRAWING
THIRD FLOOR PLAN

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- CONDO UNITS
- CORRIDOR/Common AREA
- STAIRS/TRASH CHUTE
- PRIVATE TERRACE
- BUILDING ROOF GARDEN

1 FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

UNIT MIX:

(2) 2 BEDROOM UNITS
(1) 2 BEDROOM DUPLEX UNIT



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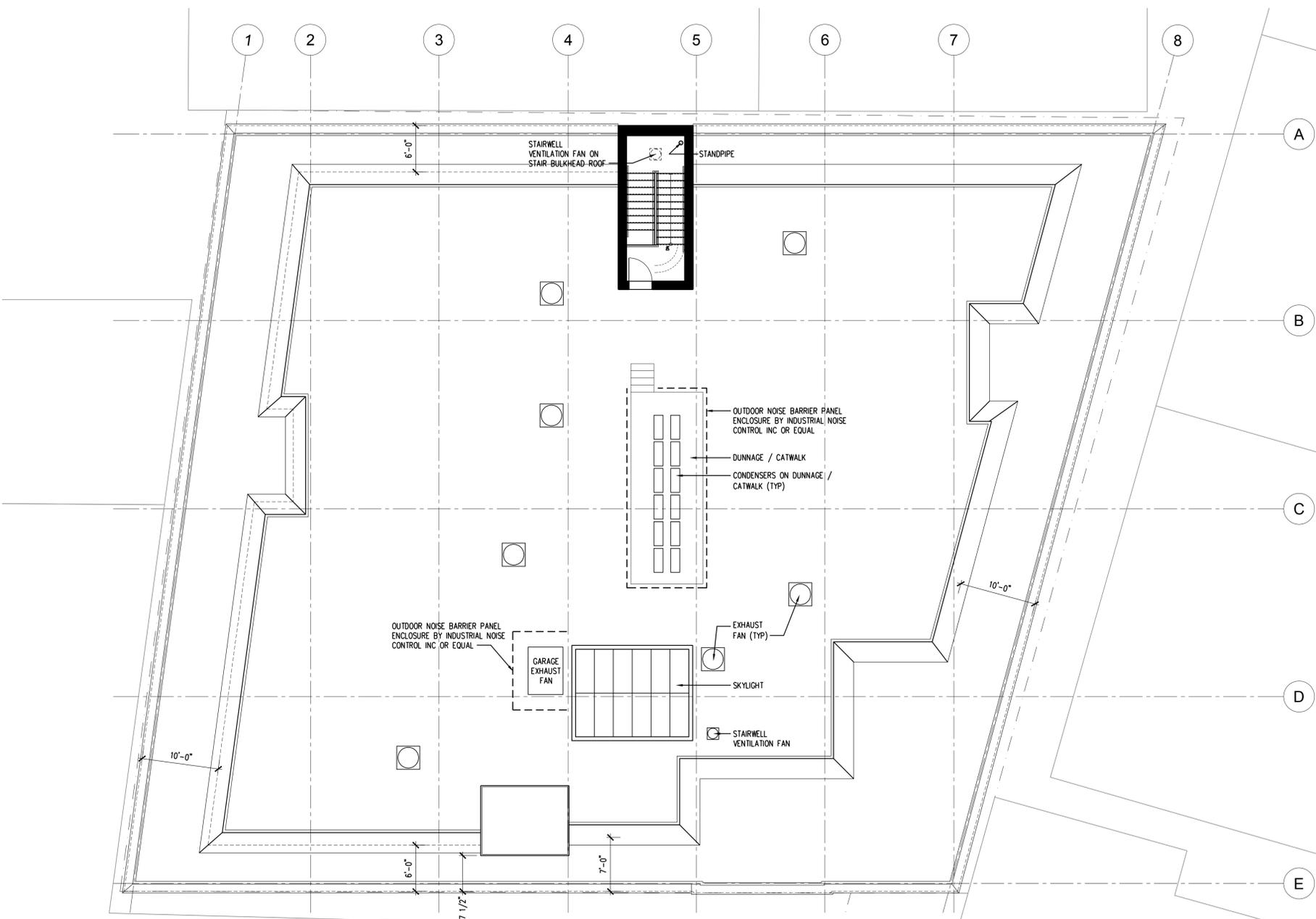
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100 PONDFIELD ROAD
BRONXVILLE, NY

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FOURTH FLOOR PLAN

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1 ROOF PLAN
SCALE: 1/8" = 1'-0"



Performance Corrections	
Elevation (ft)	23
Airstream Temp (F)	70
Air Density (ft3)	0.075
Drive Loss (%)	4.2
Inlet Conditions	Standard
Outlet Conditions	Standard

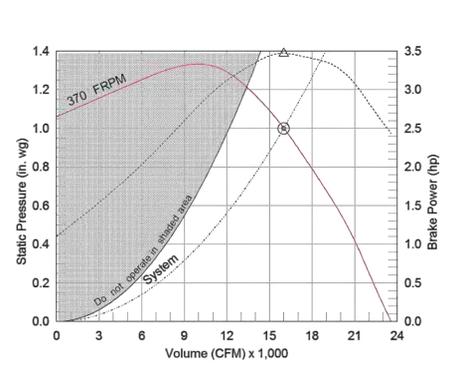
Dimensional	
Weight w/o Acc's (lb)	1,624
Weight w/ Acc's (lb)	1,918
Max T Motor Frame Size	324

Actual Performance	
Requested Volume (CFM)	16,000
Actual Volume (CFM)	16,000
External SP (in. wg)	1
Total SP (in. wg)	1
OV (ft/min)	1,159
Fan RPM	370
Operating Power (hp)	3.47
Tip Speed (ft/min)	4,745
Static Eff. (%)	76
FEQ	90

Fan Configuration	
Quantity	1
Arrangement	10
Rotation	CW
Discharge Position	TH
Drive Type	Belt

Motor	
Motor Mounted	Yes
Size (hp)	7 1/2
V/CP	460/60/3
Enclosure	ODP
Motor RPM	1725
Windings	1
NEC FLA* (Amps)	11
Motor Pulley Type	Adjustable

Model: SWB-349-AF-75
Backward Inclined Centrifugal Utility Fan



Sound Power by Octave Band

Sound Data	62.5	125	250	500	1000	2000	4000	8000	LWA	dBA	Sones
Inlet	86	79	70	69	65	62	55	48	71	60	11.1

Model: SWB-349-AF-75
Backward Inclined Centrifugal Utility Fan

Standard Construction Features:
HOUSING: Steel housing with Lock-seam construction - Unit support angles with pre-punched mounting holes - Adjustable motor plate - Corrosion resistant fasteners - Steel components are phosphatized and coated, Galvanized construction remains uncoated

Options & Accessories:
NEMA Premium Efficient Motor - meets NEMA Table 12-12
Steel Scroll Housing
Aluminum Wheel Construction, Mill Finish
Steel Inlet Cone
UL/cUL 705 Listed - "Power Ventilators"
Switch, NEMA-3R
Weatherhood
Coated with Permatector, Gray (040), Standard Coating on Entire Fan
Bolted Access Door
Threaded Pipe Drain Connection, 1 in. Diameter
Outlet Flange - Punched
Steel Shaft

3 GARAGE EXHAUST FAN INFORMATION

MITSUBISHI ELECTRIC
COOLING & HEATING
P-SERIES

SUBMITTAL DATA: PEAD-A36AA4 & PUY-A36NHA4 (-BS)
36,000 BTUH HORIZONTAL-DUCTED AIR CONDITIONING SYSTEM

Job Name: _____ Location: _____ Date: _____
 Purchaser: _____ Engineer: _____
 Submitted to: _____ For Reference Approval Construction
 System Designation: _____ Schedule No.: _____



GENERAL FEATURES

- Horizontal-ducted indoor unit features medium static pressure capability
- Thin body: 9-7/8" high
- Built-in drain mechanism for condensate removal; lifts to 27-9/16"
- Air filter is included with indoor unit
- Quiet operation—both indoor and outdoor units
- Automatic fan speed control
- Auto restart following a power outage
- Self-check function—integrated diagnostics
- Knockout for ventilation air
- Limited warranty: five years parts and seven years compressors

UNIT OPTION

- Standard Model: PUY-A36NHA4
- Sea Coast (BS) Model: PUY-A36NHA4-BS

OPTIONAL ACCESSORIES

Indoor Unit

- Filter Box with MERV 13 Filters (FBM2-4)
- Drain Pan (PAC-SG64DP)
- Drain Socket (PAC-SG61DS)
- Three-pole Disconnect Switch (TAZ-MS303)
- Wind Baffle (WB-PA2)
- Air Outlet Guide (PAC-SG55SG)
- Mounting Base (DSD-400N)
- Mounting Pad (ULRILITE2)
- Wall-mounting Brackets (CWMB1)

Controller Options

- Wireless Wall-mounted Remote Controller Kit (MHK1*)
- Portable Controller (MCCH1*)
- Outdoor Air Sensor (MOS1*)
- *See literature for information on each option.
- Wired Wall-mounted Controller (PAR-21MAU)
- M-NET Adapter (PAC-SF81MA)
- CN21 Connector for Multiple Remote Controller Adapters/Duct Fan Controller (PAC-T25AD)
- CN32 Connector for Remote On/Off (PAC-715AD)
- Remote Temperature Sensor (PAC-SEA11S)
- Remote Operation Adapter - Display and On/Off (PAC-SF40RM)
- Hand-held Wireless Remote Controller (PAR-FL32MA; req. PAR-FA32MA-E)
- Wireless Signal Receiver Module (PAR-FA32MA-E)
- Lockdown Bracket for Hand-held Controller (RCMKP1CB)
- Control/Service Tool (PAC-SK52ST)

SEACOAST PROTECTION

- External Outer Panel: Phosphate coating + Acrylic-Enamel coating
- Fan Motor Support: Epoxy resin coating (at edge face)
- Separator Assembly - Valve Bed: Epoxy resin coating (at edge face)
- Screws (used outer side): Zinc nickel coating 5µm + Polyvinylidene chloride coating

*"Blue Fin" treatment is an anti-corrosion treatment that is applied to the condenser coil to protect it against airborne contaminants.

Specifications are subject to change without notice.
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SPECIFICATIONS: PEAD-A36AA4 & PUY-A36NHA4 (-BS)

Cooling*	
Rated Capacity	35,000 Btu/h
Minimum Capacity	12,000 Btu/h
SEER	15.0 Btu/h/W
EER	7.2 Btu/h/W
Total Input	4,850 W

Electrical Requirements	
Power Supply	208 / 230V, 1-Phase, 60 Hz
Recommended Fuse/Breaker Size	30 A

Voltage	
Indoor - Outdoor S1-S2	AC 208 / 230V
Indoor - Outdoor S2-S3	DC 24V

OPERATING CONDITIONS			
Cooling	Maximum	Indoor Intake Air Temp. 96°F (36°C) DB / 71°F (22°C) WB	Outdoor Intake Air Temp. 115°F (46°C) DB
	Minimum	67°F (19°C) DB / 67°F (19°C) WB	67°F (-18°C) DB

DIMENSIONS		UNIT INCHES / MM	
W	55-1/8	1,400	
D	28-7/8	732	
H	9-7/8	250	
Weight	.91 lbs. / 41 kg		
External Finish	Galvanized-steel Sheet		
Field Drainpipe Size O.D.	1-1/4" / 32 mm		

Outdoor Unit	
Compressor	.DC Inverter-driven Twin Rotary
MCA	25 A
MOCP	40 A
Fan Motor (ECM)	0.75 F.L.A.
Sound Pressure Level (Cooling)	48 dB(A)

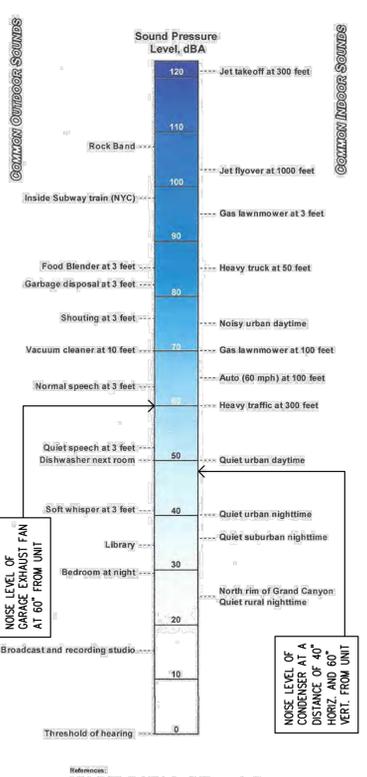
DIMENSIONS		INCHES / MM	
W	37-3/8	950	
D	13	330	+ 30
H	37-1/8	943	
Weight	163 lbs. / 74 kg		
External Finish	Munsell No. 3Y 7.8 / 1.1		
Refrigerant Type	R410A		
Refrigerant Pipe Size O.D.	.91" / 15.88 mm		
Liquid Side	.89" / 22.5 mm		
Max. Refrigerant Pipe Length	165' / 50 m		
Max. Refrigerant Pipe Height Difference	100' / 30 m		
Connection Method	Flared		

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Notes:

PROPOSED OUTDOOR CONDENSING UNIT HAS A MAXIMUM SOUND LEVEL OF 48 DECIBELS WHEN OBSERVED FROM 40 INCHES HORIZONTALLY AND 60 INCHES VERTICALLY. THE AFOREMENTIONED ASSUMES THAT THE CONDENSING UNIT IS OPERATING AT ITS FULL RATED CAPACITY WHICH WILL BE THE CASE ONLY DURING PEAK HEATING AND COOLING LOADS.

2 CONDENSER INFORMATION



References:
1. Harris, Cyril, "Handbook of Noise Acoustical Measurements and Noise Control", p. 110, 1988
2. "Counting Noise", USAF, AFAC, AFOTC, Egham, Feb. 1968, August 1968
3. "Guidelines for Noise", USAF, AFAC, AFOTC, Egham, Feb. 1968, August 1968
4. "Guidelines for Noise", USAF, AFAC, AFOTC, Egham, Feb. 1968, August 1968

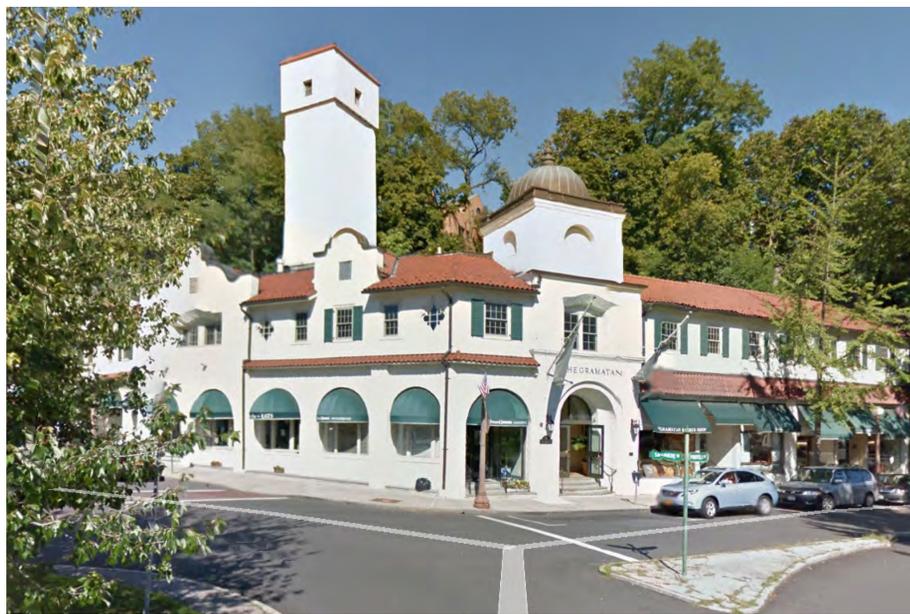
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VIEW 1 - 7 PONDFIELD ROAD



VIEW 2 - 1 CEDAR STREET



VIEW 3 - 115 PONDFIELD ROAD



VIEW 4 - 65 PONDFIELD ROAD



VIEW 5 - 14 MEADOW AVENUE



VIEW 6 - 135 PONDFIELD ROAD



KEY MAP

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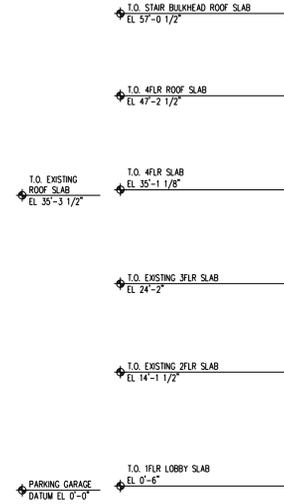
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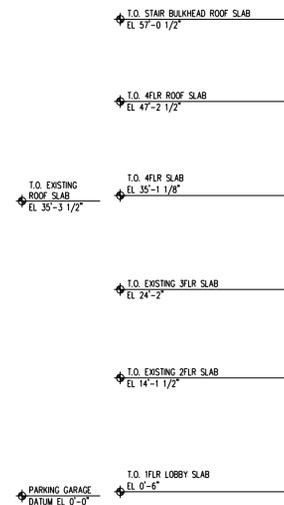
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SOUTH ELEVATION



ADJACENT BUILDING

WEST ELEVATION



ADJACENT BUILDING

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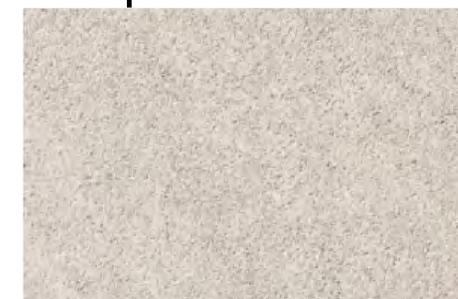
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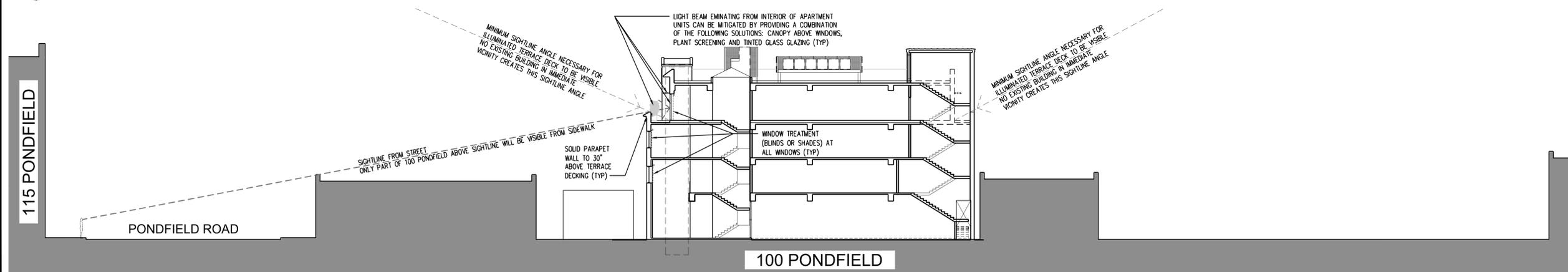
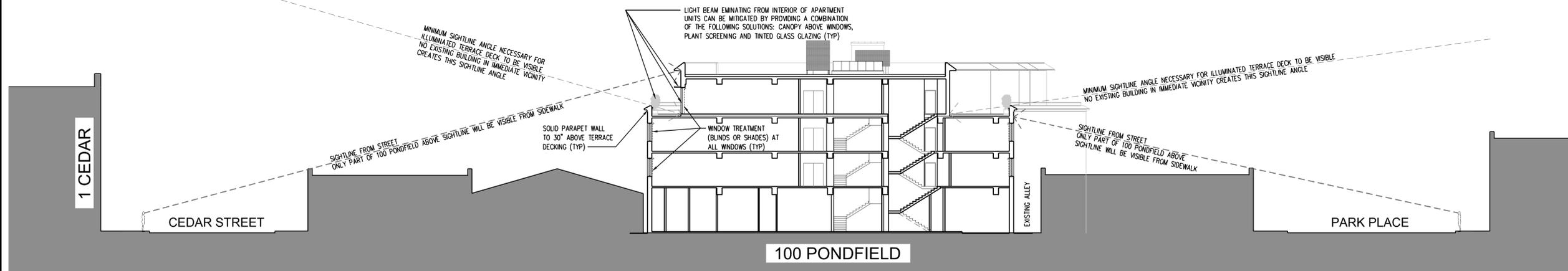
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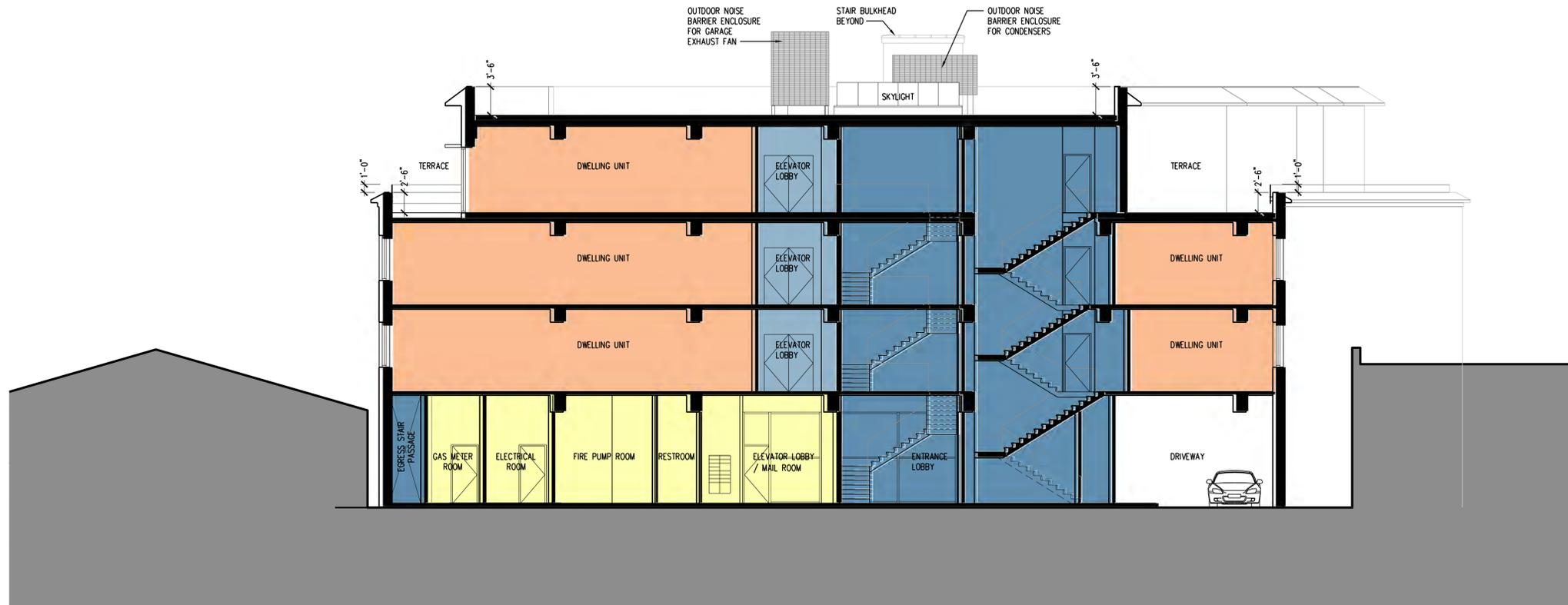
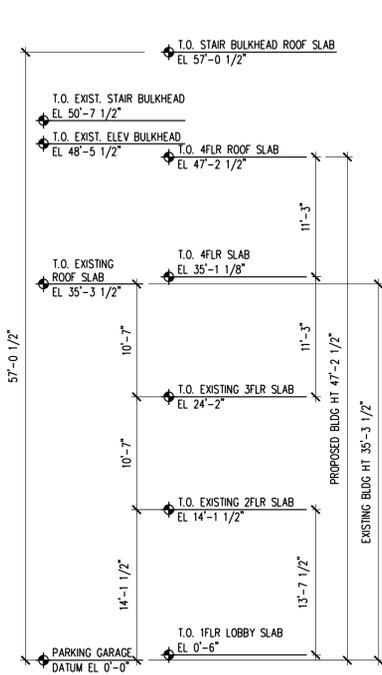
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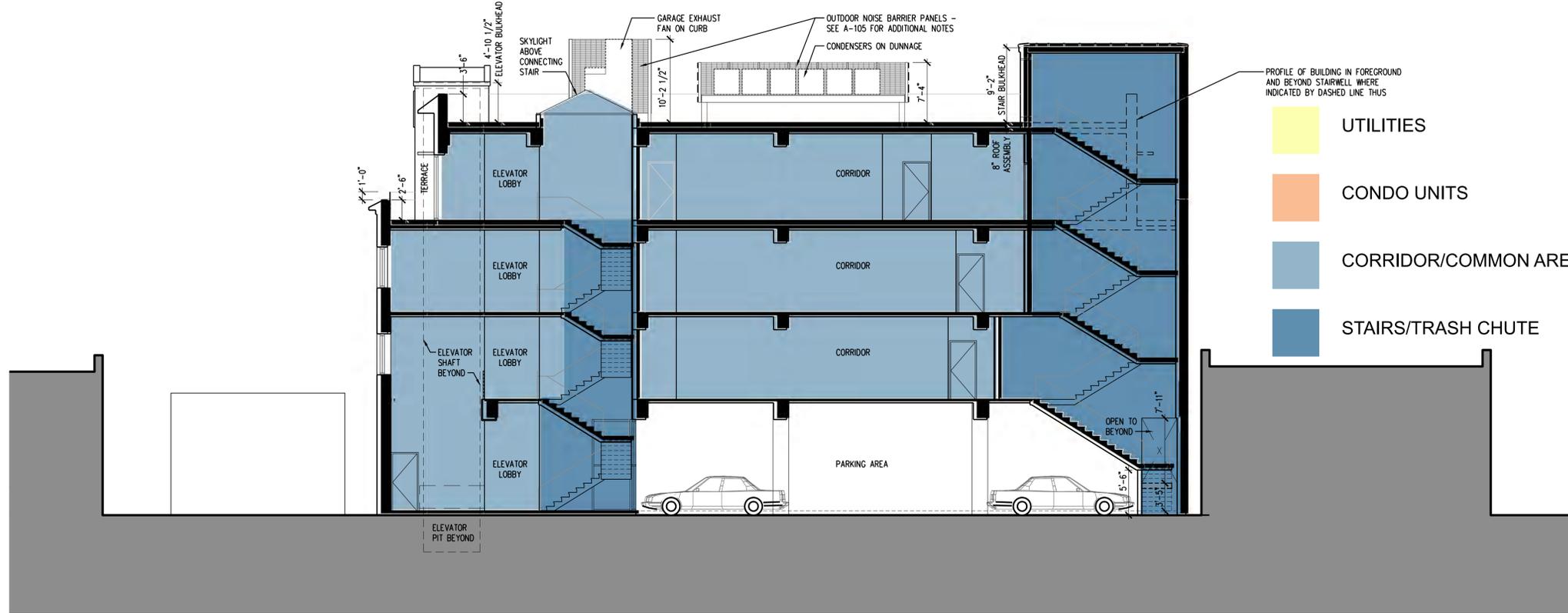
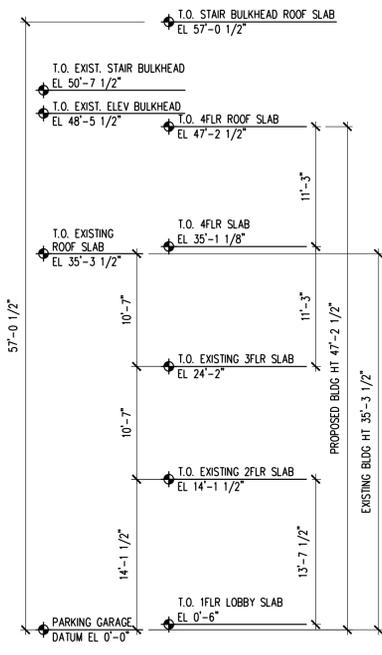
PROJECT
100 PONDFIELD ROAD
100 PONDFIELD ROAD
BRONXVILLE, NY

DRAWING
SITE SECTIONS

SEAL	DATE
PROJECT NO.	1513871-00
SCALE	AS NOTED
DWG NO.	A-300
CAD FILE NO.	PAGE



1 BUILDING SECTION
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"

NO.	REVISION	DATE	BY
-	ISSUED FOR REVIEW	06/02/14	-
-	REV PER FIRE DEPT. COMMENTS	03/25/14	-
-	ISSUED FOR REVIEW, REV PER COMMENTS	02/27/14	-
-	ISSUED FOR REVIEW	02/26/14	-

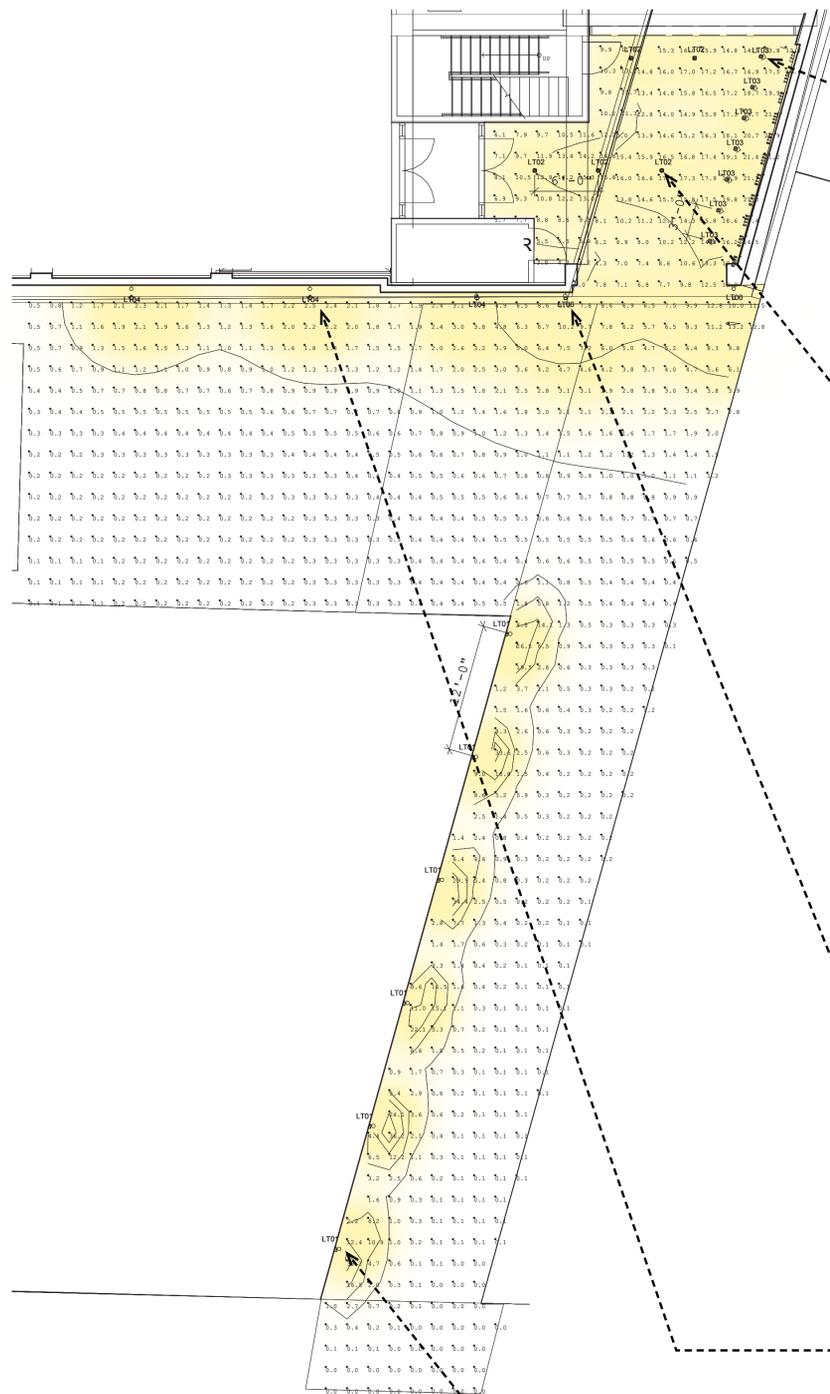
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PROJECT
100 PONDFIELD ROAD
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 BRONXVILLE, NY

DRAWING
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SEAL	DATE
PROJECT NO.	1513871-00
SCALE	1/8" = 1'-0"
DWG NO.	A-301
CAD FILE NO.	PAGE



DRIVEWAY LIGHTING PLAN
SCALE: 1/8" = 10"



LT-03: WALL WASH
(RECESSED IN SOFFIT)



LT-02: DOWNLIGHT
(RECESSED IN SOFFIT)



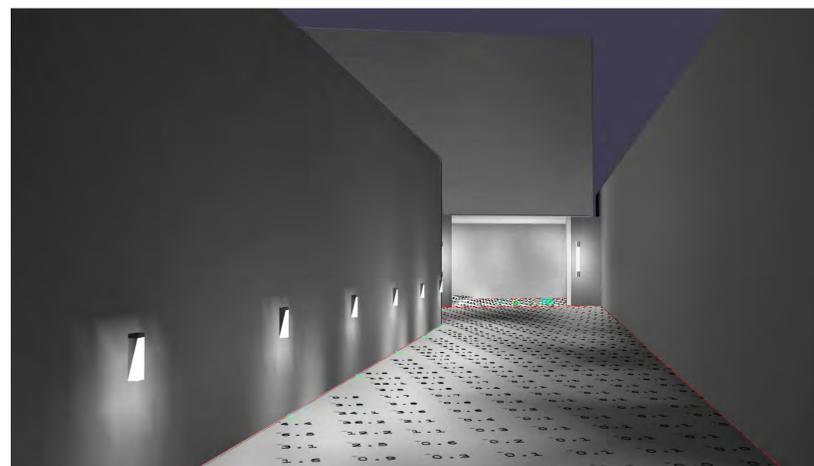
LT-06: WALL SCONCE
(MOUNTED 8'-0" ABOVE GROUND)



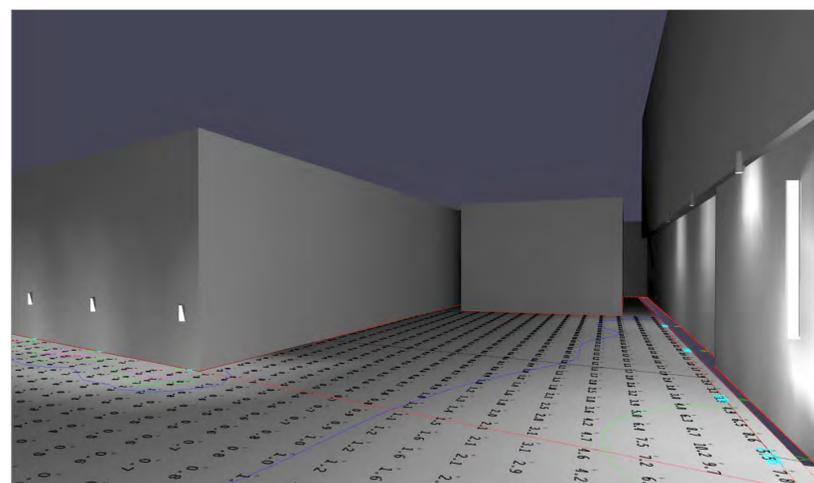
LT-04: FLOOD LIGHT
(MOUNTED 11'-6" ABOVE GROUND)



LT-01: SIDEWALK LIGHT
(MOUNTED 36" ABOVE SIDEWALK)



NORTH VIEW OF ALLEY



SOUTH WEST VIEW OF DRIVEWAY

No.	Revision	Date	By
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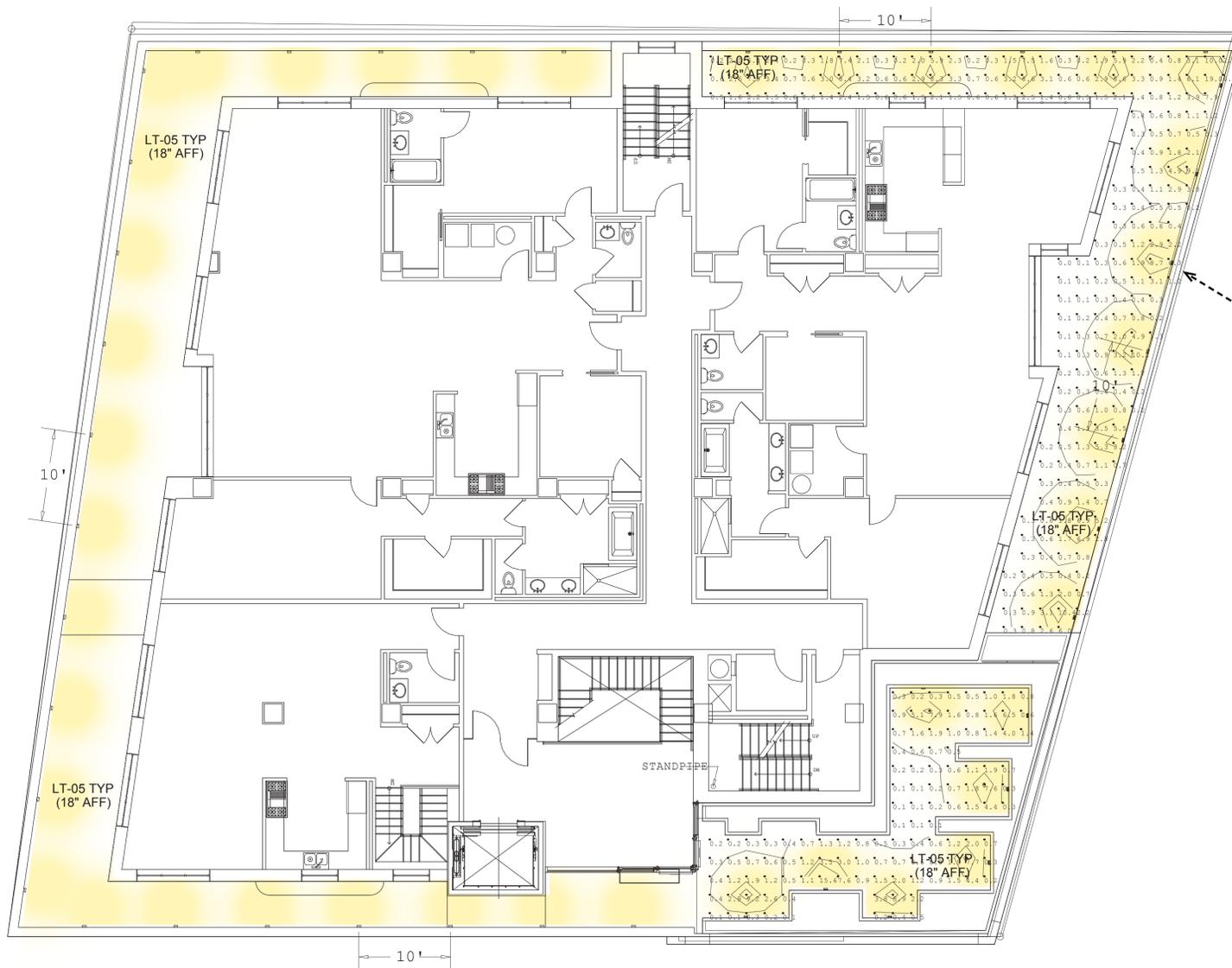
Project

PONDFIELD COURT

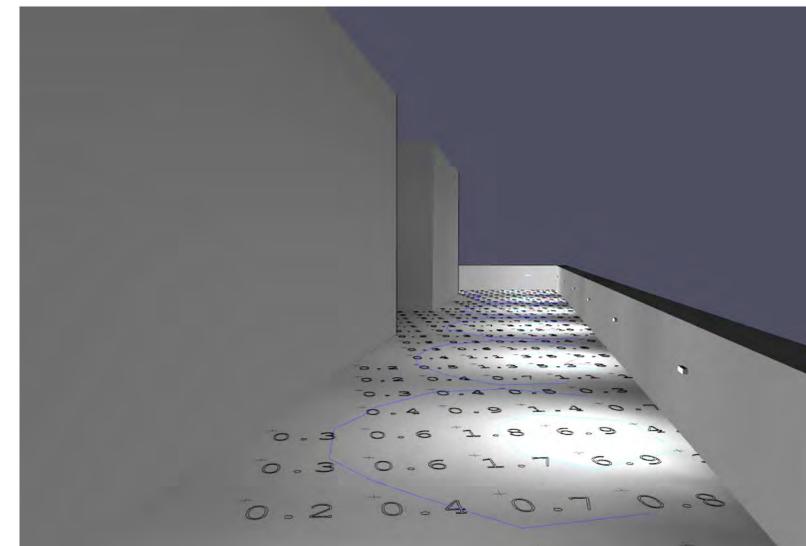
100 PONDFIELD ROAD
BRONXVILLE, NY

Drawing Title:
**LIGHTING OF
VEHICULAR DRIVE**

Seal	Date: 02/25/14
	Project No: 1513871-00
	Scale:
	Drawing By:
	DWG No: A 401
CAD File No:	Page:



LT-05: STEP LIGHT
 (MOUNTED 12" ABOVE FLOOR; 10' APART OC)



VIEW FROM TERRACE

TERRACE LIGHTING PLAN
 SCALE: 1/8" = 1'0"

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-	ISSUED FOR REVIEW	06/02/14	
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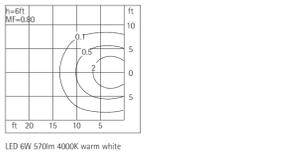
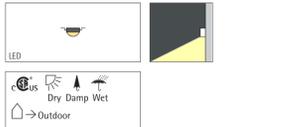
Project
PONDFIELD COURT

100 PONDFIELD ROAD
 BRONXVILLE, NY

Drawing Title:
TERRACE LIGHTING

Seal	Date:	02/25/14
	Project No:	1513871-00
	Scale:	
	Drawing By:	
	DWG No:	A 402
CAD File No:		Page:

ERCO Kubus Floor washlight with LED



33530.023 Graphite in LED 6W 570lm 4000K warm white Vision 6 Spherolit lens, deep beam

Product description
Housing and wall plate: corrosion-resistant cast aluminum. No-rose surface treatment. Double powder-coated. Optimized surface for reduced accumulation of dirt.
Electronic control gear: 120V, 60Hz, 2 cable entries. Through-wiring possible. 3-pole terminal block.
LED module: high-power LEDs on metal-core PCB, SDCM-2, CRI>90, (80)810 50000h. Collimating lens made of optical polymer.
Non-reflective safety glass. Suitable for wet location (IP65): dust-proof and water jet-proof.
Weight 4.74lbs / 2.15kg
Housing temperature 94°F / 34°C
Temperature on the cover glass 96°F / 35°C

ERCO Lighting Inc.
160 Barton Center Parkway
Suite 10
Edison, NJ 08837
USA
Tel: +1 732 225 8856
Fax: +1 732 225 8857
info.us@erco.com

Technical region: 120V/60Hz
We reserve the right to make technical and design changes.
Edition: 11.1.2013
Current version under
www.erco.com/33530.023

LT-01: FLOOR WASHLIGHT

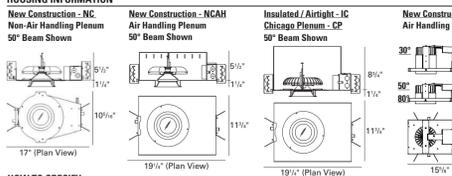
BeveLED® LED Downlight 3020



LUMINAIRE INFORMATION
APPLICATION: Accent luminaire for Residential, Commercial, Retail or Hospitality environments.
HEATSINK: Proprietary high performance aluminum die cast heatsink for maximum LED life.
MATERIALS: Trim: Die cast aluminum retained by two mounting clips. Housing: Fabricated of 20 ga. galvanized steel with thru wire J-box, 4 in 4 out (for NC, NCAH and IC) 2 in 2 out (for NCSL and RT) at min. 90°C, #12 AGW thru branch circuit wiring. Housing and trim supplied as one complete unit.
TRIM LENS: Proprietary low glare blended optical lens system.
REFLECTOR: Precision injection molded specular polycarbonate reflector maximized for 30°, 50° or 80° beam distribution. 30° and 50° reflectors are field interchangeable in NC, IC, CP and NCAH.
DRIVER: Field Replaceable Solid state electronic. Constant current. High power factor. Specify 120V or 277V.
DIMMING: (optional) Multiple 3 wire dimming drivers available. See compatibility chart attached.
MOUNTING: NC / NCAH / IC / NCSL: Butterfly brackets and adjustable nailer bars with integral nails provided. Nailer bars are extendible from 14" to 24" centers.
RT: Screw driver activated swing and compress mounting system.

LIGHT ENGINE: Field Replaceable
Available in 10W or 20W ±100K. High power white LED's tightly binned for fixture to fixture color consistency.
CRI OPTIONS: Standard: 80+ CRI. High: 90+ CRI.

RATED LIFE: Based on IESNA LM80-2008
20W - 50,000 hours at 70% lumen maintenance (L70).
10W - 50,000 hours at 70% lumen maintenance (L70).



HOW TO SPECIFY

Trim	Trim Suffix for 80°	Finish	Reflector	Housing	Color Temperature	Reflector - Housing Type	Voltage	Accessories
3020	8	10 - White	LRTD4-9010-C1	Standard	30 - 30°	NC - New Construction	120V	CR27 - 27° C-Channel Bars
		21 - Black	LRTD4-9020-C1	CR10+ 27 - 2700K	50 - 50°	CP - Chicago Plenum	277V	CR52 - 52° C-Channel Bars
		28 - Mezzalana Grey	LRTD4-9020-C1	30 - 3000K	80 - 80°	IC - Insulated / Airtight		DIML2 - 0-10V Low Voltage 15% Dimming Driver
		RAL - Special Color		35 - 3500K		NCAH - New Construction		DIML4 - Lutron H6-Lume LED / ECO System Series A 3 Wire Control 1% Dimming Driver
				40 - 4000K		RT - Retrofit		W - Wet Listed (under covered ceiling)
				High CRI 90+ 27H - 2700K		NCSL - New Construction		CR27 - 27° C-Channel Bars
				30K - 3000K		RT - Retrofit		CR52 - 52° C-Channel Bars
				30K - 3000K				DIML2 - 0-10V Low Voltage 15% Dimming Driver
								DIML4 - Lutron H6-Lume LED / ECO System Series A 3 Wire Control 1% Dimming Driver
								EML - Emergency lighting battery pack w/ remote test switch. Note: Housing size may differ. Above ceiling access required for service. Not for use with WET LISTED (W) option
								RLD50 - 50° Reflector

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LT-02: RECESSED SOFFIT LIGHT

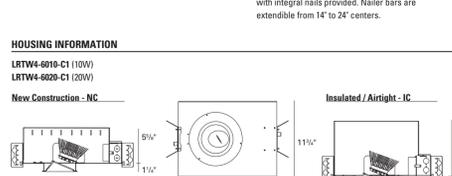
BeveLED® LED Wall Wash 3250



LUMINAIRE INFORMATION
APPLICATION: Accent luminaire for Residential, Commercial, Retail or Hospitality environments.
HEATSINK: Proprietary high performance extruded aluminum heatsink for maximum LED life.
MATERIALS: Trim: Die cast aluminum retained by two mounting clips. Housing: Fabricated of 20 ga. powder coated black galvanized steel thru wire J-box, 4 in 4 out at min. 75°C, #12 AGW thru branch circuit wiring. Housing and trim supplied as one complete unit.
TRIM LENS: Proprietary wall wash lens.
DRIVER: Field Replaceable Solid state electronic. Constant current. High power factor. Specify 120V or 277V.
DIMMING: (optional) Multiple 3 wire dimming drivers available. See compatibility chart attached.
ADJUSTMENT: 362° horizontal lockable.
MOUNTING: Butterfly brackets and adjustable nailer bars with integral nails provided. Nailer bars are extendible from 14" to 24" centers.

LIGHT ENGINE: Field Replaceable
Available in 10W or 20W ±100K. High power white LED's tightly binned for fixture to fixture color consistency.
CRI OPTIONS: Standard: 80+ CRI. High: 90+ CRI.

RATED LIFE: Based on IESNA LM80-2008
20W - 50,000 hours at 70% lumen maintenance (L70).
10W - 50,000 hours at 70% lumen maintenance (L70).



HOW TO SPECIFY

Trim	Finish	Housing	Color Temperature	Reflector - Housing Type	Voltage	Accessories
3250	10 - White	LRTW4-6010-C1	Standard	NC - New Construction	120V	W - Wet Listed (under covered ceiling)
	21 - Black	LRTW4-6020-C1	CR10+ 27 - 2700K	CP - Chicago Plenum	277V	CR27 - 27° C-Channel Bars
	28 - Mezzalana Grey	LRTW4-6020-C1	30 - 3000K	IC - Insulated / Airtight		CR52 - 52° C-Channel Bars
	RAL - Special Color		35 - 3500K	NCAH - New Construction		DIML2 - 0-10V Low Voltage 15% Dimming Driver
			40 - 4000K	RT - Retrofit		DIML4 - Lutron H6-Lume LED / ECO System Series A 3 Wire Control 1% Dimming Driver
			High CRI 90+ 27H - 2700K	NCSL - New Construction		EML - Emergency lighting battery pack w/ remote test switch. Note: Housing size may differ. Above ceiling access required for service. Not for use with WET LISTED (W) option
			30K - 3000K	RT - Retrofit		RLD50 - 50° Reflector

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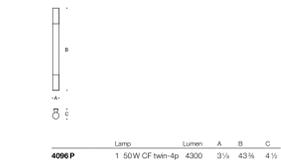
LT-03: RECESSED SOFFIT LIGHT

NOTE:

FOR ADDITIONAL LIGHTING INFORMATION PLEASE REFER TO DRAWING SHEET A-504

Linear ceiling and wall luminaires - STAINLESS STEEL

Housing: Fabricated from stainless steel with stainless steel fasteners. Provided with a stainless steel plate for attachment over a single gang vertical switch box.
Enclosure: Hand blown three-ply opal glass diffuser with screw neck. Fully gasketed for weather tight operation with a molded silicone rubber O-ring gasket. Allow enough vertical space to slip diffuser up and out for rearing.
Electrical: Lampholders: Fluorescent are type 2011 (50W) rated 75W, 250V. Ballasts are electronic universal voltage 120V through 277V.
Finish: #4 brushed stainless steel. Stainless steel requires regular cleaning and maintenance, much like household appliances, to maintain its luster and to prevent tarnishing or the appearance of rust like stains.
UL listed, suitable for wet locations.
Protection class: IP65.



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LT-06: ENTRY SCONCE

Wall luminaires with directed light

Housing: One piece die-cast aluminum for direct attachment to wall over 3 1/2" or 4" octagonal wiring box.
Enclosure: One piece die-cast aluminum guard, secured by two (2) captive socket head, stainless steel screws threaded into stainless steel inserts. Tempered etched glass with matte finish. Pure anodized aluminum reflector. Fully gasketed for weather tight operation using a molded silicone rubber O-ring gasket.
Electrical: 12W LED luminaire, 14.3 total system watts, -20°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. The LED module and driver are mounted on a removable inner assembly for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (95 CRI); add suffix K4 to order.
Finish: Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.
UL listed, suitable for wet locations.
Protection class: IP64

Luminaire Lumens: 465
Tested in accordance with LM-79-08.



Lamp	A	B	C
2382 LED	12W LED	11%	4% 3 1/4"

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LT-04: FLOOD LIGHT

Recessed wall luminaires with directed light

Housing: Constructed of die-cast aluminum with integral wiring compartment. Mounting tabs provided.
Enclosure: One piece die-cast aluminum faceplate. Clear tempered glass, 1/2" thick, machined flush to faceplate surface. Faceplate is secured by two (2) flush, socket head, stainless steel captive screws threaded into stainless steel inserts in the housing casting. Continuous high temperature, molded silicone rubber gasket for weather tight operation.
Electrical: 5.6W LED luminaire, 7.5 total system watts, -25°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. The LED and driver are mounted on a removable plate for easy replacement. Standard LED color temperature is 3000K (available in 4000K; add suffix K4).
Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.
Finish: Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.
UL listed, suitable for wet locations and for installation within 3 feet of ground. IC rated. Protection class: IP65.

Luminaire Lumens: 155
Tested in accordance with LM-79-08



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LT-05: STEP LIGHT

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Project
PONDFIELD COURT
100 PONDFIELD ROAD
BRONXVILLE, NY

Drawing Title:
CUT SHEETS

Date:	02/25/14
Project No:	1513871-00
Scale:	
Drawing By:	
DWG No:	
A 403	
CAD File No:	
Page:	



VIEW 1 - EXISTING SITE PHOTO: CEDAR STREET LOOKING NORTHEAST



VIEW 1 - PROPOSED DESIGN: CEDAR STREET LOOKING NORTHEAST



VIEW 2 - EXISTING SITE PHOTO: BULKHEAD FROM KRAFT AVENUE LOOKING EAST



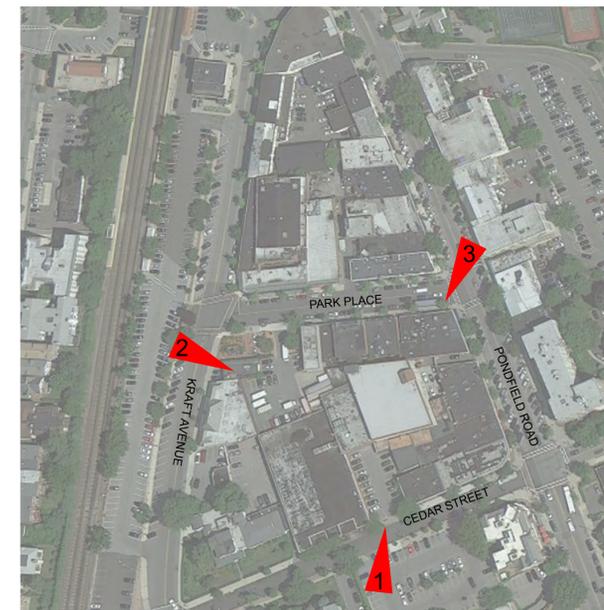
VIEW 2 - PROPOSED DESIGN: UPPER FLOORS FROM KRAFT AVENUE LOOKING EAST



VIEW 3 - EXISTING SITE PHOTO: UPPER FLOORS FROM PARK PLACE & PONDFIELD ROAD LOOKING SOUTHEAST



VIEW 3 - PROPOSED DESIGN: UPPER FLOORS FROM PARK PLACE AND PONDFIELD ROAD LOOKING SOUTHEAST



KEY MAP

NO.	REVISION	DATE	BY
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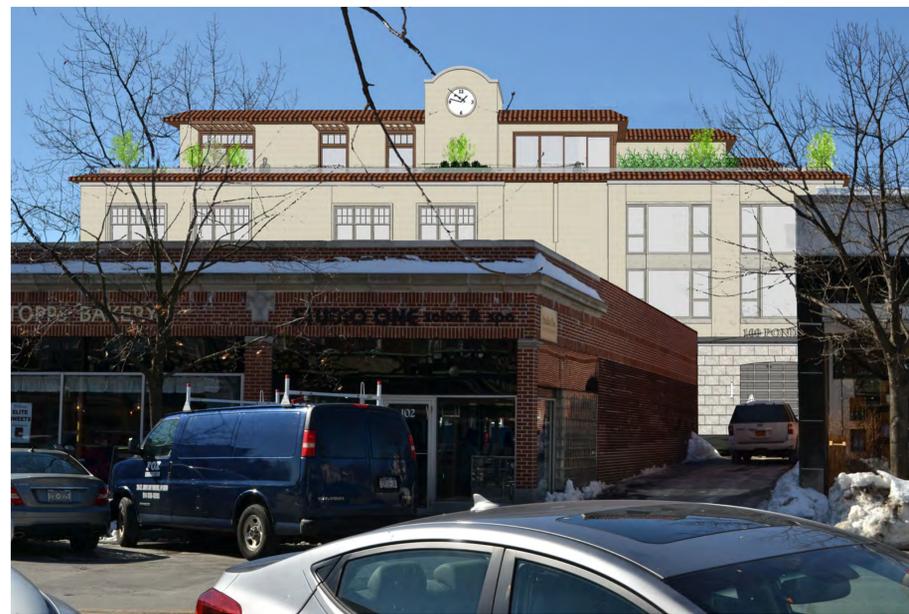
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PROJECT
100 PONDFIELD ROAD
 100 PONDFIELD ROAD
 BRONXVILLE, NY
 DRAWING
VIEW STUDY RENDERINGS 1

SEAL	DATE
	PROJECT NO. 1513871-00
	SCALE 1/4"
	DWG NO. A-501
CAD FILE NO.	PAGE



VIEW 4 - EXISTING SITE PHOTO: PONDFIELD ROAD LOOKING WEST



VIEW 4 - PROPOSED DESIGN: PONDFIELD ROAD LOOKING WEST



VIEW 5 - EXISTING SITE PHOTO: PONDFIELD ROAD ACCESS



VIEW 5 - PROPOSED DESIGN: PONDFIELD ROAD ACCESS



VIEW 6 - EXISTING SITE PHOTO: INTERSECTION OF CEDAR STREET AND PONDFIELD ROAD



VIEW 6 - PROPOSED DESIGN: INTERSECTION OF CEDAR STREET AND PONDFIELD ROAD



KEY MAP

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PROJECT
100 PONDFIELD ROAD
 100 PONDFIELD ROAD
 BRONXVILLE, NY

DRAWING
VIEW STUDY RENDERINGS 2

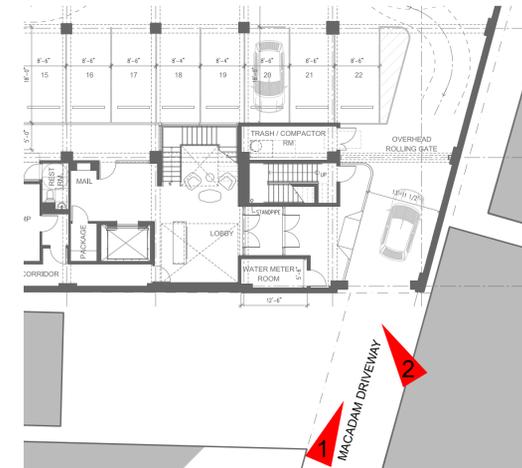
SEAL	DATE
	PROJECT NO. 1513871-00
	SCALE 1/4"
	DWG NO. A-502
CAD FILE NO.	PAGE



VIEW 1 - GARAGE ENTRANCE VIEW FROM MACADAM DRIVEWAY



VIEW 2 - BUILDING ENTRANCE VIEW FROM MACADAM DRIVEWAY



KEY MAP

NO.	REVISION	DATE	BY
-	ISSUED FOR REVIEW	06/02/14	-
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PROJECT
100 PONDFIELD ROAD
 100 PONDFIELD ROAD
 BRONXVILLE, NY

DRAWING
VIEWS OF BUILDING ENTRY

SEAL	DATE
	PROJECT NO. 1513871-00
	SCALE N/A
	DWG NO. A-503
	CAD FILE NO. PAGE



VIEW 1 - EXISTING VIEW FROM ROOF OF 115 PONDFIELD ROAD LOOKING NORTHWEST



VIEW 1 - PROPOSED VIEW FROM ROOF OF 115 PONDFIELD ROAD LOOKING NORTHWEST



VIEW 2 - EXISTING VIEW FROM ROOF OF 1 CEDAR STREET LOOKING NORTH



VIEW 2 - PROPOSED VIEW FROM ROOF OF 1 CEDAR STREET LOOKING NORTH



VIEW 3 - EXISTING VIEW FROM ROOF OF 1 EASTBOURNE LOOKING SOUTH



VIEW 3 - PROPOSED VIEW FROM ROOF OF 1 EASTBOURNE LOOKING SOUTH



KEY MAP

NO.	REVISION	DATE	BY
-	ISSUED FOR REVIEW	06/02/14	-
-	REV PER FIRE DEPT. COMMENTS	03/25/14	-
-	ISSUED FOR REVIEW, REV PER COMMENTS	02/27/14	-
-	ISSUED FOR REVIEW	02/26/14	-

TPG Architecture

TPG ARCHITECTURE, LLP
 31 PENN PLAZA
 132 WEST 31ST STREET, 5TH FLOOR, NEW YORK, NY 10001
 212.768.0800 | TPGARCHITECTURE.COM

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PROJECT
100 PONDFIELD ROAD
 100 PONDFIELD ROAD
 BRONXVILLE, NY

DRAWING
 VIEWS FROM ROOFS OF
 115 PONDFIELD ROAD,
 1 CEDAR STREET, & 1 EASTBOURNE

SEAL	DATE
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	DWG NO. A-504
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VIEW 1 - SIMULATED NIGHT VIEW FROM PONDFIELD ROAD



VIEW 2 - SIMULATED NIGHT VIEW FROM ROOF OF 115 PONDFIELD ROAD LOOKING NORTHWEST



VIEW 3 - SIMULATED NIGHT VIEW FROM INTERSECTION OF CEDAR STREET AND PONDFIELD ROAD



VIEW 4 - SIMULATED NIGHT VIEW FROM ROOF OF 1 CEDAR STREET LOOKING NORTH



KEY MAP

NO.	REVISION	DATE	BY
-	ISSUED FOR REVIEW	06/02/14	-
-	REV PER FIRE DEPT. COMMENTS	03/25/14	-
-	ISSUED FOR REVIEW, REV PER COMMENTS	02/27/14	-
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TPG Architecture

TPG ARCHITECTURE, LLP
 31 PENN PLAZA
 132 WEST 31ST STREET, 5TH FLOOR, NEW YORK, NY 10001
 212.768.0800 | TPGARCHITECTURE.COM

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PROJECT
100 PONDFIELD ROAD

 100 PONDFIELD ROAD
 BRONXVILLE, NY

DRAWING
VIEWS STUDY NIGHT RENDERINGS

SEAL	DATE
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